

**KEYNOTES**

C000 PROJECT EXISTING SIDEWALK GRILLES TO BASEMENT WINDOW WELLS DURING CONSTRUCTION. CLEAN USING THE CLEANEST MEANS POSSIBLE PER THE SECRETARY OF INTERIOR'S STANDARDS OF REHABILITATION.

**90% REVIEW SET**

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	DESCRIPTION	BY	DATE	ISSUED DATE
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	PLOT REVIEW	MARK		06/25/17

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**C A M P O**  
**ARCHITECTS**

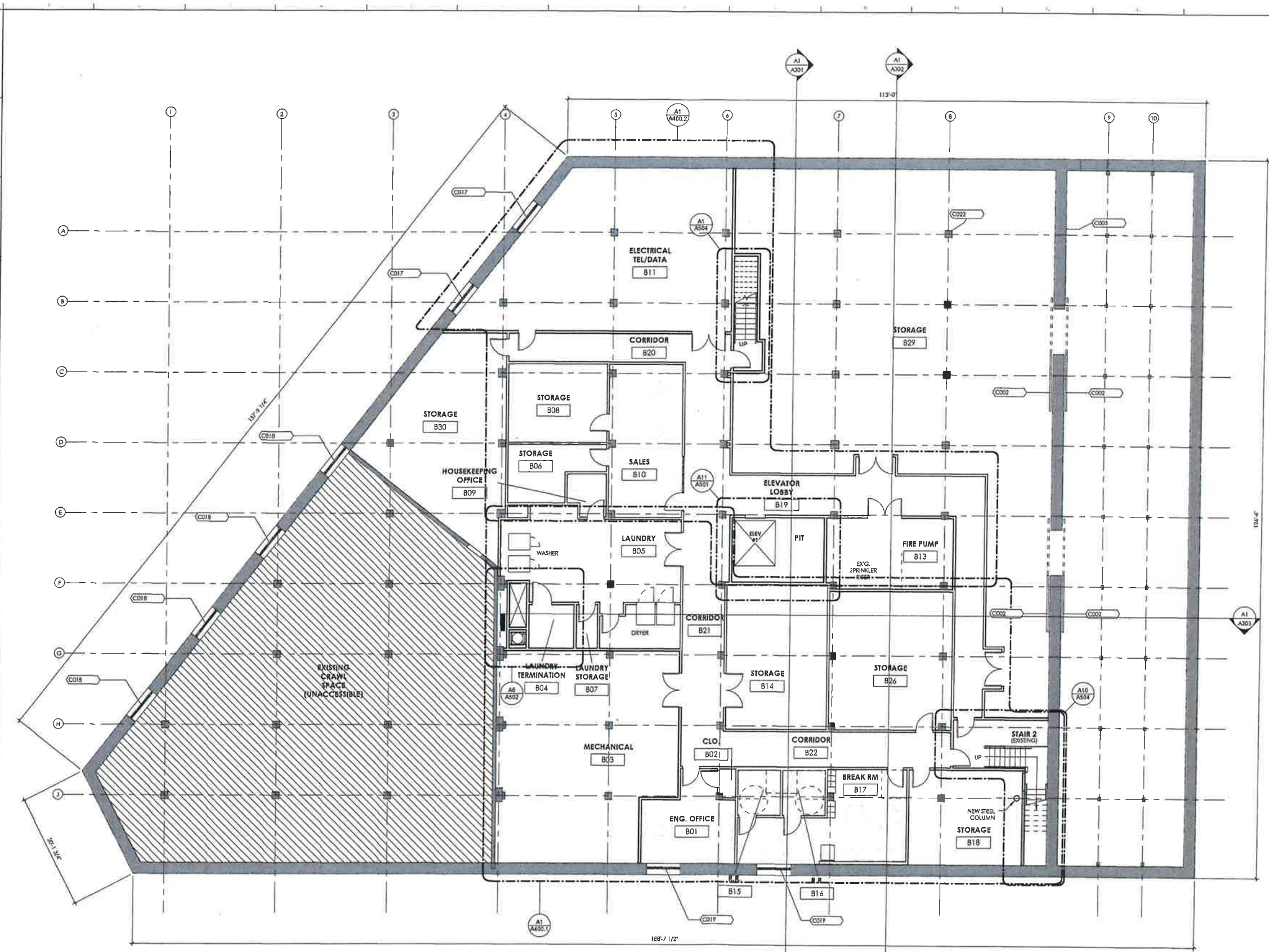
Project Title  
**BISHOP-PARKER BUILDING-SPRINGHILL SUITES**  
 152 COOSA STREET, MONTGOMERY, AL

Drawing Title  
**SITE PLAN**

Drawn MD	Project Number 1505
Reviewed AR	<b>A001</b>
Date 08/18/17	

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**A1 SITE PLAN**  
 1" = 1/8" = 0"



KEYNOTES	
C002	HISTORIC STEEL FIRE DOORS AT BASEMENT TO BE RETAINED AND FIXED IN PLACE.
C003	EXISTING BRICK WALL TO BE EXPOSED WHERE POSSIBLE IN GUESTROOMS. BRICK TO BE SEALED/PROTECTED AS INDICATED WITHIN THE SPECIFICATIONS.
C017	RETAIN EXISTING PARTIALLY ABOVE GRADE BASEMENT WINDOWS. REPAIR OR REPLACE ANY DAMAGED OR MISSING COMPONENTS WITH LIKE-KIND MATERIALS.
C018	RETAIN EXISTING CRAWL SPACE VENTS. CLEAN USING THE GENTLEST MEANS POSSIBLE PER THE SECRETARY OF INTERIOR'S STANDARDS OF REHABILITATION.
C019	RETAIN EXISTING BELOW GRADE BASEMENT WINDOWS. REPAIR OR REPLACE ANY DAMAGED OR MISSING COMPONENTS WITH LIKE-KIND MATERIALS.
C022	EXISTING TIMBER COLUMNS TO BE EXPOSED WHERE POSSIBLE BEAMS TO BE SEALED/PROTECTED AS INDICATED WITHIN THE SPECIFICATIONS.

**GENERAL NOTES**

01. EXISTING HEAVY TIMBER COLUMNS TO REMAIN EXPOSED. COLUMNS TO BE SEALED/PROTECTED AS INDICATED WITHIN THE SPECIFICATIONS.

02. EXISTING HEAVY TIMBER BEAMS AND CONNECTION DETAILS AT NEW ATRIUM LOCATIONS TO REMAIN EXPOSED. BEAMS TO BE SEALED/PROTECTED AS INDICATED WITHIN THE SPECIFICATIONS.

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**C A M P O ARCHITECTS**

Project Title: **BISHOP-PARKER BUILDING-SPRINGHILL SUITES**  
 152 COOSA STREET, MONTGOMERY, AL

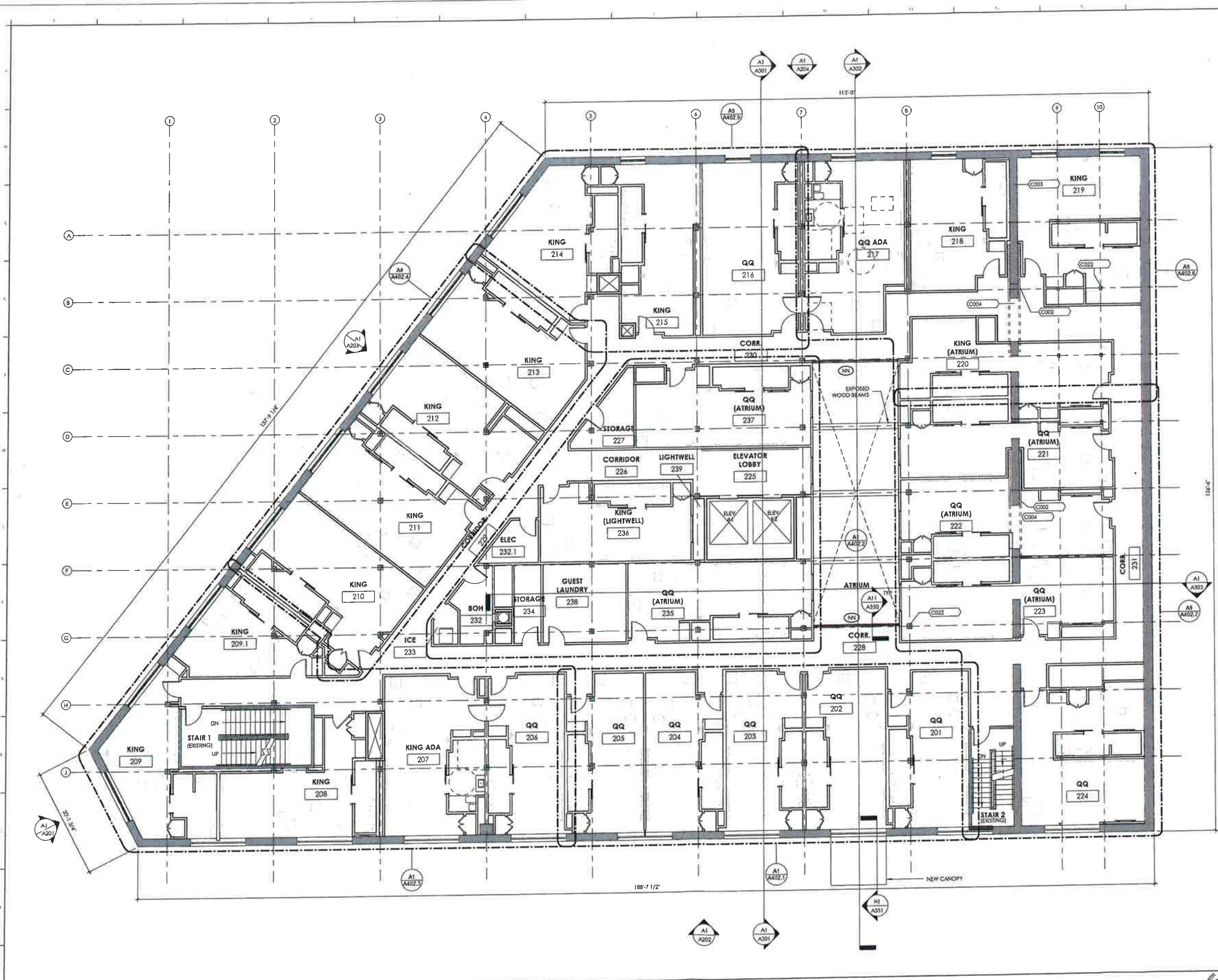
Drawing Title: **BASEMENT PLAN**

Seal/Stamp	Drawn	Project Number
	MD	1505
	Reviewed	
	AR	
Date		
08/18/17		

**A100**

ORIGINAL PRINTED ON 100% POST CONSUMER RECYCLED PAPER.

**A1 BASEMENT PLAN**  
 1/8" = 1'-0"



**KEYNOTES**

C002	HISTORIC STEEL FIRE DOORS TO BE RETAINED AND FIXED IN PLACE.
C003	EXISTING BRICK WALL TO BE EXPOSED WHERE POSSIBLE IN GUESTROOMS. BRICK TO BE SEALED/PROTECTED AS INDICATED WITHIN THE SPECIFICATIONS.
C004	RETAIN EXISTING BRICK ARCH OPENING AT THIS LOCATION.
C022	EXISTING TIMBER COLUMNS TO BE EXPOSED WHERE POSSIBLE. BEAMS TO BE SEALED/PROTECTED AS INDICATED WITHIN THE SPECIFICATIONS.

**GENERAL NOTES**

- G01. EXISTING HEAVY TIMBER COLUMNS TO REMAIN EXPOSED. COLUMNS TO BE SEALED/PROTECTED AS INDICATED WITHIN THE SPECIFICATIONS.
- G02. EXISTING HEAVY TIMBER BEAMS AND CONNECTION DETAILS AT NEW ATRIUM LOCATIONS TO REMAIN EXPOSED. BEAMS TO BE SEALED/PROTECTED AS INDICATED WITHIN THE SPECIFICATIONS.

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Project Title **BISHOP-PARKER BUILDING-SPRINGHILL SUITES**  
 152 COOSA STREET, MONTGOMERY, AL

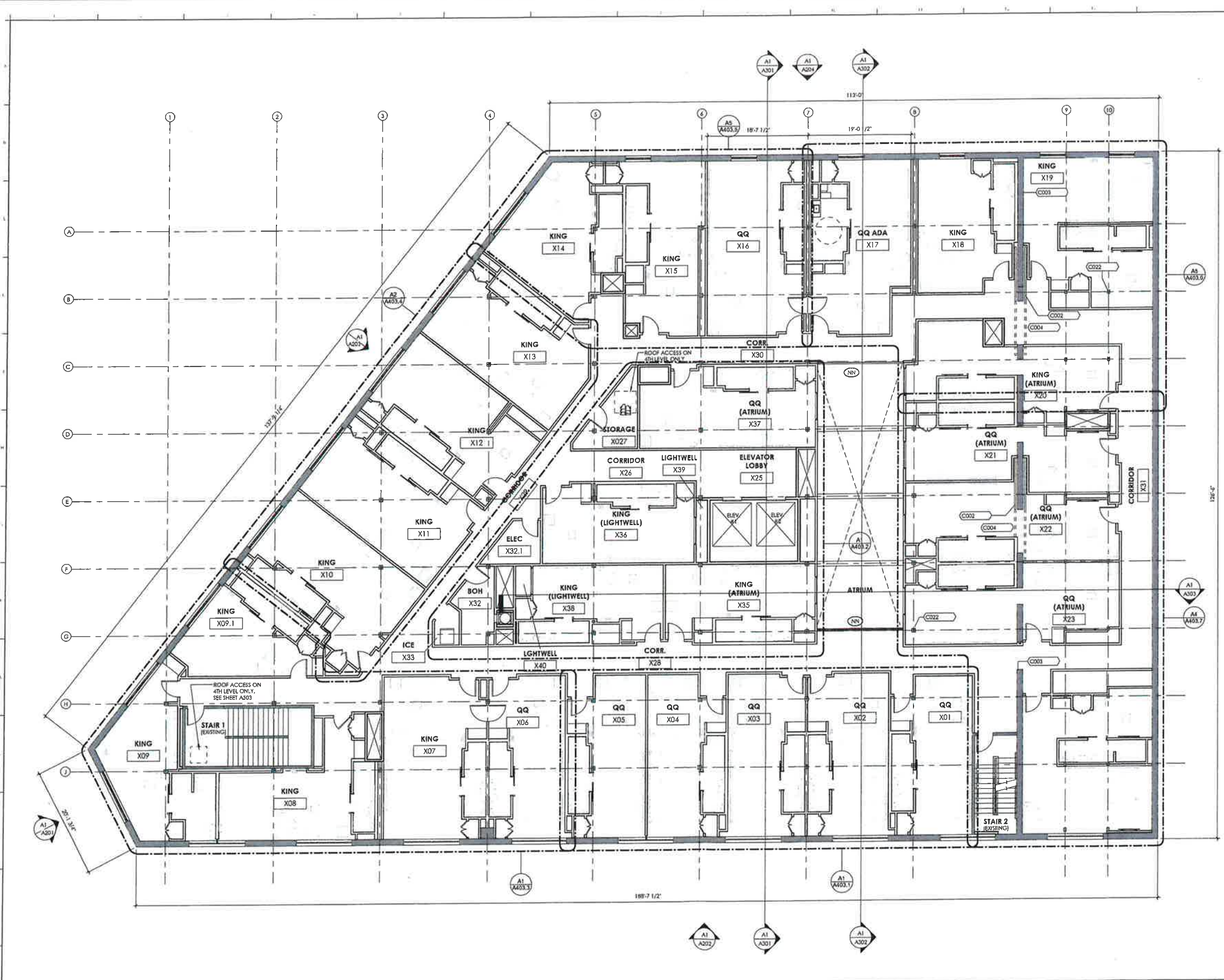
Drawing Title **LEVEL 2 PLAN**

Seal/Stamp	Drawn	Project Number
	MD	1505
	Reviewed	
	AR	
	Date	
	08/18/17	

**A102**

**A1 LEVEL 2 PLAN**  
 1/8" = 1'-0"

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KEYNOTES	
CO02	HISTORIC IRON FIRE DOORS TO BE RETAINED AND FIXED IN PLACE.
CO03	EXISTING BRICK WALL TO BE EXPOSED WHERE POSSIBLE IN GUESTROOMS. BRICK TO BE SEALED/PROTECTED AS INDICATED WITHIN THE SPECIFICATIONS.
CO04	RETAIN EXISTING BRICK ARCH OPENING AT THIS LOCATION.
CO02	EXISTING TIMBER COLUMNS TO BE EXPOSED WHERE POSSIBLE. BEAMS TO BE SEALED/PROTECTED AS INDICATED WITHIN THE SPECIFICATIONS.

**GENERAL NOTES**

01. EXISTING HEAVY TIMBER COLUMNS TO REMAIN EXPOSED. COLUMNS TO BE SEALED/PROTECTED AS INDICATED WITHIN THE SPECIFICATIONS.

02. EXISTING HEAVY TIMBER BEAMS AND CONNECTION DETAILS AT NEW ATRIUM LOCATIONS TO REMAIN EXPOSED. BEAMS TO BE SEALED/PROTECTED AS INDICATED WITHIN THE SPECIFICATIONS.

**90% REVIEW SET**

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		DESCRIPTION	BY	DATE	USE RESTRICTION	ISSUED TO	DATE
	NOT FOR CONSTRUCTION				PERMIT SET	OWNER/CITY	03/10/17
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**C A M P O ARCHITECTS**

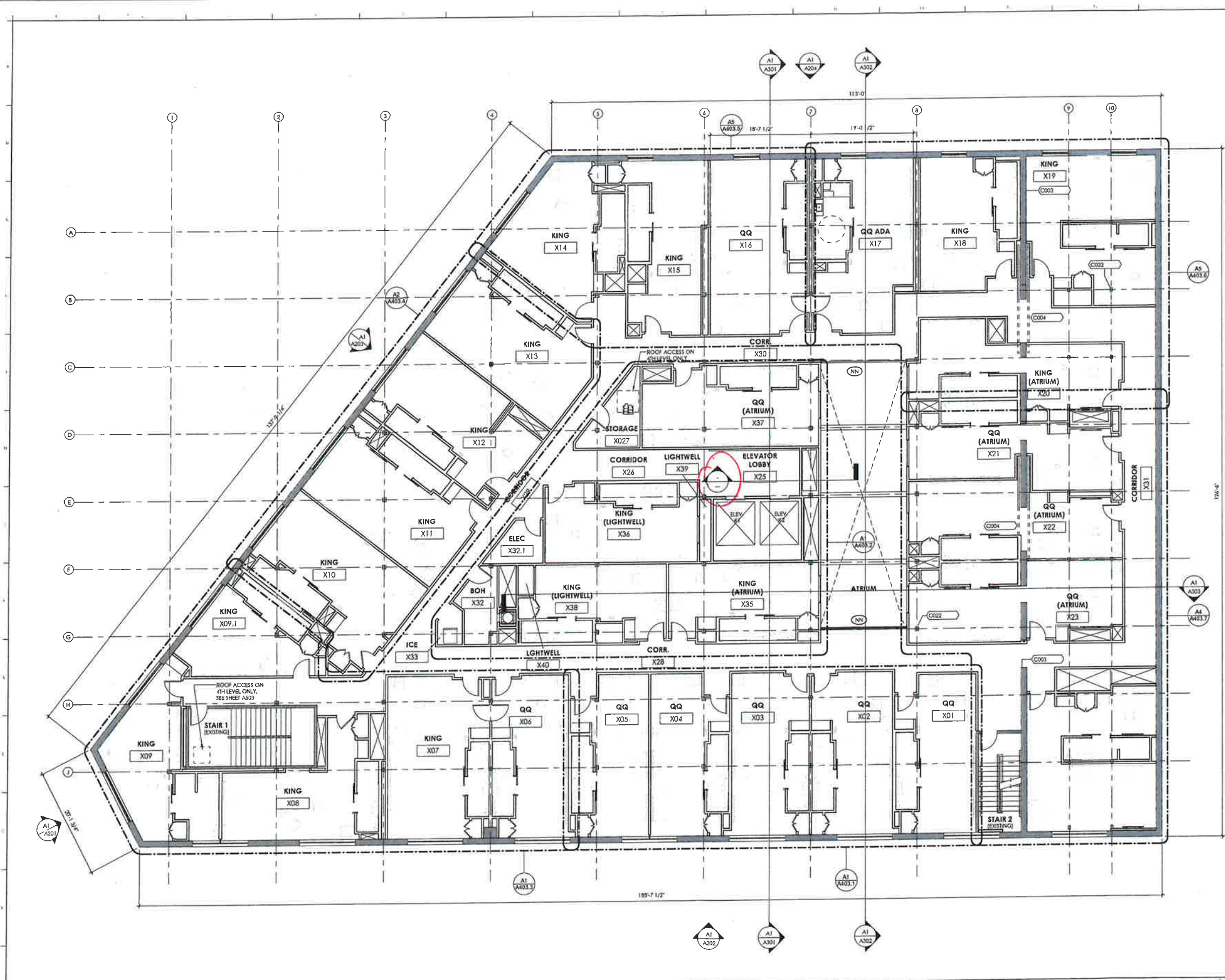
Project Title: **BISHOP-PARKER BUILDING-SPRINGHILL SUITES**  
 152 COOSA STREET, MONTGOMERY, AL

Drawing Title: **LEVEL 3-4 PLAN**

Scale/Stamp	Drawn	Project Number
	MD	1505
Reviewed	AR	<b>A103</b>
Date	08/18/17	

**A1 LEVEL 3-4 PLAN**  
 1/8" = 1'-0"

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**KEYNOTES**

- C003 EXISTING BRICK WALL TO BE EXPOSED WHERE POSSIBLE IN GUESTROOMS. BRICK TO BE SEALED/PROTECTED AS INDICATED WITHIN THE SPECIFICATIONS.
- C004 RETAIN EXISTING BRICK ARCH OPENING AT THIS LOCATION.
- C022 EXISTING TIMBER COLUMNS TO BE EXPOSED WHERE POSSIBLE. BEAMS TO BE SEALED/PROTECTED AS INDICATED WITHIN THE SPECIFICATIONS.

**GENERAL NOTES**

- 01. EXISTING HEAVY TIMBER COLUMNS TO REMAIN EXPOSED. COLUMNS TO BE SEALED/PROTECTED AS INDICATED WITHIN THE SPECIFICATIONS.
- 02. EXISTING HEAVY TIMBER BEAMS AND CONNECTION DETAILS AT NEW ATRIUM LOCATIONS TO REMAIN EXPOSED. BEAMS TO BE SEALED/PROTECTED AS INDICATED WITHIN THE SPECIFICATIONS.

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**C A M P O ARCHITECTS**

Project Title: **BISHOP-PARKER BUILDING-SPRINGHILL SUITES**  
 152 COOSA STREET, MONTGOMERY, AL

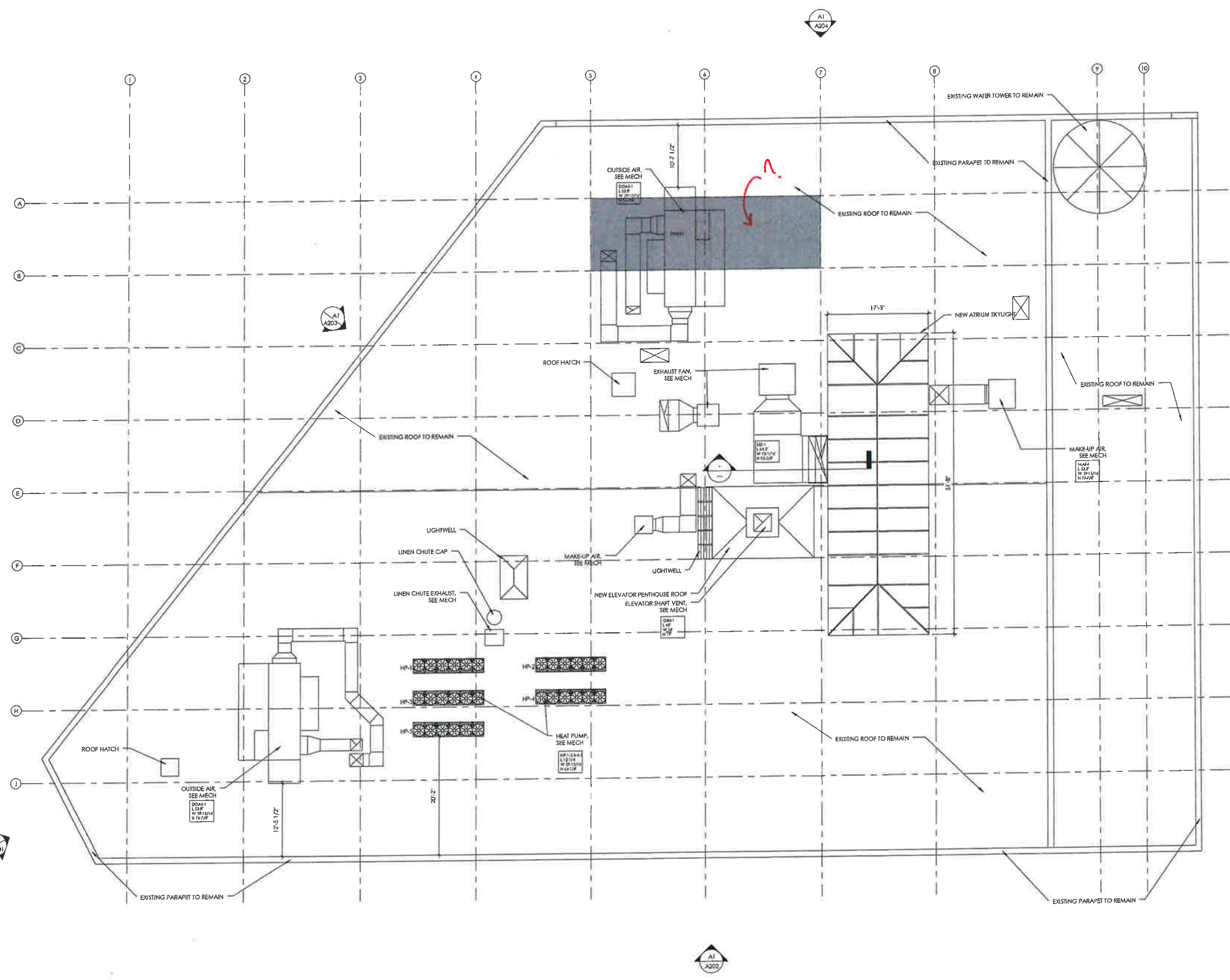
Drawing Title: **LEVEL 3-4 PLAN**

Drawn	MD	Project Number	1505
Reviewed	AR		
Date	08/18/17		

**A103**

**A1 LEVEL 3-4 PLAN**  
 1/8" = 1'-0"

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**A1** ROOF PLAN  
1/8" = 1'-0"

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	DESCRIPTION	BY	DATE	ISSUED TO
				OWNER CITY
				PERMIT SET
			FINAL SET	
			90% REVIEW	

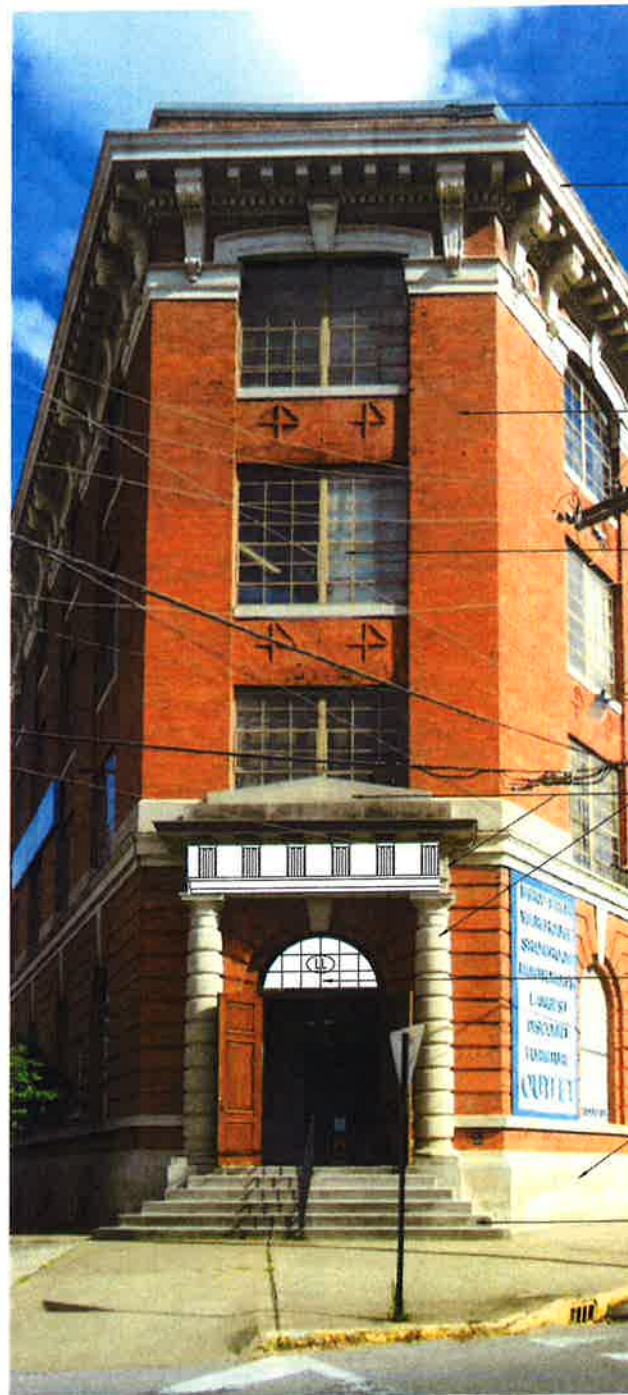
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Project Title **BISHOP-PARKER BUILDING-SPRINGHILL SUITES**  
 152 COOSA STREET, MONTGOMERY, AL

Drawing Title **ROOF PLAN**

Seal/Stamp 	Drawn MD Reviewed AR Date 08/18/17	Project Number 1505  <b>A110</b>
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EXISTING METAL PARAPET COPING  
REPAIR DAMAGED AREAS AS REQUIRED  
MATCHING EXISTING MATERIALS

EXISTING STONE CORNICE. CLEAN USING THE  
GENTLEST MEANS POSSIBLE PER THE SECRETARY OF  
INTERIOR'S STANDARDS OF REHABILITATION. REPAIR  
OR REPLACE ANY DAMAGED OR MISSING  
COMPONENTS WITH LIKE KIND MATERIALS.

EXISTING BRICK. CLEAN USING THE GENTLEST MEANS  
POSSIBLE PER THE SECRETARY OF INTERIOR'S  
STANDARDS OF REHABILITATION. REPAIR OR  
REPLACE ANY DAMAGED OR MISSING  
COMPONENTS WITH LIKE KIND MATERIALS. ANY  
NEW BRICK SHALL MATCH EXISTING IN COLOR, SIZE  
AND TEXTURE. MORTAR JOINTS SHALL MATCH THE  
EXISTING IN COLOR AND COMPOSITION.

EXISTING STEEL WINDOWS. CLEAN USING THE GENTLEST  
MEANS POSSIBLE PER THE SECRETARY OF INTERIOR'S  
STANDARDS FOR REHABILITATION. REPAIR OR REPLACE  
ANY DAMAGED OR MISSING COMPONENTS WITH LIKE  
KIND MATERIALS. (TYP.)

EXISTING STONE PEDIMENT, ENTABLATURE AND  
PILASTERS. CLEAN USING THE GENTLEST MEANS  
POSSIBLE PER THE SECRETARY OF INTERIOR'S  
STANDARDS FOR REHABILITATION. REPAIR OR  
REPLACE ANY DAMAGED OR MISSING COMPONENTS  
WITH LIKE KIND MATERIALS.

EXISTING DOORS AND TRANSOM TO REMAIN. REPLACE  
TRANSOM WITH NEW GLASS.

EXISTING STONE BASE. CLEAN USING THE GENTLEST  
MEANS POSSIBLE PER THE SECRETARY OF INTERIOR'S  
STANDARDS OF REHABILITATION. REPAIR OR REPLACE  
ANY DAMAGED OR MISSING COMPONENTS WITH LIKE  
KIND MATERIALS.

CLEAN EXISTING CONCRETE STEPS.

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**C A M P O**  
  
**ARCHITECTS**

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 CORPORATION

Project Title  
**BISHOP-PARKER  
 BUILDING-SPRINGHILL SUITES**  
 152 COOSA STREET, MONTGOMERY, AL

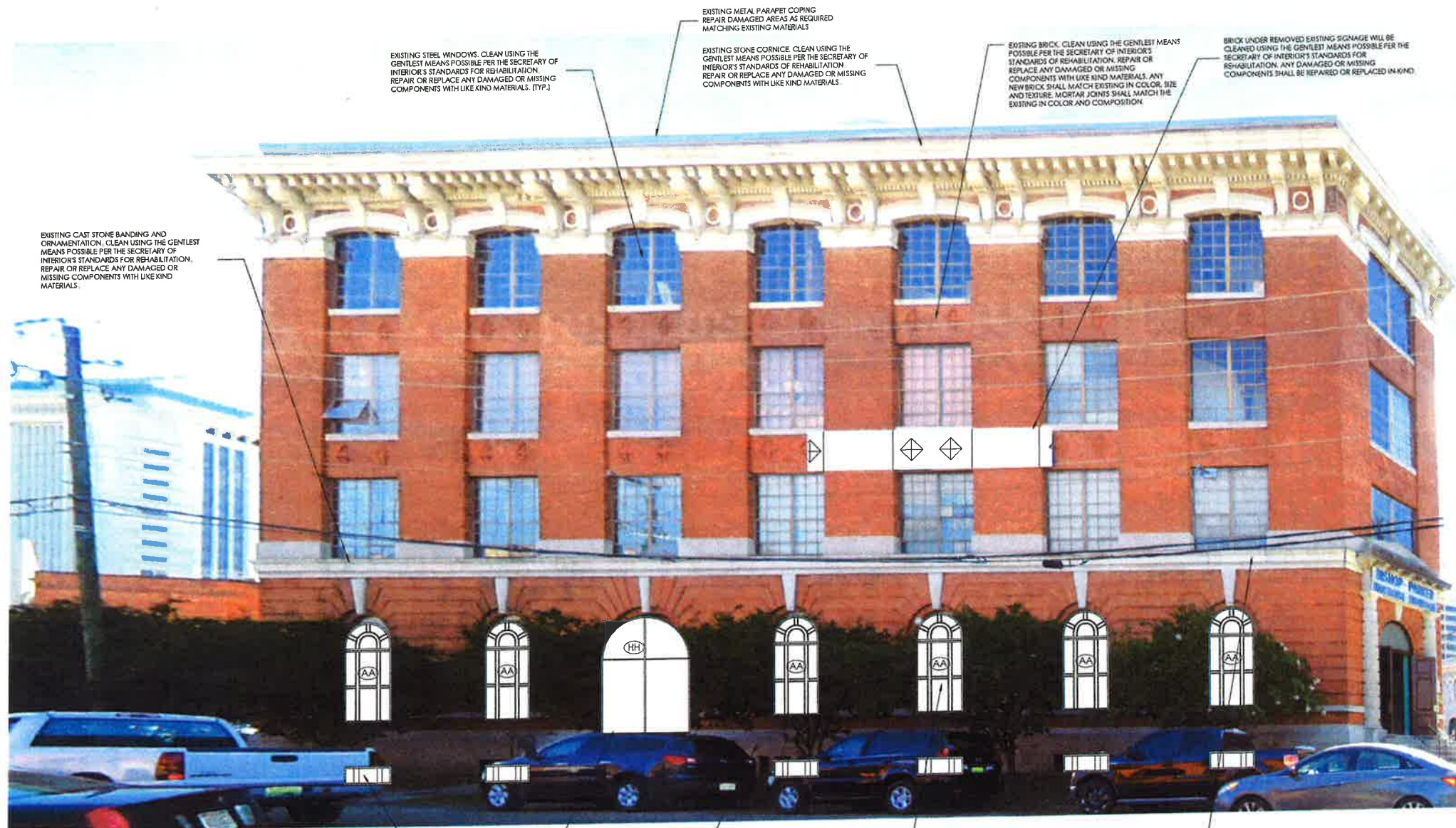
Drawing Title  
**BUILDING ELEVATION**

Seal/Stamp	Drawn	Project Number
	MD	1505
	Reviewed	<b>A201</b>
	AR	
Date	08/18/17	

A1 ELEVATION - TALLAPOOSA STREET  
N.T.S.







EXISTING CAST STONE BANDING AND ORNAMENTATION. CLEAN USING THE GENTLEST MEANS POSSIBLE PER THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION. REPAIR OR REPLACE ANY DAMAGED OR MISSING COMPONENTS WITH LIKE KIND MATERIALS.

EXISTING STEEL WINDOWS. CLEAN USING THE GENTLEST MEANS POSSIBLE PER THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION. REPAIR OR REPLACE ANY DAMAGED OR MISSING COMPONENTS WITH LIKE KIND MATERIALS. (TYP.)

EXISTING METAL PARAPET COPING. REPAIR DAMAGED AREAS AS REQUIRED MATCHING EXISTING MATERIALS.

EXISTING STONE CORNICE. CLEAN USING THE GENTLEST MEANS POSSIBLE PER THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION. REPAIR OR REPLACE ANY DAMAGED OR MISSING COMPONENTS WITH LIKE KIND MATERIALS.

EXISTING BRICK. CLEAN USING THE GENTLEST MEANS POSSIBLE PER THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION. REPAIR OR REPLACE ANY DAMAGED OR MISSING COMPONENTS WITH LIKE KIND MATERIALS. ANY NEW BRICK SHALL MATCH EXISTING IN COLOR, SIZE AND TEXTURE. MORTAR JOINTS SHALL MATCH THE EXISTING IN COLOR AND COMPOSITION.

BRICK UNDER REMOVED EXISTING SIGNAGE WILL BE CLEANED USING THE GENTLEST MEANS POSSIBLE PER THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION. ANY DAMAGED OR MISSING COMPONENTS SHALL BE REPAIRED OR REPLACED IN KIND.

EXISTING BASEMENT WINDOWS AND CAST IRON CRAWL SPACE VENTS. CLEAN USING THE GENTLEST MEANS POSSIBLE PER THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION. REPAIR OR REPLACE ANY DAMAGED OR MISSING COMPONENTS WITH LIKE KIND MATERIALS.

REPLACE EXISTING INFILLED LOADING DOOR WITH NEW WINDOW. INFILLS WILL BE SET AT THE BACKSIDE OF THE MASONRY WALL. STOREFRONTS WILL HAVE MINIMAL FRAMING IN A DARK COLOR. EXISTING GUARDS ARE TO BE RETAINED.

INFILL EXISTING OPENINGS AT 1ST FLOOR WITH NEW EXTERIOR STEEL WINDOWS. WINDOW SIZE AND MUNTIN/MULLION PATTERN TO MATCH ORIGINAL HISTORIC CONFIGURATION. REFER TO SHEET A202 FOR WINDOW ELEVATIONS.

EXISTING STONE BASE. CLEAN USING THE GENTLEST MEANS POSSIBLE PER THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION. REPAIR OR REPLACE ANY DAMAGED OR MISSING COMPONENTS WITH LIKE KIND MATERIALS.

EXISTING STONE CORNICE. CLEAN USING THE GENTLEST MEANS POSSIBLE PER THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION. REPAIR OR REPLACE ANY DAMAGED OR MISSING COMPONENTS WITH LIKE KIND MATERIALS.

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				FINAL SET	08/18/17

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ARCHITECTS

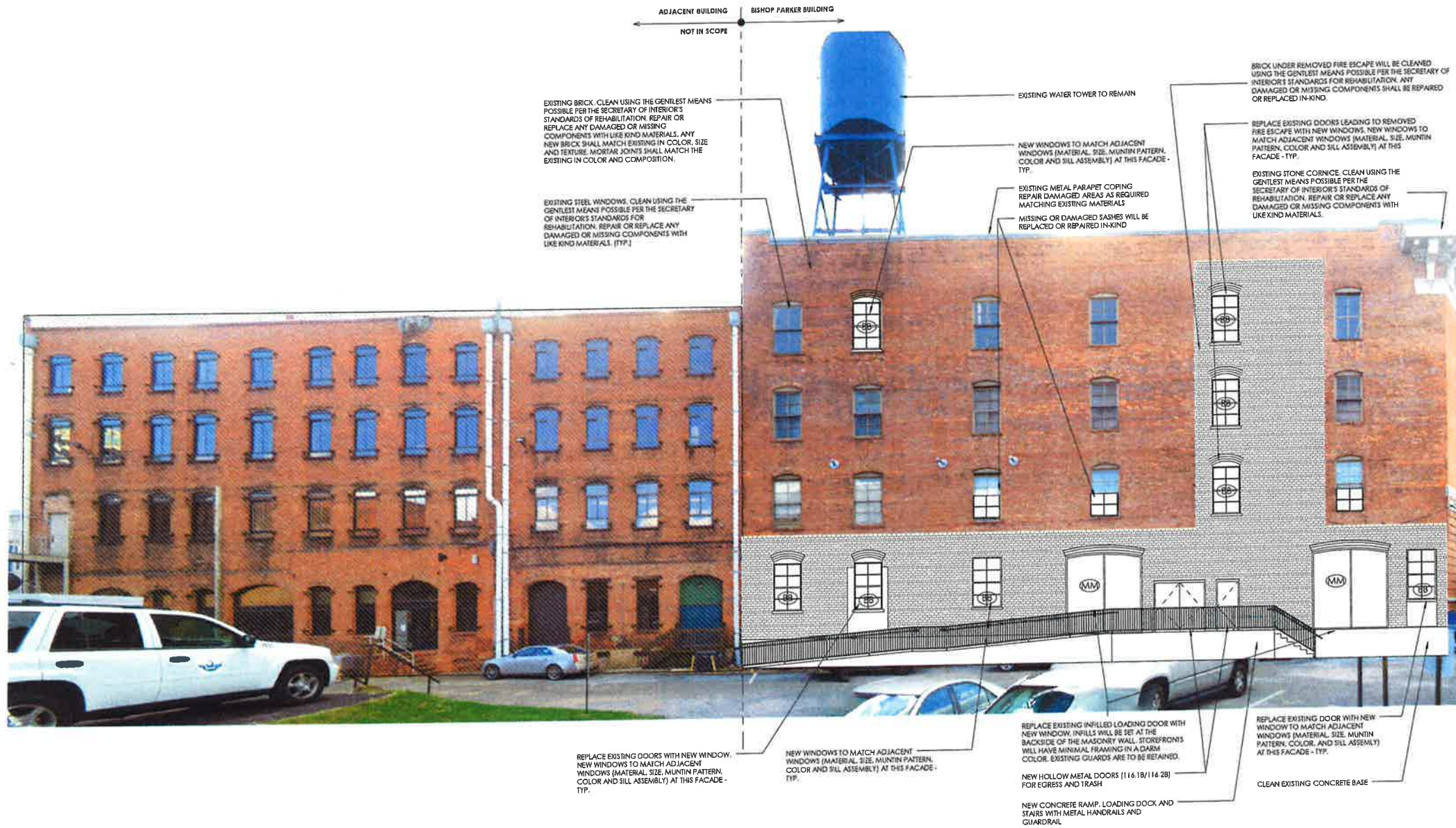
Project Title: **BISHOP-PARKER BUILDING-SPRINGHILL SUITES**  
152 COOSA STREET, MONTGOMERY, AL

Drawing Title: **BUILDING ELEVATION**

Seal/Stamp	Drawn MD	Project Number 1505
	Revised AR	<b>A203</b>
	Date 08/18/17	

A1 ELEVATION - WEST JEFFERSON STREET  
N.T.S.

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A1 ELEVATION - NORTH COURT STREET  
N.T.S.

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**C A M P O**  
**ARCHITECTS**

Project Title  
**BISHOP-PARKER BUILDING-SPRINGHILL SUITES**  
152 COOSA STREET, MONTGOMERY, AL

Drawing Title  
**BUILDING ELEVATION**

Seal/Stamp	Drawn	Project Number
	Author	1505
	Reviewed	
	Checker	
Date	08/18/17	<b>A204</b>