

Board of Adjustment Agenda

October 19, 2017 – 5:00 pm

Council Auditorium

City Hall, 103 N. Perry St.

BOARD OF ADJUSTMENT MEMBERS

John Stanley, *Chairman*

K. T. Brown, *Vice-Chairman*

Beau Holmes

George C. Howell, Jr.

Steve Hughes

Bart Prince

Pickett Reese

Jennifer Shaw

Nathan Williams

**Planning Controls Division
25 Washington Ave., 4th Floor
Montgomery, AL 36104
(334)625-2722**

I. Chairman's Message

II. Approval of Minutes from the September 21, 2017 meeting

October 19, 2017

<u>Item</u>	<u>File</u>	<u>Petitioner</u>	<u>Zone</u>	<u>Location/Request</u>	<u>Page</u>
1.	1978-086	Jason Martin	R-75-s	3128 Old Selma Road (Farm animals – special exception)	1
2.	2016-059	Quick Lane	B-3	7901 Vaughn Road (Variance to Landscape Ordinance)	2
3.	2017-043	Patsy Phillips	R-100	423 Lurene Circle (Chickens – special exception)	3
4.	2013-067	Rev. Jasen Ryll	AGR-1	135 Bell Road (ID sign – front yard variance)	4

The next Board of Adjustment meeting is on November 16, 2017

1. BD-1978-086 **PRESENTED BY:** Jason Martin

REPRESENTING: Jason & Ashley Martin

SUBJECT: Request a special exception for chickens, goats, horses and pigs to be located at 3128 Old Selma Road in an R-75-s (Single-Family Residential) Zoning District.

REMARKS: This request is being made to give the petitioner permission to keep 25-30 chickens (no roosters), 2 goats, 3 miniature horses, and the possibility of having 2 pigs at a future date, on a parcel of land that is at least 5 ½ acres. The entire property is fenced, and there are smaller fenced areas around the property for the animals to be contained in an area as seen fit by the petitioner. There is a coop for the chickens.

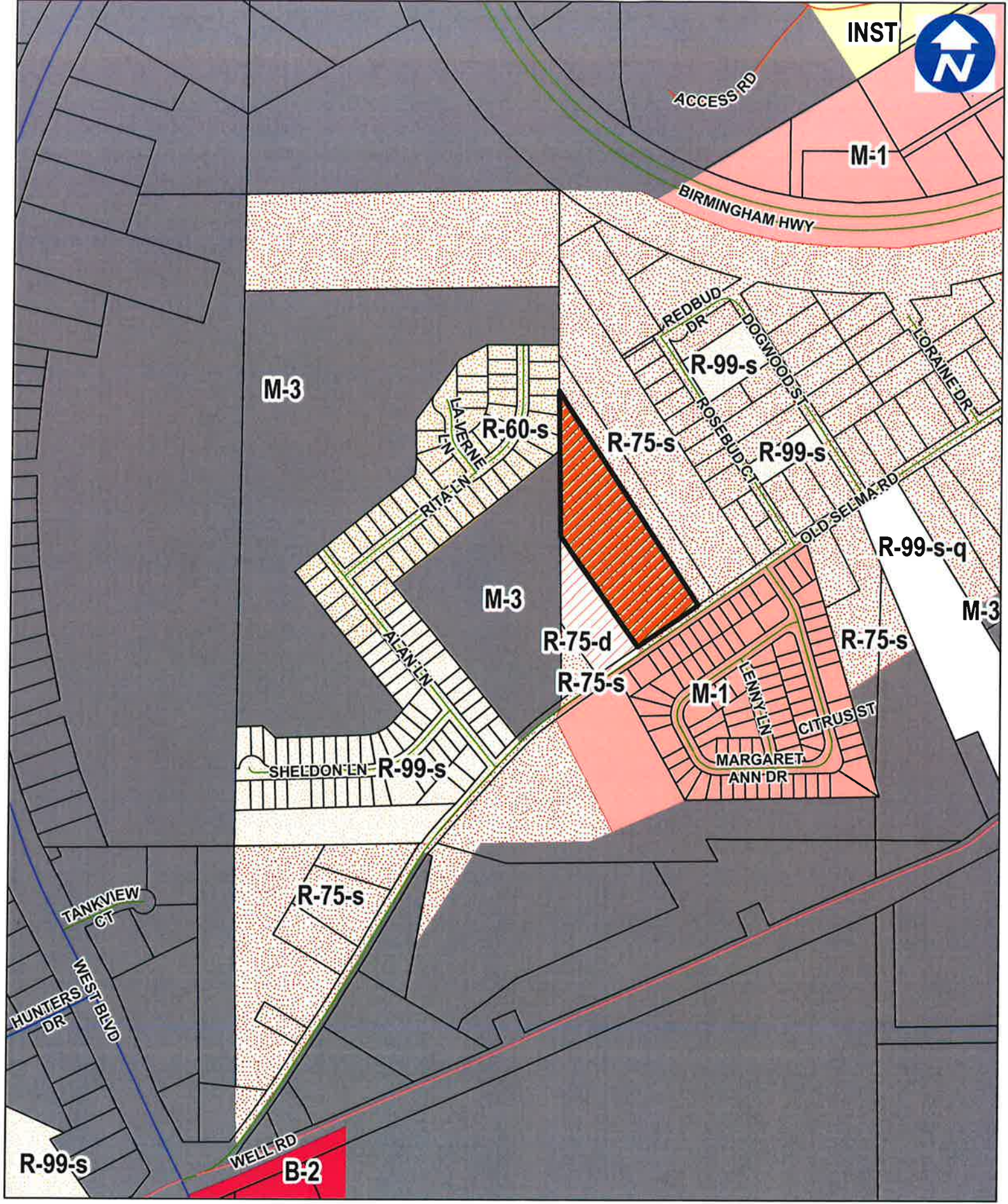
The request is a special exception to keep chickens, goats, horses and pigs on the property.

This request was delayed at the August 17, 2017 and September 21, 2017 meetings.

COUNCIL DISTRICT: 4

COMMENTS _____

ACTION TAKEN: _____



Site 

1 inch = 500 feet

Item 1A



Site 

1 inch = 200 feet

Item 1B

2. BD-2016-059 **PRESENTED BY:** Quick Lane

REPRESENTING: Same

SUBJECT: Request a variance to the Landscape Ordinance to not provide a landscape island for a development located at 7901 Vaughn Road in a B-3 (Commercial) Zoning District.

REMARKS: This request is being made to give the petitioner permission to not provide a landscape island on the rear (east side) of the development. The approved landscape plan provides a landscape island on the east perimeter; however a power transformer has been installed on the island and can no longer be used for a landscape island.

Based on the Landscape Ordinance:

8.6 LANDSCAPING REQUIREMENTS

8.6.2 Internal Planting Requirements for Parking Areas

- (b) There shall be no more than 12 contiguous parking spaces without a landscape island. Trees and shrubbery are required in the landscape island. A landscape island used to satisfy this requirement shall contain a minimum of 250 sq. ft. of area per tree with a minimum width of 8 ft. Tree size and spacing are the same as for the perimeter planting requirements. Shrubby shall be provided in the island at the minimum rate of 2 plants per tree.

The request is to not provide a landscape island on the rear (east side) of the development.

Planning Controls: The Board of Adjustment approved a parking variance at the November 17, 2016 meeting to provide 45 parking spaces; however there are actually 46 parking spaces provided on the site plan. The landscape island could be provided in the one (1) extra parking space.

Urban Forester: The landscape island will not affect the parking variance and will screen the dumpster.

COUNCIL DISTRICT: 9

COMMENTS _____

ACTION TAKEN: _____

0-1



ENGLISH
OAK LOOP

R-24-t

TAYLOR
PARK DR

TAYLOR PARK RD

R-65-m

TAYLOR RD

B-3



VAUGHN RD

PUD

B-3

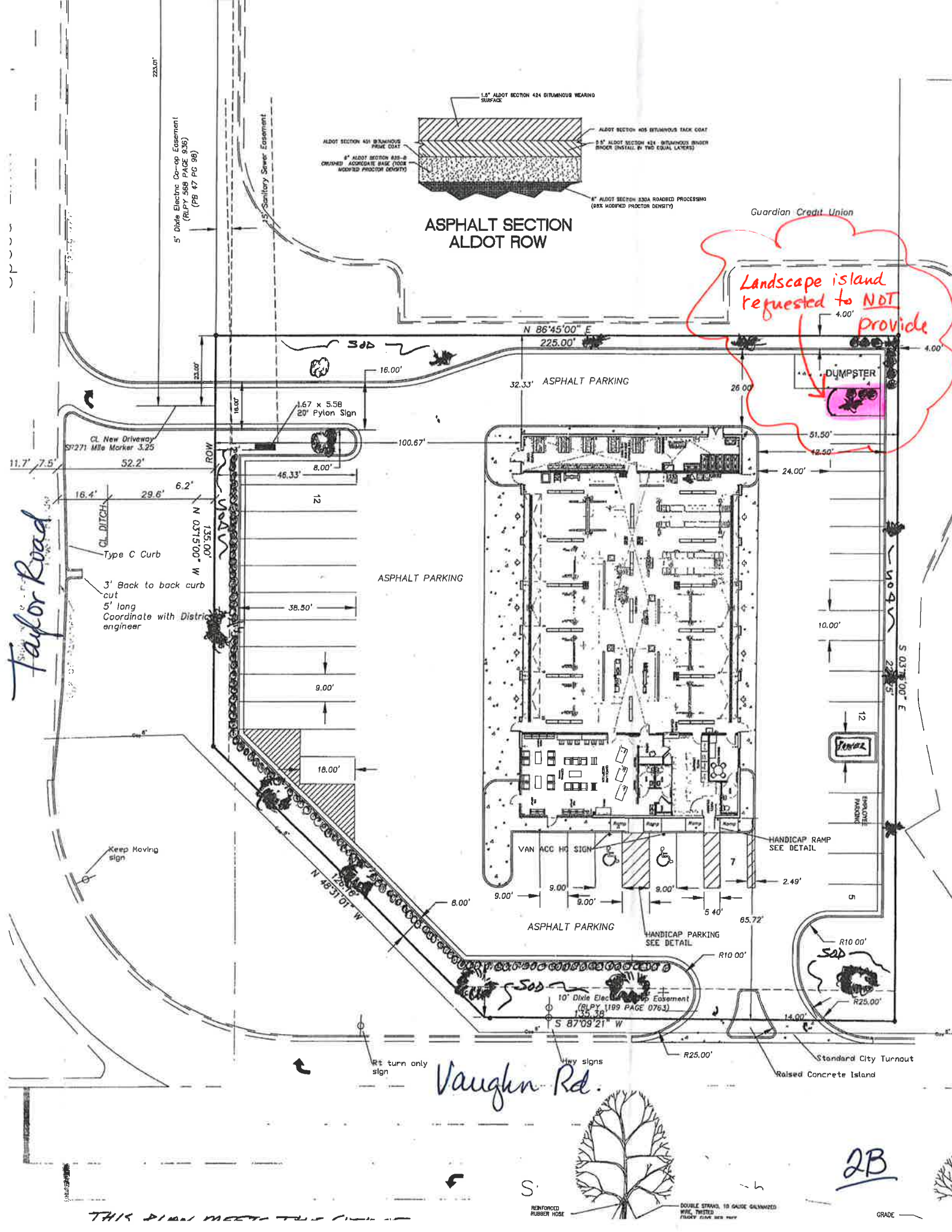
R-65-m

Site



1 inch = 200 feet

Item 2A



**ASPHALT SECTION
ALDOT ROW**

*Landscape island
requested to NOT
provide*

Taylor Road

Vaughn Rd.

2B

THIS PLAN MEETS THE CITY OF...

REINFORCED RUBBER HOSE DOUBLE STRAND 18 GAUGE GALVANIZED WIRE TWISTED FRICKY PLANK 2x4x8 HERE GRADE



Site Location

1 inch = 50 feet

Item No. 2C

3. BD-2017-043 **PRESENTED BY:** Patsy Phillips

REPRESENTING: Same

SUBJECT: Request a special exception to keep chickens on the property located at 423 Lurene Circle in an R-100 (Single-Family Residential) Zoning District.

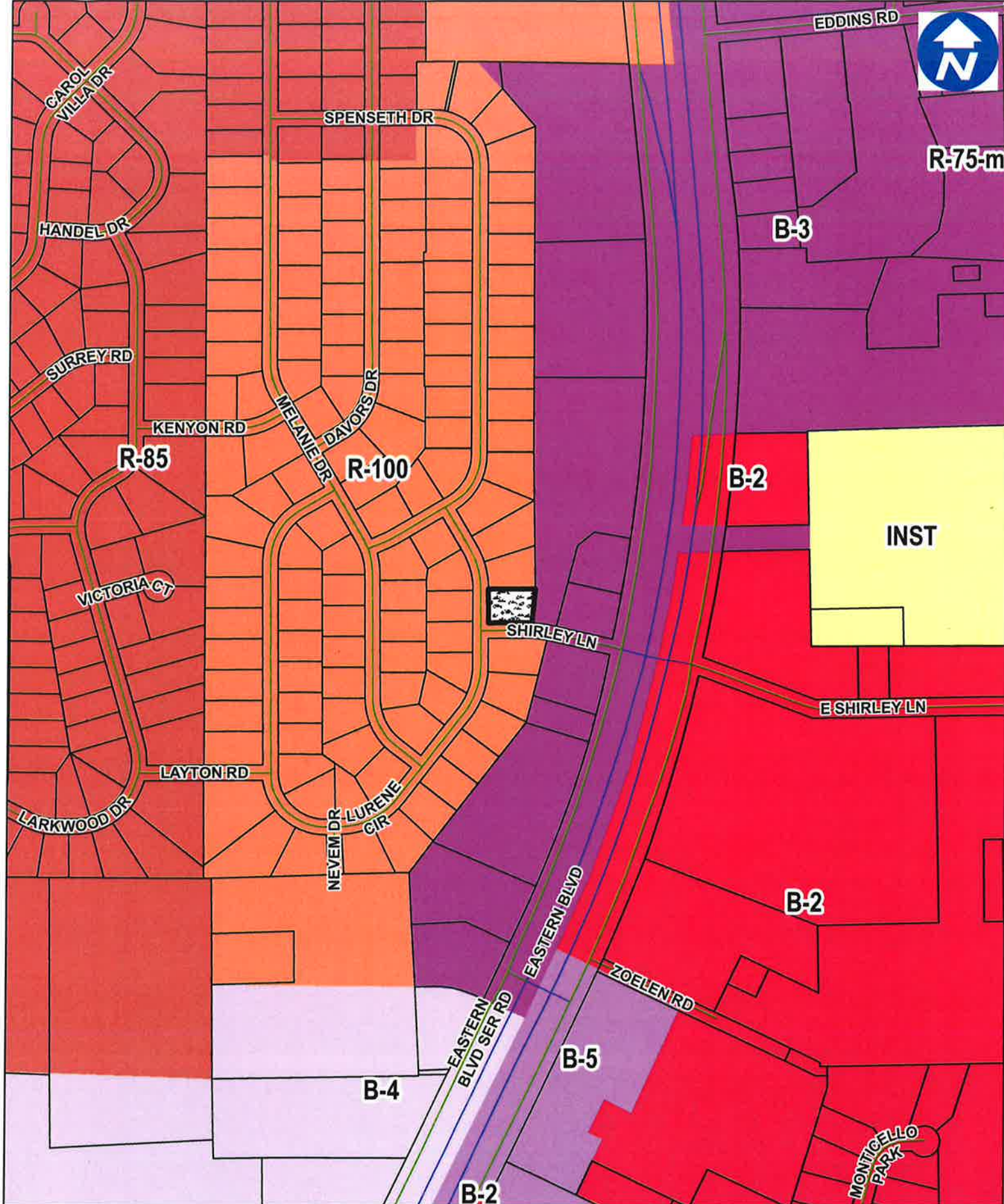
REMARKS: This request is being made to give the petitioner permission to keep six (6) chickens (all hens). The petitioner will build an 8 ft. x 4 ft. chicken coop that will be 13 ft. off the rear property line.

The request is a special exception to keep six (6) chickens.

COUNCIL DISTRICT: 1

COMMENTS _____

ACTION TAKEN: _____



Site 

1 inch = 400 feet
 Item 3A



LURENE CIR



Approximate location of chicken coop

SHIRLEY LN

Site 

1 inch = 50 feet

Item 3B

4. BD-2013-067 **PRESENTED BY:** Rev. Jasen Ryll

REPRESENTING: First Assembly of God

SUBJECT: Request a front yard variance for a new ID sign to be located at 135 Bell Road in a AGR-1 (Residential Agriculture) Zoning District.

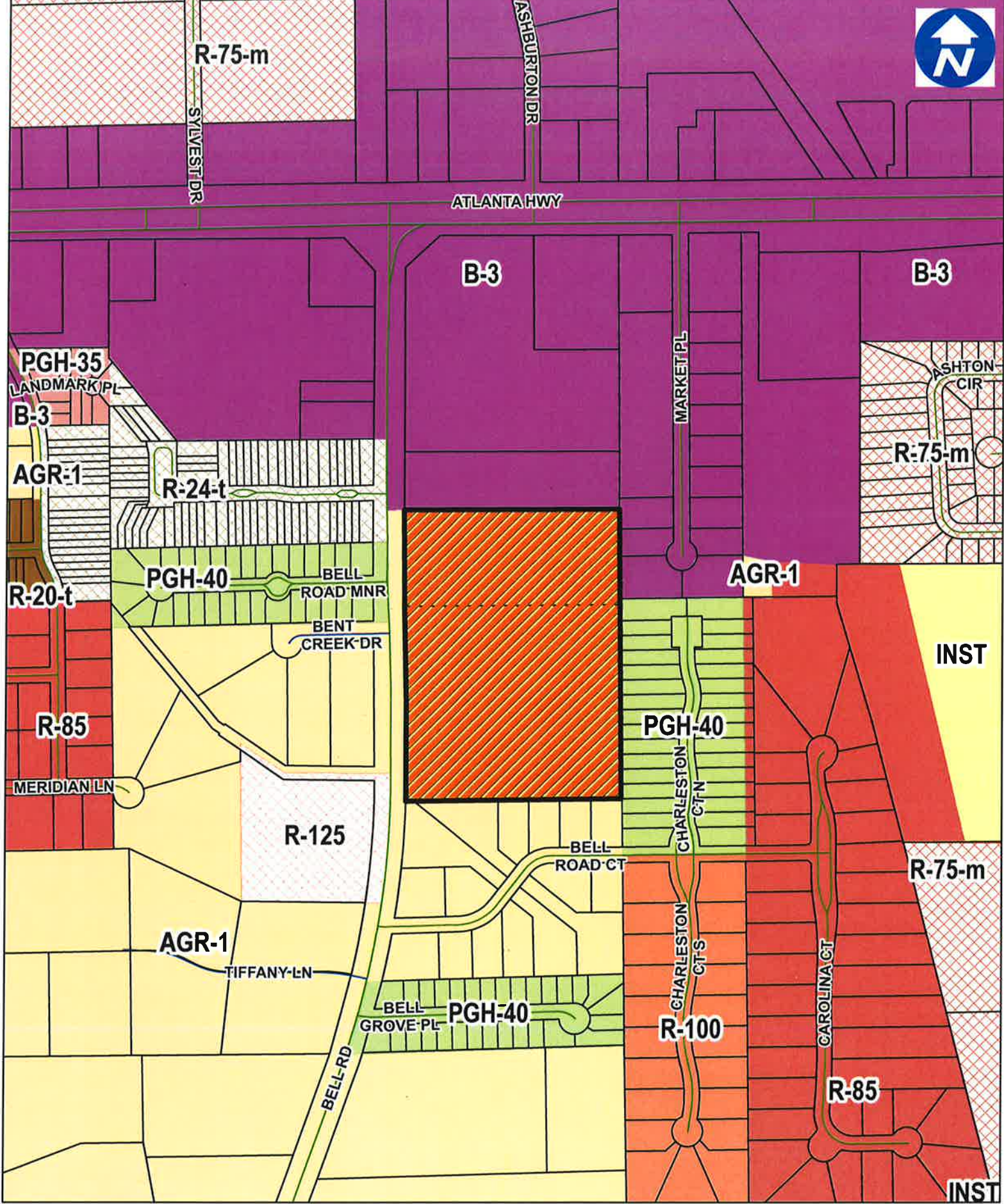
REMARKS: This request is being made to give the petitioner permission to construct an ID sign that will come within 5 ft. of the front property line, whereas 35 ft. is required. The proposed sign is 8 ft. in height by 17 ft. 3 in. in length, and will be lit by backlit lettering.

The request is a 30 ft. front yard variance.

COUNCIL DISTRICT: 9

COMMENTS _____

ACTION TAKEN: _____



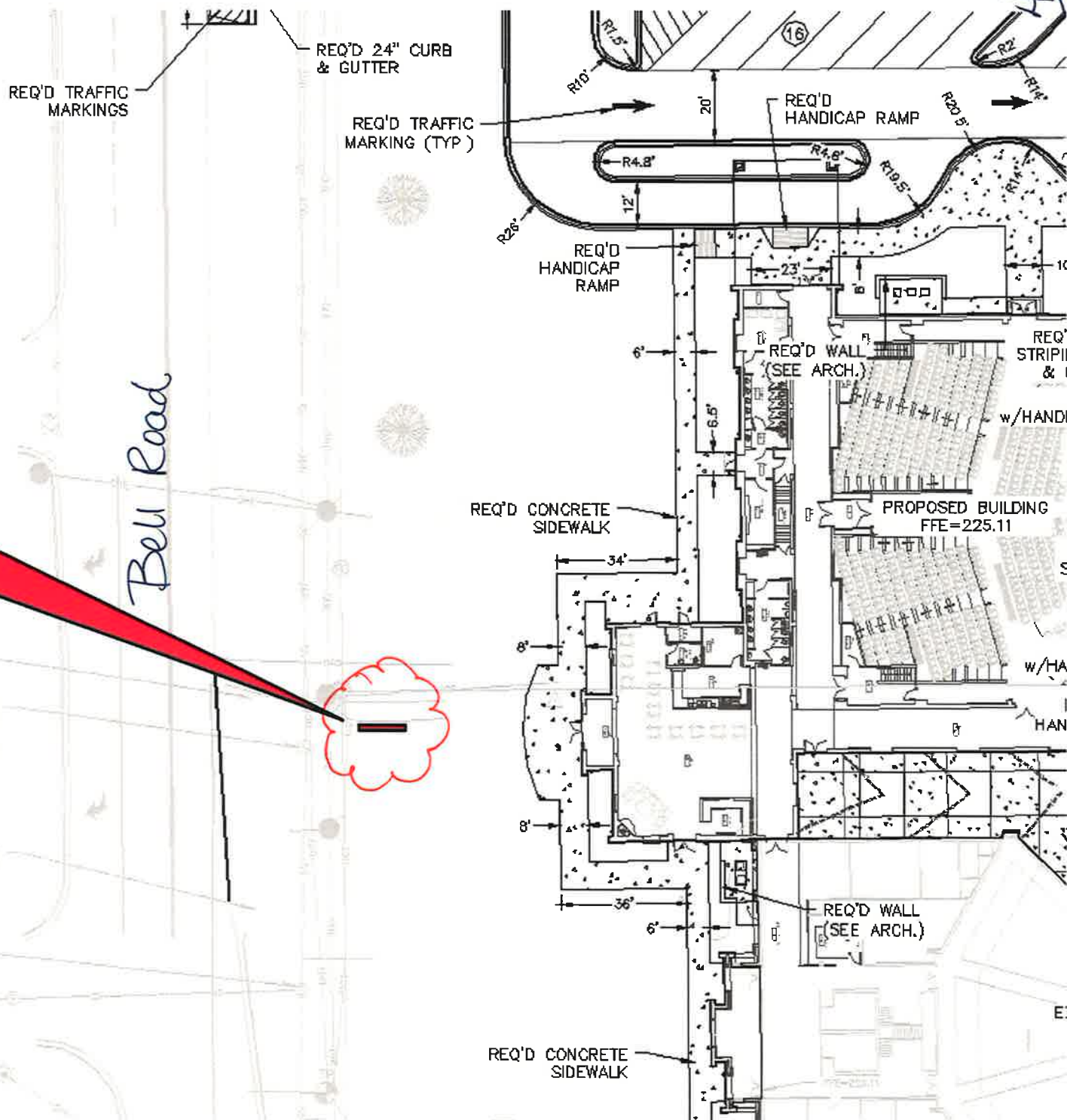
Site 

1 inch = 400 feet

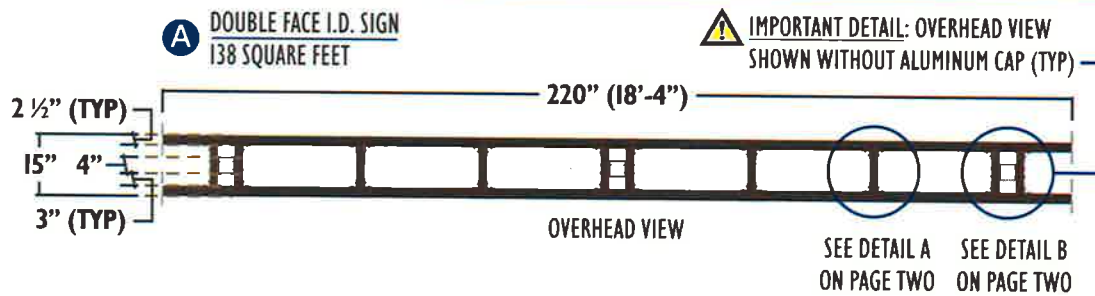
Item 4A

SITE PLAN

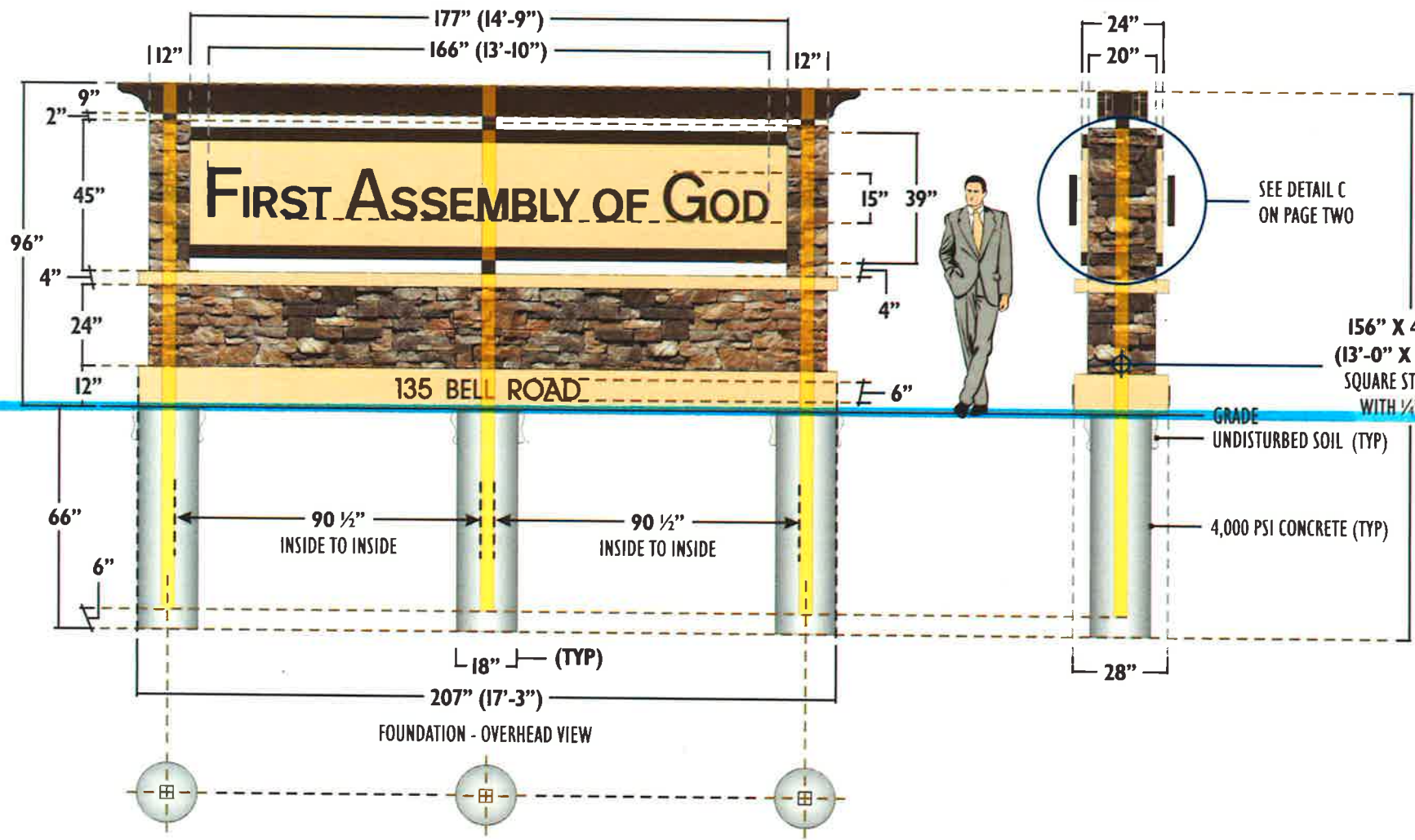
**SIGN LOCATED
5 FEET INSIDE THE
PROPERTY LINE**



AD



A DOUBLE FACE I.D. SIGN
138 SQUARE FEET
WORK TO BE PERFORMED
SEE FABRICATION DETAILS ON PAGES TWO AND THREE.
SEE COLOR DETAILS ON PAGE FOUR.



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FIRST ASSEMBLY OF GOD
MONTGOMERY, ALABAMA
5003-A WHITLING DRIVE
PELHAM, ALABAMA 35124



OCTOBER 3, 2017
MARK WILLIAMS
OFFICE 205 664-0955
FAX 205 664-4409



DRAWING REPRESENTS ACTUAL SIGN TO BE PRODUCED. ERRORS NOT CORRECTED WILL BE INCLUDED ON FINAL PRODUCT.

SIGNATURE _____ DATE _____





Site 

1 inch = 200 feet

Item 4E