

Planning Commission Agenda

May 25, 2017

Council Auditorium

City Hall

103 North Perry Street

PLANNING COMMISSION MEMBERS

Kippy Tate, *Chairman*

Buddy Hardwich, *Vice-Chairman*

Ann Clemons

Frank Cook

Jerome Moore

Patrick Moss

Crews Reaves

Pickett Reese

James Reid

**Planning Controls Division
25 Washington Ave., 4th Floor
Montgomery, AL 36104
(334)625-2722**

- I. Chairman's Message
- II. Executive Secretary's Report
- III. Approval of Minutes from the April 27, 2017 meeting

May 25, 2017

<u>Item</u>	<u>File No.</u>	<u>Petitioner</u>	<u>Location</u>	<u>Request</u>	<u>Page</u>
1.	8885	Lat32, Inc.	Old McGehee Road	AGR-1	1
2.	DP-2002-044	Richard Frier	Hyundai Boulevard & EastChase Parkway	M-3 & PUD	2
3.	8895	Larry E. Speaks & Associates	South Court Street	T5	3
4.	DP-2017-026	Ken Upchurch	Perry Hill Road	DP	4
5.	DP-2017-025	Donald Evans	Old Montgomery/ Birmingham Highway	DP	5
6.	DP-2017-023	New South Media Group	Vaughn Road	DP	6
7.	DP-2001-038	Goodwyn, Mills & Cawood	Oak Grove Way*	DP	7
8.	8900	“ “	North Eastern Blvd.	Plat	8
9.	8899	“ “	East Cloverdale Park	Plat	9
10.	8898	Pilgren Engineering	Chantilly Parkway	Plat	10
11.	RZ-2017-010	“ “	Eastern Boulevard	Rezoning	11
12.	RZ-2017-011	“ “	Taylor Road	Rezoning	12
13.	RZ-2017-012	Robert Moore	Wetumpka Highway	Rezoning	13
14.	RZ-2017-013	Jennifer Barringer	South Perry Street	Rezoning	14
15.	RZ-2017-009	Willa Darby	Forest Avenue	Rezoning	15
16.	8896	J. M. Garrett & Son	Vaughn Road	Plat	16
17.	DP-1986-021	“ “	Atlanta Highway	DP	17.
18.	8897	“ “	Atlanta Highway	Plat	18
19.	DP-2017-024	Westbrook Engineering	Bill Joppeh Parkway	DP	19
20.	DP-2016-036	“ “	Mobile Highway	DP	20
21.	8889	“ “	Mobile Highway	Plat	21
22.	8901	Flowers & White Engineering	Long Acre	Plat	22
23.	8902	“ “	Margaret Street	Plat	23
24.	8903	“ “	Clerkenwell Street	Plat	24

*The next Planning Commission meeting is on
June 22, 2017*

1. 8885 **PRESENTED BY:** Lat32, Inc.

REPRESENTING: Dominic Saxton

SUBJECT: Request final approval of Dominic & Faye Saxton Plat No. 1 located on the east side of Old McGehee Road, approximately 4,200 ft. southeast of Mobile Highway, in an AGR-1 (Residential Agriculture) Zoning District.

REMARKS: This plat creates one (1) lot for residential use. Lot 1 (9.28 acres) has 26.59 ft. of frontage along Old McGehee Road. The lot is 26 ft. wide at this point and runs east 1,077 ft. and expands to 150 ft. wide at the buildable area. This plat is in compliance with the Zoning Ordinance and Subdivision Regulations for this district.

After the April 27, 2017 public hearing, the petitioner delayed this request.

CITY COUNCIL DISTRICT: Police Jurisdiction

COUNTY COMMISSION DISTRICT: 2

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, and applicable departmental approvals.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

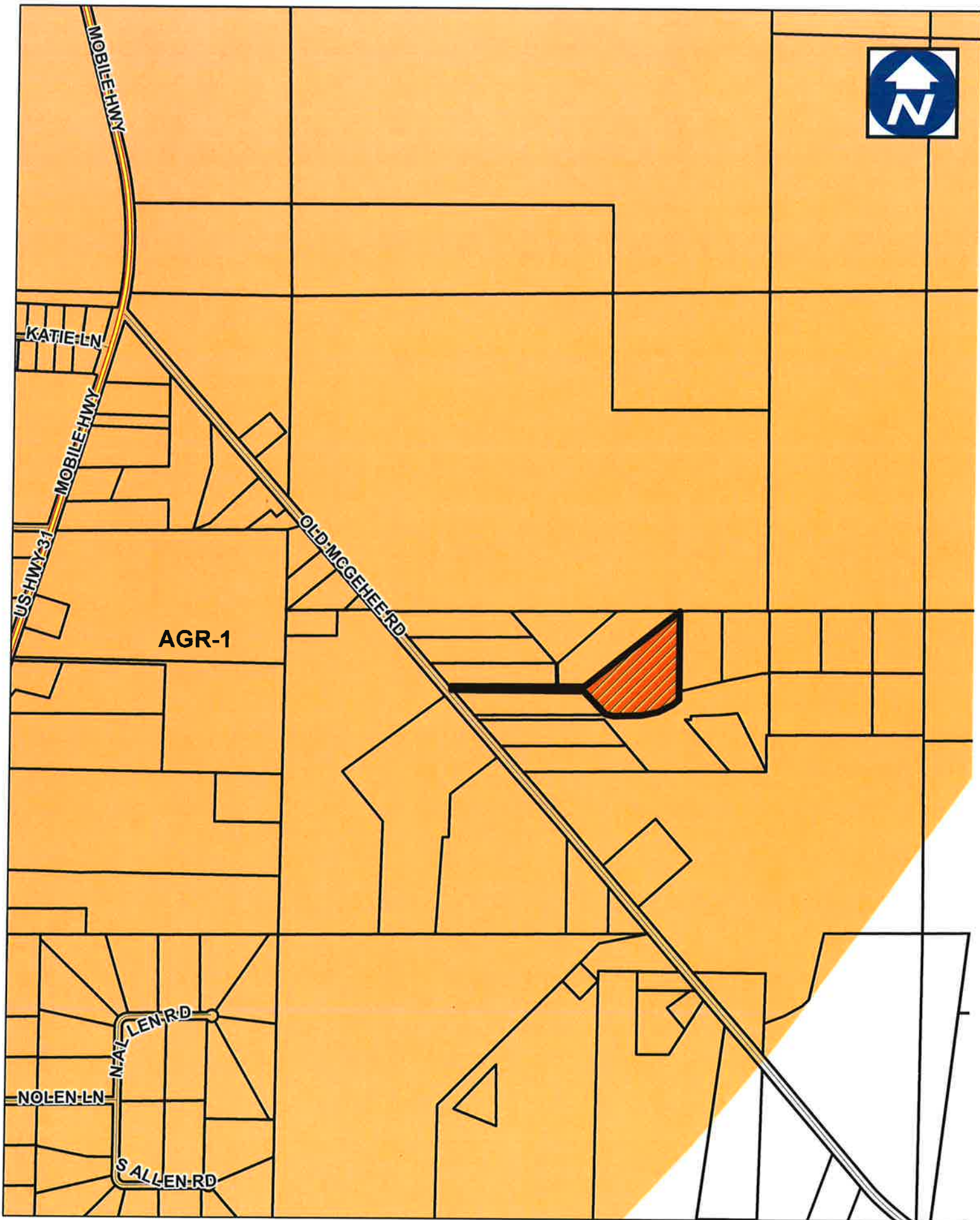
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____



PLATS
1 inch = 1,000 feet

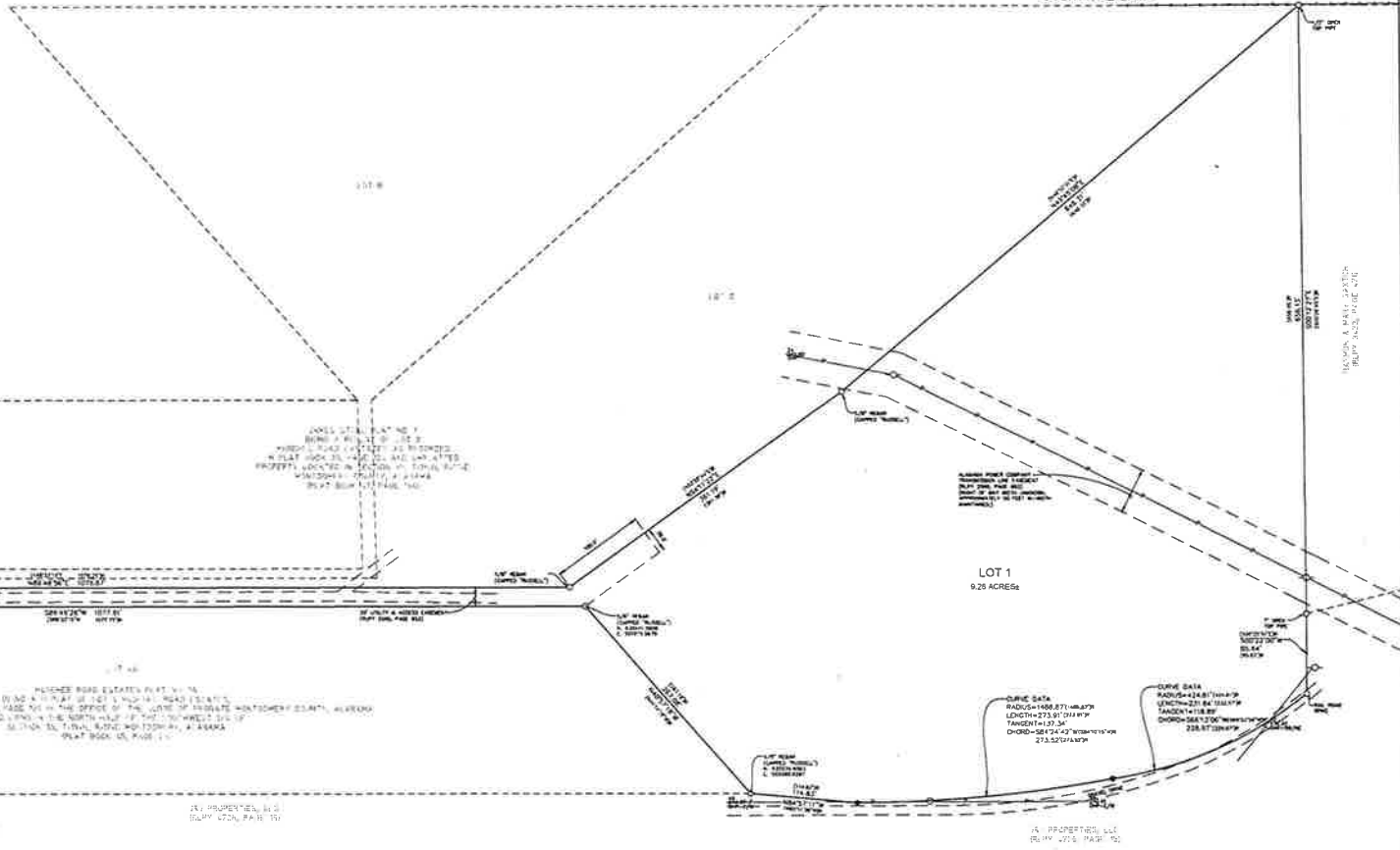
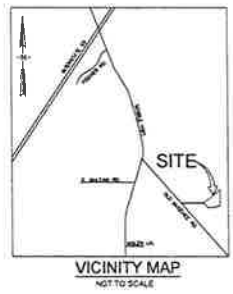
SUBJECT PROPERTY



ITEM NO. 1A

DOMINIC & FAYE SAXTON PLAT NO. 1

LYING IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER, AND THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 35, T15N, R17E, MONTGOMERY COUNTY, ALABAMA



LEGEND

SYMBOL	ITEM
—	DEED RECORD INFORMATION
○	IRON PIN FOUND (AS NOTED)
●	IRON PIN SET (NOT REAR CAPTED "CA-1023")
—	SUBJECT PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	BOUNDARY OF WAY LINE
---	EASEMENT (AS NOTED)
---	STATE PLANE COORDINATES

SURVEYOR'S CERTIFICATE
 STATE OF ALABAMA
 MONTGOMERY COUNTY
 I, D. SHANE TRAYLOR, A LICENSED LAND SURVEYOR IN THE STATE OF ALABAMA, HEREBY CERTIFY THAT THE PROPERTY SHOWN ON THIS PLAT IS TRUE AND CORRECT. THAT ALL CORNERS ARE MARKED WITH IRON PINS AND THAT THEY ACTUALLY EXIST AND THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.
 THIS THE 19th DAY OF MARCH 2017.
 D. SHANE TRAYLOR, ALA. LICENSE NO. 24411

OWNER'S CERTIFICATE
 THE UNDERSIGNED, DOMINIC SAXTON AND FAYE SAXTON, OWNERS OF THE PROPERTY SHOWN HEREON, HEREBY JOIN IN AND SAYS THE FOREGOING SURVEYOR'S CERTIFICATE, PLAT AND MAP, AND ACCEPTS AND APPROVES SAID PLAT AND MAP ON THIS THE _____ DAY OF _____, 2017.
 DOMINIC SAXTON, OWNER
 FAYE SAXTON, OWNER
 STATE OF ALABAMA
 MONTGOMERY COUNTY
 I, THE UNDERSIGNED, A NATURAL PERSON IN AND FOR SAID COUNTY IN SAID STATE, HEREBY CERTIFY THAT DOMINIC SAXTON AND FAYE SAXTON, AS OWNERS OF THE PROPERTY SHOWN HEREON, IS SIGNED TO THE FOREGOING SURVEYOR'S CERTIFICATE, PLAT AND MAP, AND WHO IS KNOWN TO ME, BEEN INFORMED BEFORE ME ON THIS DAY THAT BEING INFORMED OF THE CONTENTS OF SAID CERTIFICATE, PLAT AND MAP, EXECUTED THE SAME VOLUNTARILY ON THE DAY THE SAME BEARS DATE.
 GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS THE _____ DAY OF _____, 2017.

APPROVAL OF MONTGOMERY CITY PLANNING COMMISSION
 THIS PLAT WAS SUBMITTED TO THE CITY PLANNING COMMISSION OF MONTGOMERY, ALABAMA, ON _____ AND IS APPROVED ACCORDING TO THE CODE OF ALABAMA, § 14-3-32.

THOMAS H. TYSON, JR., EXECUTIVE SECRETARY DATE _____

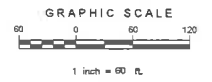
CERTIFICATE OF APPROVAL BY THE MONTGOMERY COUNTY HEALTH DEPARTMENT

THE LOTS ON THIS PLAT ARE SUBJECT TO APPROVAL OR DELETION BY THE MONTGOMERY LHD. NO REPRESENTATION IS MADE THAT ANY LOT ON THIS PLAT WILL ACCOMMODATE AN ON-SITE SEWAGE SYSTEM UNDER THE APPROPRIATENESS OF A LOT FOR AN ON-SITE SEWAGE SYSTEM. THE LOT APPROVAL MAY CONTAIN CERTAIN CONDITIONS WHICH RESTRICT THE USE OF THE LOT OR OBLIGATE OWNERS TO SPECIAL MAINTENANCE AND REPORTING REQUIREMENTS, AND THESE ARE ON FILE WITH THE SAID HEALTH DEPARTMENT AND ARE MADE A PART OF THIS PLAT AS IF SET OUT HERE ON.
 THE UNDERSIGNED, AS AUTHORIZED BY THE MONTGOMERY COUNTY HEALTH DEPARTMENT, ALABAMA, HEREBY APPROVES THE FOREGOING PLAT FOR RECORDING OF SALES IN THE PUBLIC OFFICE OF MONTGOMERY COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 2017.

DRYD GOODEN, DIRECTOR, DIVISION OF ENVIRONMENTAL HEALTH, MONTGOMERY COUNTY HEALTH DEPARTMENT

APPROVAL OF THE MONTGOMERY COUNTY ENGINEER
 THIS PLAT HAS BEEN SUBMITTED TO AND APPROVED BY THE MONTGOMERY COUNTY ENGINEER FOR RECORDING IN THE OFFICE OF THE JUDGE OF PROBATE OF MONTGOMERY COUNTY, ALABAMA.

GEORGE C. SPANZ, MONTGOMERY COUNTY ENGINEER DATE _____



DRAWN BY: DVA	CHECKED BY: JVN	PROJECT NO.: 1702
DATE: 12/09/11	DATE: 12/09/11	REFERENCE DRAWING STATE PLANS: MACKS 0211, ALABAMA EAST ZONE

312 CATOMA STREET
 SUITE 101
 MONTGOMERY, ALABAMA 36104
 (204) 271-7172
 www.lars-llc.com

5/8" REBAR
(CAPPED "SPEAKS")

5/8" REBAR
(CAPPED "SPEAKS")

5/8" REBAR
(CAPPED "RUSSELL")

OLD McGEHEE ROAD
(COUNTY ROAD 27)
7' IN-WIDTH RIG

(N89°33'15"E 1078.25')R
N89°48'56"E 1078.67'

GRAVEL DRIVE

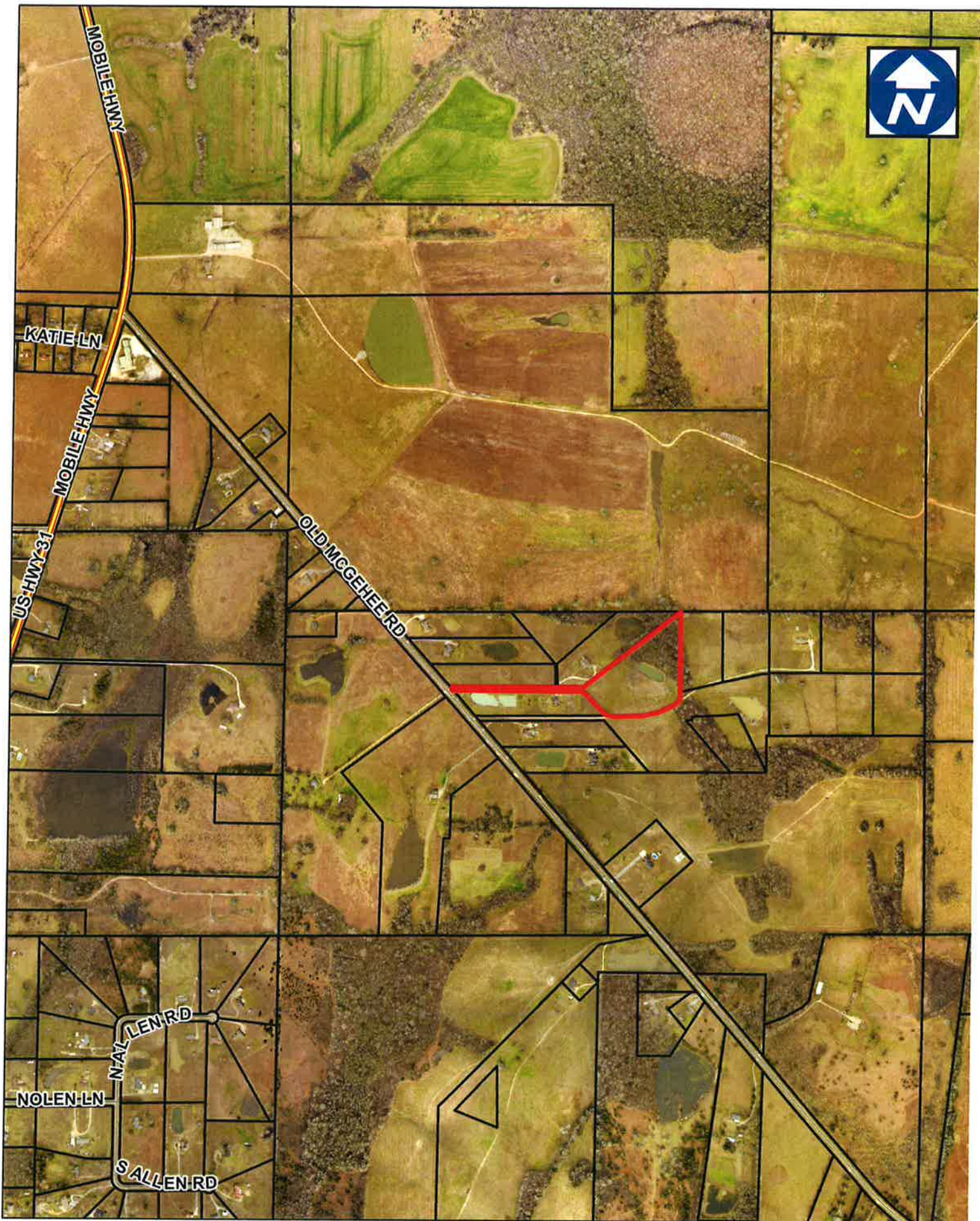
S89°49'28"W 1077.81'
(S89°33'15"W 1077.75')R

20' UTILITY & ACCESS EASEMENT
(RLPY 2595, PAGE 852)

5/8" REBAR
(CAPPED "RUSSELL")

LOT 4A

12



PLATS
1 inch = 1,000 feet

SUBJECT PROPERTY



ITEM NO.

10

2. DP-2002-044 **PRESENTED BY:** Richard Frier
DP-2002-078

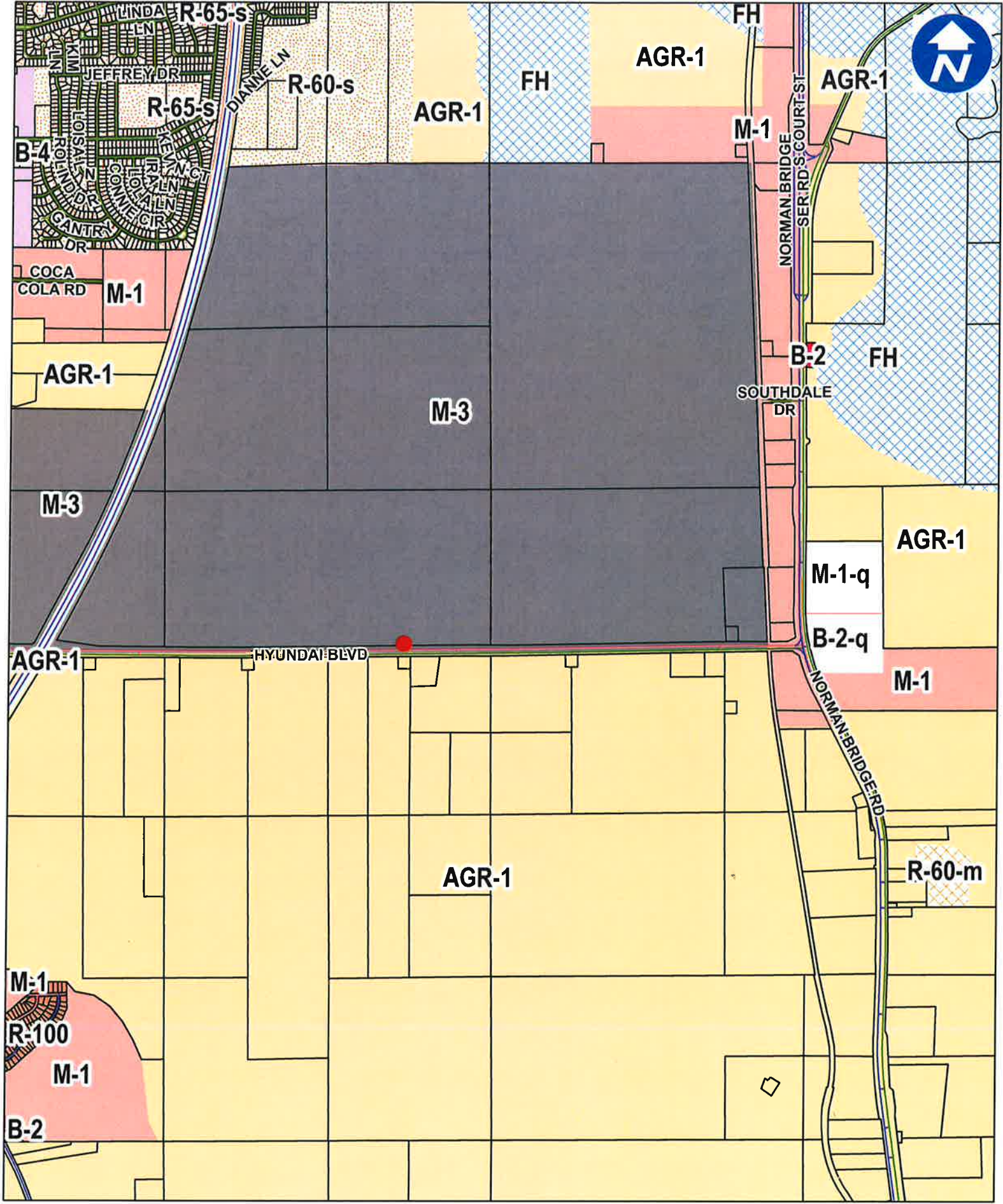
REPRESENTING: Mobilitie

SUBJECT: Public hearing for mobilitie cell towers to be located on the right-of-way at 502 Hyundai Boulevard in an M-3 (General Industrial) Zoning District and at 6903 EastChase Parkway in a PUD (Planned Unit Development) Zoning District.

REMARKS: The City Council approved a franchise to construct, operate and maintain communication systems on city right-of-way within the corporate limits at the April 18, 2017 meeting. A public hearing is being held for public knowledge of locations of the towers.

COMMENTS: _____

ACTION TAKEN: _____



Site ●

1 inch = 2,000 feet

Item 2A

JB

#4 - BI90XS535D – Co Rd 42 (new wood pole 73') PHOTOSIM

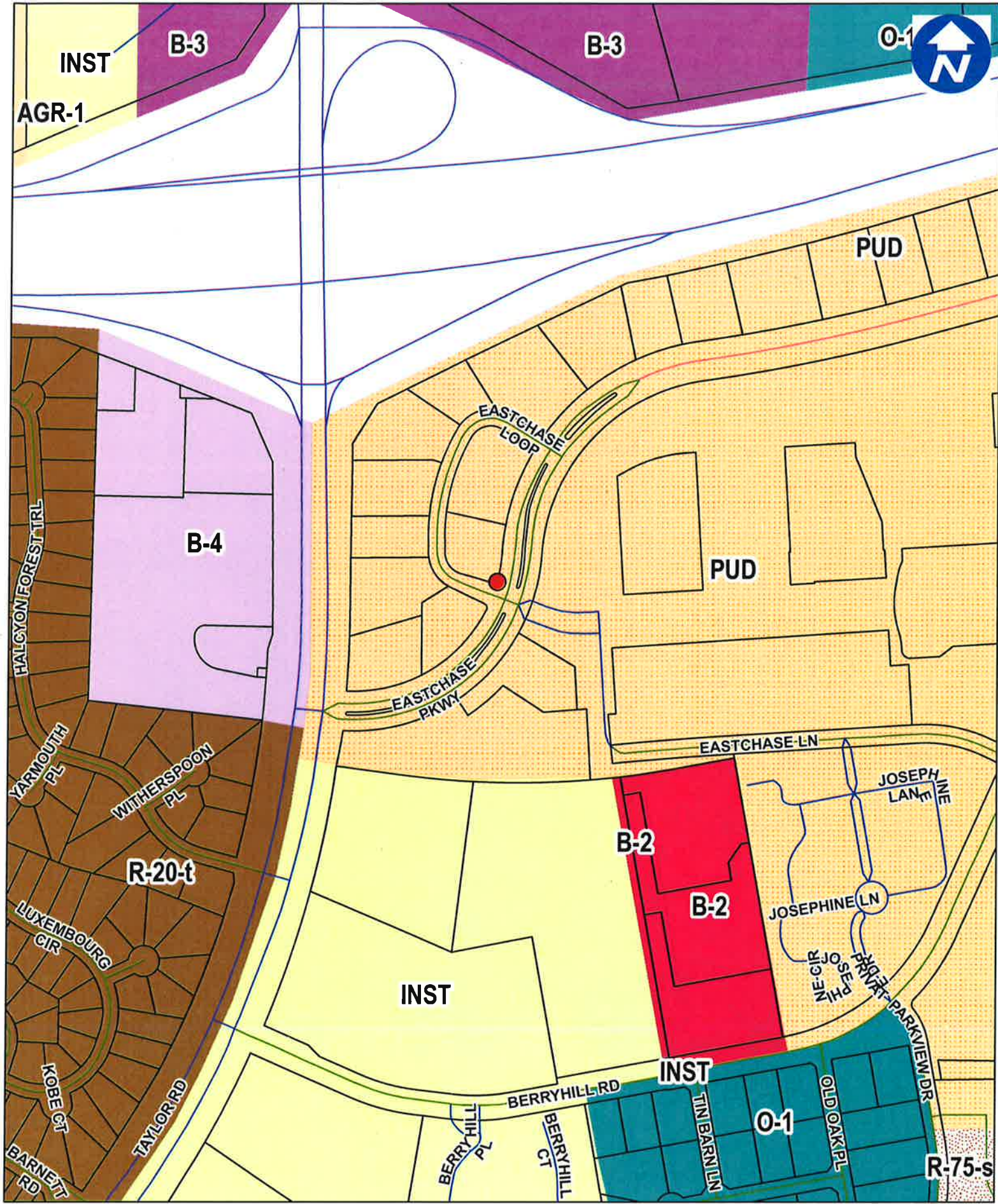


502 Hyundai Blvd



Site ●

1 inch = 500 feet
Item 2C



Site ●

1 inch = 400 feet

Item 2D

2E

#3 - BI90XS510C – Eastchase Pkwy (attach to traffic signal pole - pending traffic engineer approval)



6903 EastChase Pkwy.



Site ●

1 inch = 200 feet

Item 2F

3. 8895 **PRESENTED BY:** Larry E. Speaks & Associates

REPRESENTING: Foshee Design & Construction

SUBJECT: Request final approval of Foshee Design & Construction, LLC Plat No. 1 located on the east side of South Court Street, 131 ft. south of Dexter Avenue in a T5 (Urban Center) SmartCode Zoning District.

REMARKS: This plat replats portions of two (2) existing lots. Lot 7-A (0.07 acres) has 31.44 ft. of frontage along South Court Street and a depth of 100.71 ft. Lot 8-A (0.06 acres) has 24.09 ft. of frontage along South Court Street and a depth of 102.69 ft. This plat is in compliance with the Zoning Ordinance and Subdivision Regulations for this district.

CITY COUNCIL DISTRICT: 3

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, and applicable departmental approvals.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____



PLATS
1 inch = 100 feet

SUBJECT PROPERTY

ITEM NO. 3A

FOSHEE DESIGN & CONSTRUCTION, LLC - PLAT NO. 1

BEING A REPLAT OF A PORTION OF LOTS 7 & 8
 NEW PHILADELPHIA PLAT (CITY OF MONTGOMERY)
 PLAT BOOK 0, PAGE 196
 LOCATED IN THE SW 1/4 OF SECTION 7
 T-16-N, R-18-E
 MONTGOMERY COUNTY, ALABAMA

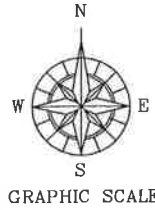


LOCATION MAP

SCALE: 1" = 1 MILE

* BEARINGS ROTATED SO THAT THE SOUTH LINE OF LOT 8 FORMERLY KNOWN AS NEW PHILADELPHIA PLAT (CITY OF MONTG.) P.B. 0, PG. 196 SAME PROPERTY RECORDED IN D.B. 441 AT PG. 36 SEPT. 16, 1957

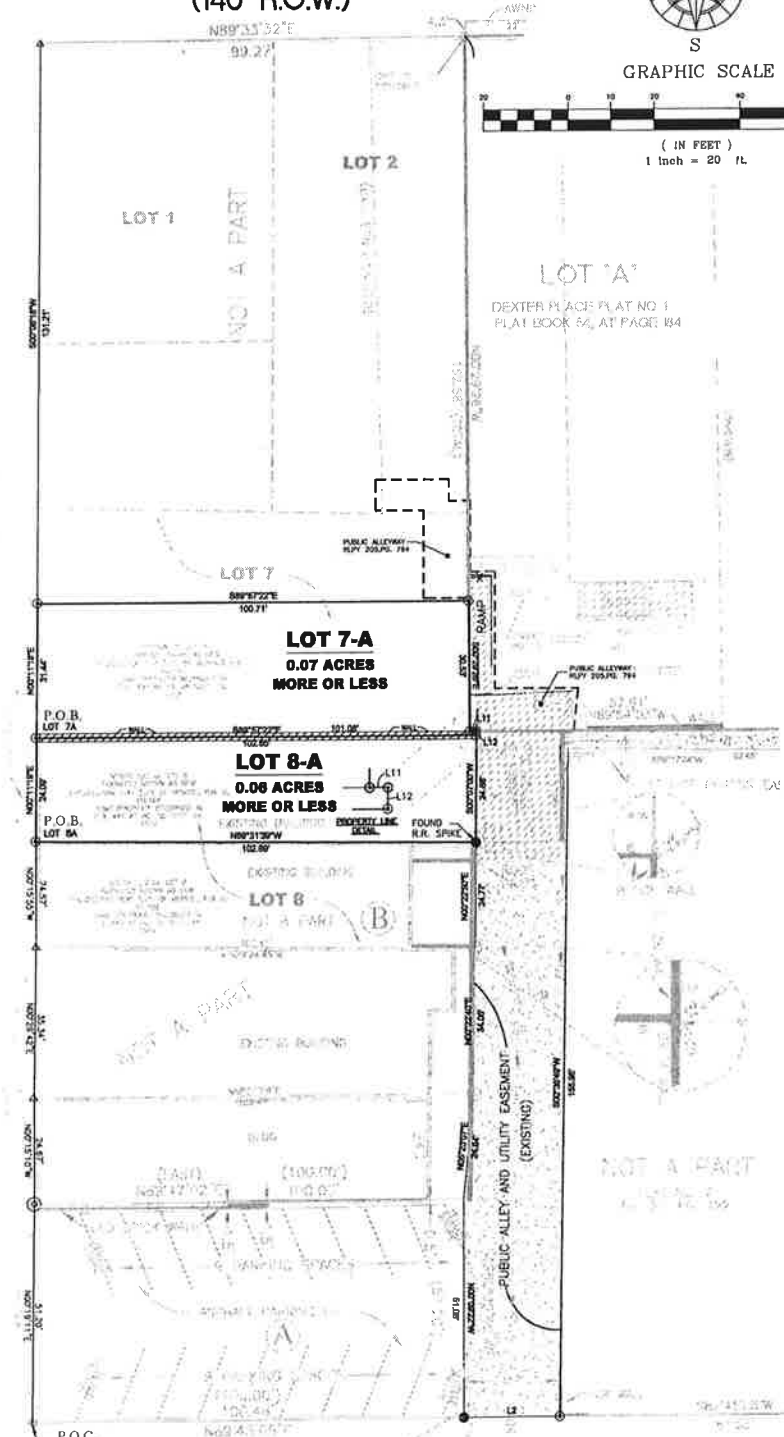
DEXTER AVENUE
 (140' R.O.W.)



GRAPHIC SCALE

(IN FEET)
 1 inch = 20 ft.

SOUTH COURT STREET



LINE	BEARING	LENGTH
L1	N03°34'46"W	0.85'
L2	S89°41'58"W	22.70'
L3	S88°48'55"W	6.73'
L4	S88°48'55"W	10.35'
L5	N08°23'47"E	16.49'
L6	S08°20'19"E	0.63'
L7	N01°42'51"W	1.05'
L8	S89°23'47"W	13.92'
L9	S92°12'59"W	4.32'
L10	S00°44'01"E	28.00'
L11	S89°30'40"E	1.58'
L12	S00°02'00"W	0.00'

LEGEND:

- FOUND IRON PIN
- SET IRON PIN (5/8" REBAR CAPPED) W/ # CA-00017-LS
- △ CALCULATED POINT
- ⊙ SET NAIL
- ⊙ FOUND NAIL

SURVEYOR'S CERTIFICATE:

STATE OF ALABAMA
 MONTGOMERY COUNTY

I, Steven E. Speaks, a Licensed Professional Engineer and Licensed Professional Land Surveyor, hereby certify that I have surveyed the property shown on this map and plat, and the map and plat is true and correct; that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama, to the best of my knowledge, information and belief; that the corners have been marked with iron pipe markers; and they actually were in existence.

This the _____ day of _____, 2017.

Steven E. Speaks
 Alabama Registration No. 20087

DEDICATION:

STATE OF ALABAMA
 MONTGOMERY COUNTY

Foshee Design & Construction, LLC, an Alabama Limited Liability Company, as owner of Lot 7-A and Lot 8-A, Foshee Design & Construction, LLC - Plat No. 1, being a replat of a portion of Lots 7 and 8, New Philadelphia Plat (City of Montgomery), as recorded in Plat Book 0, Page 196, Montgomery County, Alabama, shown on this map and plat, hereby join in and sign the foregoing Surveyor's Certificate and adopt this map and plat as true and correct.

This the _____ day of _____, 2017.

Foshee Design & Construction, LLC, an Alabama Limited Liability Company

John H. Foshee
 Its: Manager

ACKNOWLEDGMENT:

STATE OF ALABAMA
 MONTGOMERY COUNTY

I, the undersigned authority, a Notary Public in and for said County in said State, hereby certify that John H. Foshee, whose name, as Manager of Foshee Design & Construction, LLC, an Alabama limited liability company, is signed to the foregoing, and who is known to me, acknowledged before me on this day that, being informed of the contents of said instrument, he as such officer, executed the same voluntarily and with full authority and as the act of said corporation on the day the same bears date.

Given under my hand and official seal, this _____ day of _____, 2017.

Notary Public
 My commission expires: _____

CERTIFICATE OF APPROVAL BY THE MONTGOMERY CITY PLANNING COMMISSION:

This plat was submitted to the City Planning Commission of Montgomery, Alabama, on _____ and is approved according to the Code of Alabama 11-52-32.

By: Thomas M. Tyson, Jr., Executive Secretary

GENERAL NOTES:

1. ALL EASEMENTS OR RIGHTS-OF-WAYS, EXCEPT UTILITY, PRIVATE EASEMENTS, COMMON EASEMENTS OR EASEMENTS FOR SANITARY SEWERS OR WATER MAINS SHOWN ON THE PLAT ARE HEREBY DEDICATED TO THE MUNICIPALITY OF MONTGOMERY, ALABAMA AND/OR THE COUNTY OF MONTGOMERY, ALABAMA, FOR PUBLIC USE. EASEMENTS INCLUDE THE RIGHTS OF INGRESS AND EGRESS BY CITY AND/OR COUNTY EMPLOYEES FOR MAINTENANCE OF THE PROPERTY INCLUDED IN THE EASEMENTS. NO PERMANENT STRUCTURES MAY BE PLACED ON ANY EASEMENT SHOWN.
2. EASEMENTS FOR SANITARY SEWERS AND WATER MAINS, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY DEDICATED TO THE WATER WORKS AND SANITARY SEWER BOARD OF THE CITY OF MONTGOMERY, ALABAMA, ITS SUCCESSORS OR ASSIGNS, FOR INGRESS AND EGRESS IN THE INSTALLATION AND MAINTENANCE OF SANITARY SEWERS AND WATER MAINS AND THEIR APPURTENANCES. NO PERMANENT STRUCTURES MAY BE ERECTED OVER ANY PART OF THESE EASEMENTS.
3. STREETS SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY TENDERED FOR DEDICATION TO PUBLIC USE.
4. A TEN FOOT EASEMENT FOR UTILITIES IS HEREWITH RESERVED ON THAT PORTION OF EACH LOT ABUTTING A DEDICATED STREET. EASEMENTS FOR UTILITIES, PRIVATE DRAINAGE OR PRIVATE ACCESS ARE FOR THE USE OF ANY UTILITY WHICH MAY REQUIRE THEM, FOR SURFACE DRAINAGE OR ACCESS AS NEEDED. INSTALLATION AND MAINTENANCE OF PROPERTY IN THESE EASEMENTS ARE NOT THE RESPONSIBILITY OF THE CITY OR COUNTY OF MONTGOMERY, ALABAMA.

DATE: 4-27-17

LARRY E. SPEAKS & ASSOCIATES, INC.
 COLEMAN ENGINEERS & LAND SURVEYORS
 530 HERON STREET
 MONTGOMERY, AL 36104
 TEL: 336-763-1091

3B



PLATS
1 inch = 100 feet

SUBJECT PROPERTY



ITEM NO. 30

4. DP-2017-026 **PRESENTED BY:** Ken Upchurch

REPRESENTING: CCU, LLC

SUBJECT: Public hearing for a development plan for a building to be located on the west side of Perry Hill Road, approximately 160 ft. north of Windsor Hill Boulevard, in an O-1-Q (Office-Qualified) Zoning District.

REMARKS: The petitioner has submitted plans to construct a 5,254 sq. ft. building with a 500 sq. ft. canopy. There are 32 paved parking spaces indicated on the site plan. There is one (1) access drive to (proposed) Windsor Hill Court. All applicable requirements will be met.

Planning Controls Comment(s): There is no refuse container indicated or approved.

CITY COUNCIL DISTRICT: 7

All requests are subject to **Zoning Ordinance and/or Subdivision Regulations, applicable departmental approvals and Planning Commission recommendations.**

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

URBAN FORESTRY: No objections.

COMMENTS: _____

ACTION TAKEN: _____



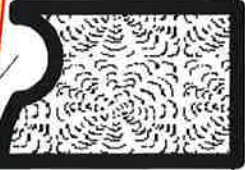
CARMICHAEL RD

B-4

B-2

ROSEMARY PARK

WINDSOR HILL CT



B-3-q

WINDSOR HILL BLVD

CAIRNBROOK DR

PUD

R-24-t

PERRY HILL RD

DONIGLE PARK

WINDSOR HILL CT

O-1-q

VAUGHN RD

R-85

R-100

DEVELOPMENT SITE
1 inch = 200 feet

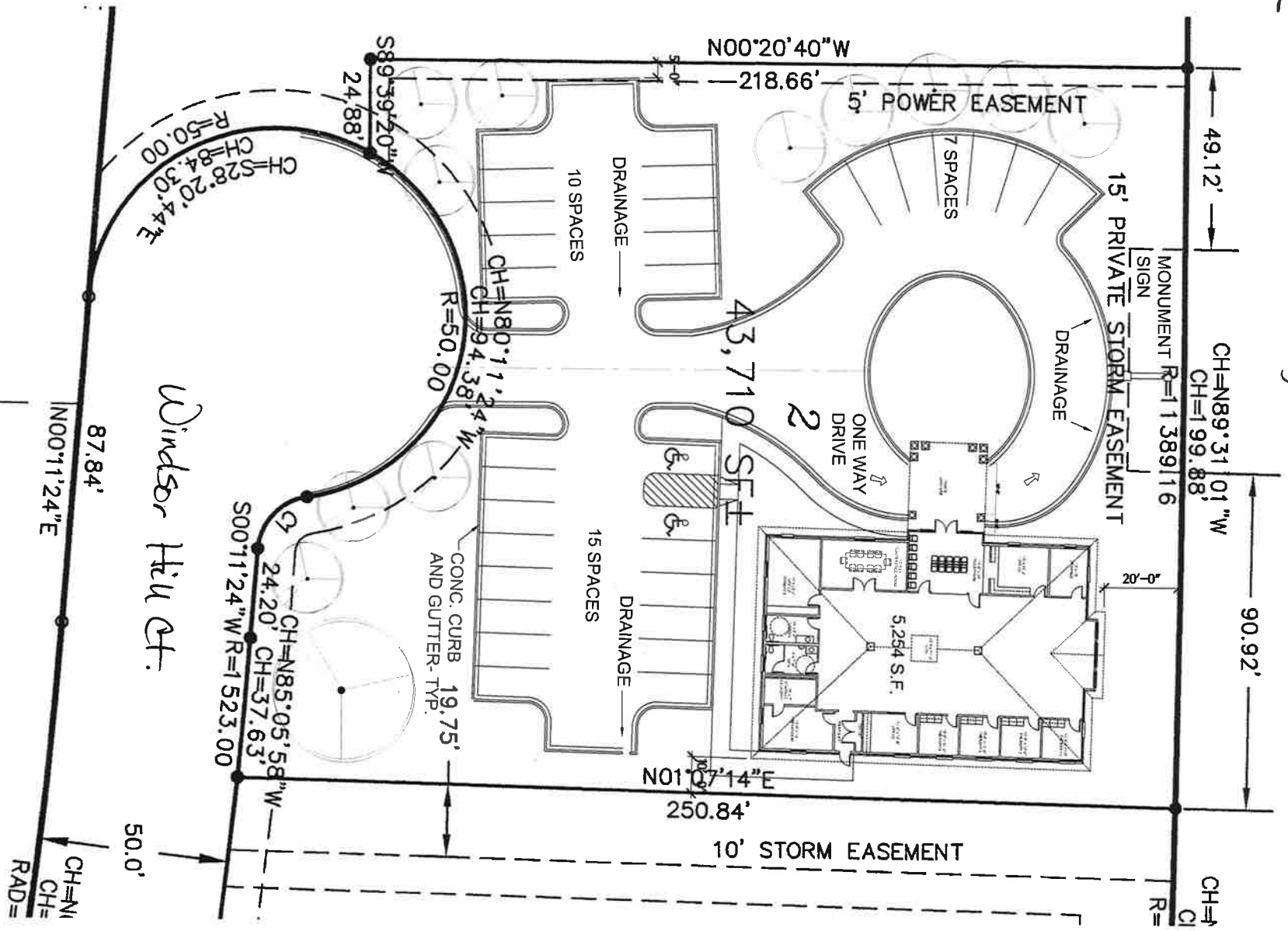
SUBJECT PROPERTY



ITEM NO. 4A

4-2

Perry Hill Rd.



Windsor Hill Ct.

1
C11
SCALE 1" = 20'-0"

PROPOSED SITE PLAN - PHOENIX BUILDING

413



DEVELOPMENT SITE
1 inch = 200 feet

SUBJECT PROPERTY



ITEM NO. 4C

5. DP-2017-025 **PRESENTED BY:** Donald Evans

REPRESENTING: Evans Park and Pavilion

SUBJECT: Public hearing for a development plan for an open air flea market and entertainment venue to be located at 3958 Old Montgomery/Birmingham Highway in an M-3 (General Industrial) Zoning District.

REMARKS: The petitioner has submitted plans to construct four (4) 1,500 sq. ft. open pavilions, and a 1,500 sq. ft. stage to be used for entertainment purposes. There is an area designated for approximately 427 parking spaces indicated on the site plan. The green space on occasion be used with portable canopies to create an open air flea market. All applicable requirements will be met.

Planning Controls Comment(s): There is no signage indicated or approved.

CITY COUNCIL DISTRICT: 4

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, applicable departmental approvals and Planning Commission recommendations.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

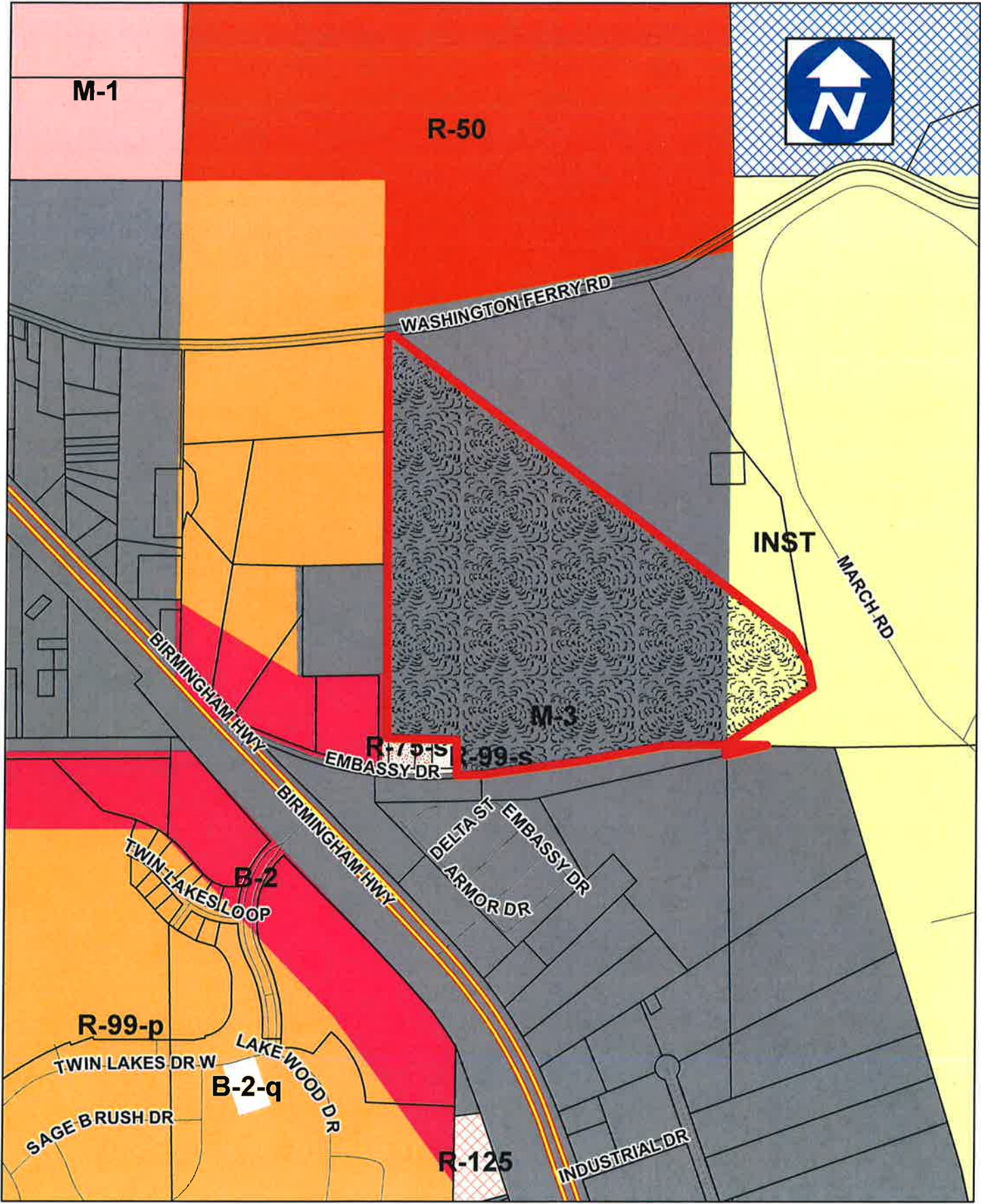
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

URBAN FORESTRY: No objections.

COMMENTS: _____

ACTION TAKEN: _____

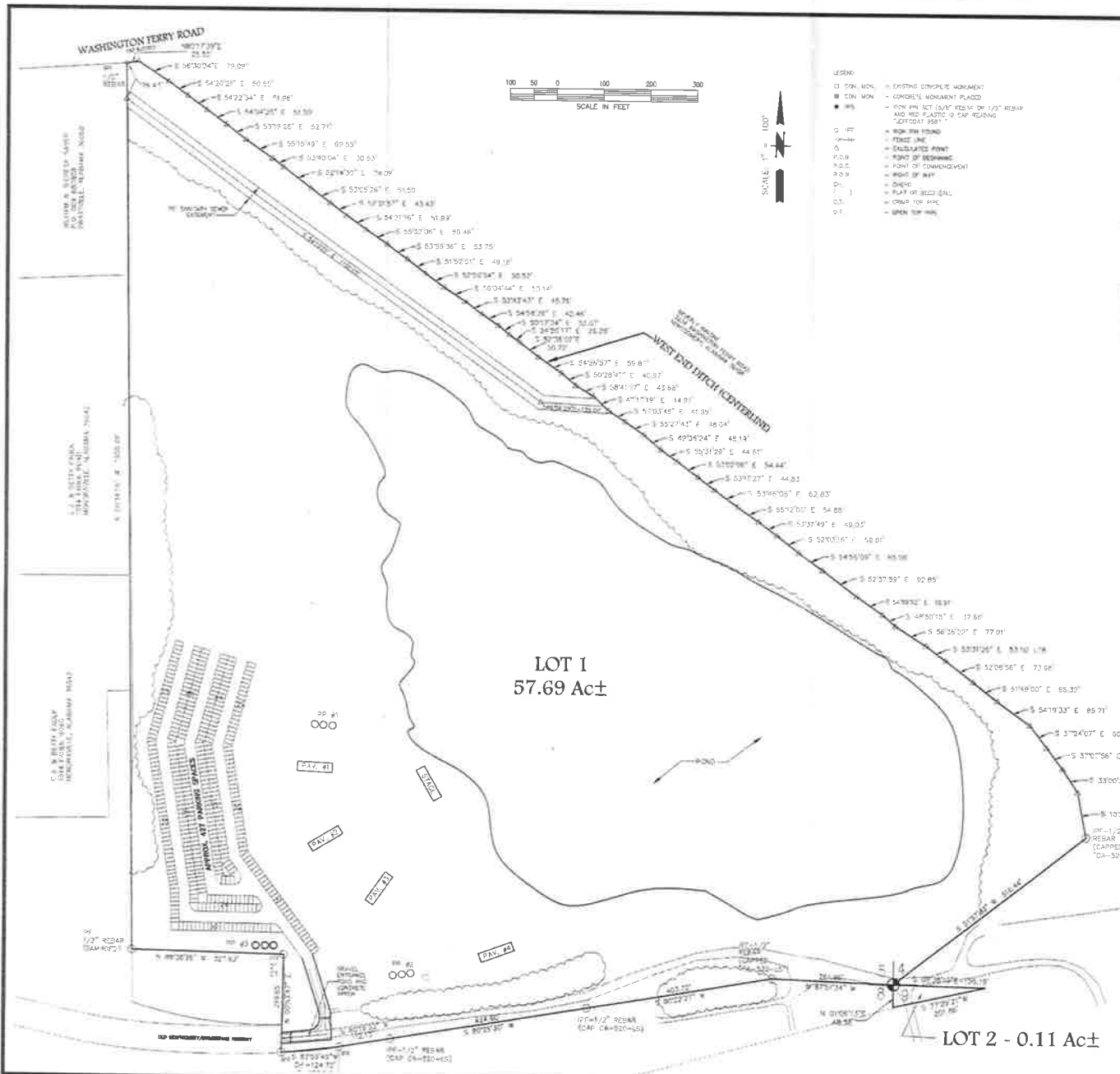


DEVELOPMENT SITE
1 inch = 600 feet

SUBJECT PROPERTY 

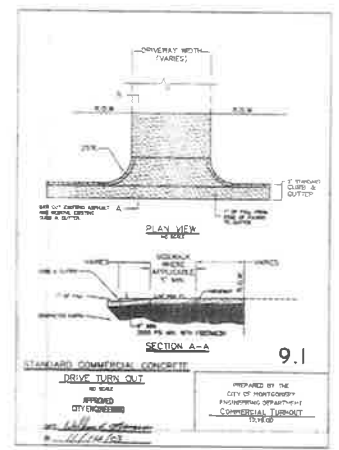
ITEM NO. 5A

5B



- LEGEND
- 20K MON. = EXISTING COMPLETE MONUMENT
 - 20K MON. = CONCRETE MONUMENT PLACED
 - 20K = IRON PIN SET (3/4" DIA) 1/2" ON 1/2" REBAR AND HD PLASTIC ID CAP READING 1000001 1991
 - 10K = HIGH IRON IRON
 - = FENCE LINE
 - A = CALCULATED POINT
 - P.O.B. = POINT OF BEGINNING
 - P.O.C. = POINT OF COMMENCEMENT
 - P.O.P. = POINT OF PIVOT
 - = CURVE
 - = PLAT OR RECORD
 - = CURVE TO BE MADE
 - = MAIN TOP MARK

- NOTES
1. BEFORE WORK BEGINS WITH RIGHT-OF-WAY (FROM CONTACT A CITY ENGINEERING CHECK INSPECTOR AT 825-2863 OR 844-5181)
 2. ALL UTILITY CONNECTIONS MADE WITHIN EXISTING CITY STREETS MUST BE SIGNED UNLESS OTHERWISE DETERMINED BY CITY MAINTENANCE DEPARTMENT (241-3888 OR 262-3777)
 3. ANY STREET CUTS REQUIRE A CITY STANDARD PAVEMENT PATCH AND 60' LONG, FULL STREET WIDTH ASPHALT OVERLAY
 4. BEFORE ANY STREET CUTS, CONTACT SIGNALS THRU CITY MAINTENANCE AT 241-3888 OR 262-3777
 5. DIRECT ALL STORM WATER INCLUDING ROOF DRAINS TO STREET ROW OR TO DRAINAGE EASEMENT DURING ALL PHASES OF CONSTRUCTION
 6. CONTRACTOR IS RESPONSIBLE FOR KEEPING MAID AND DEBRIS OFF CITY STREETS AND ROW. CLEAN UP IS REQUIRED DAILY.
 7. CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT OF SIDEWALK AND/OR CURB AND GUTTER DAMAGED DURING CONSTRUCTION
 8. ANY CHANGES OR REVISIONS MADE TO THIS PLAN MUST BE SUBMITTED FOR APPROVAL
 9. ALL AREAS OF ROW THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE REPLACED WITH 300 ASPHALT OR CONCRETE. WHENEVER ENGINEERING DEPARTMENT DEMANDS ACCESSORY.
 10. CONVERT ALL GRATE INLETS TO "S" TYPE INLETS
 11. ALL EXISTING GRANITE CURBS ADJACENT TO THE PROPERTY SHALL BE REMOVED AND REPLACED WITH 24" EXISTING CURB AND GUTTER. THE NEW CURB LINE SHALL MATCH THE EXISTING CURB LINE. ALL ASPHALT ADJACENT TO THE PROPOSED CURB AND GUTTER SHALL BE SAID OUT THE FULL DEPTH OF THE ASPHALT TO PROVIDE A CLEAN EDGE. SHOULD THE ASPHALT BE TORN OR A ROUGH EDGE BE CREATED THE CONTRACTOR SHALL BE REQUIRED TO OVERLAY THE FULL STREET WIDTH AT HIS OWN EXPENSE. THIS DETAIL SECTION SHALL BE MADE BY THE CITY ENGINEERING DEPARTMENT
 12. PROVIDE WALKWAY RIMPS AT ALL SIDEWALK AND DRIVEWAY INTERSECTIONS
 13. THE DISBURSED PROPERTY IS LOCATED IN ZONE X ACCORDING TO COMMUNITY PANEL NUMBER 011010002 (DATED 1/1/15)
 14. 3" COVER IS REQUIRED AT ALL TIMES OVER EXISTING WATER AND SANITARY SEWER LINES
 15. ALL WATER AND SANITARY SEWER WORK SHALL BE COMPLETED IN ACCORDANCE WITH MWSSS SPECIFICATIONS



- SPECIAL NOTES:
1. INTENDED USE: RENTAL VENUE
 2. CURRENT ZONING:
 3. PROPERTY IS CONTAINED IN LOT 1, DONALD EVANS PLAT NO. 1
 4. PROPOSED PARKING TOTALS 427 SPACES
 5. NO ADDITIONAL WATER AND SANITARY SEWER LATERALS WILL BE CREATED FOR THIS DEVELOPMENT PLAN.
 6. THIS DEVELOPMENT PLAN WILL CONSIST OF THREE PHASES: PHASE ONE - REPLACEMENT OF THE PORTABLE TOILETS; PHASE TWO - CLEARING AND STABILIZATION OF PARKING AREA; PHASE THREE - CONSTRUCTION OF PAVILIONS

JEFFCOAT ENGINEERS & SURVEYORS, L.L.C.
 CIVIL ENGINEERS/LAND SURVEYORS/PLANNERS

CLARENCE
 528 SOUTH HULL STREET
 MONTGOMERY, ALABAMA 36104
 (205) 566-1000

DEVELOPMENT PLAN FOR EVANS PROPERTY VENUE
 LOT 1, DONALD EVANS PLAT NO. 1
 OLD MONTGOMERY/BIRMINGHAM HIGHWAY
 MONTGOMERY, ALABAMA

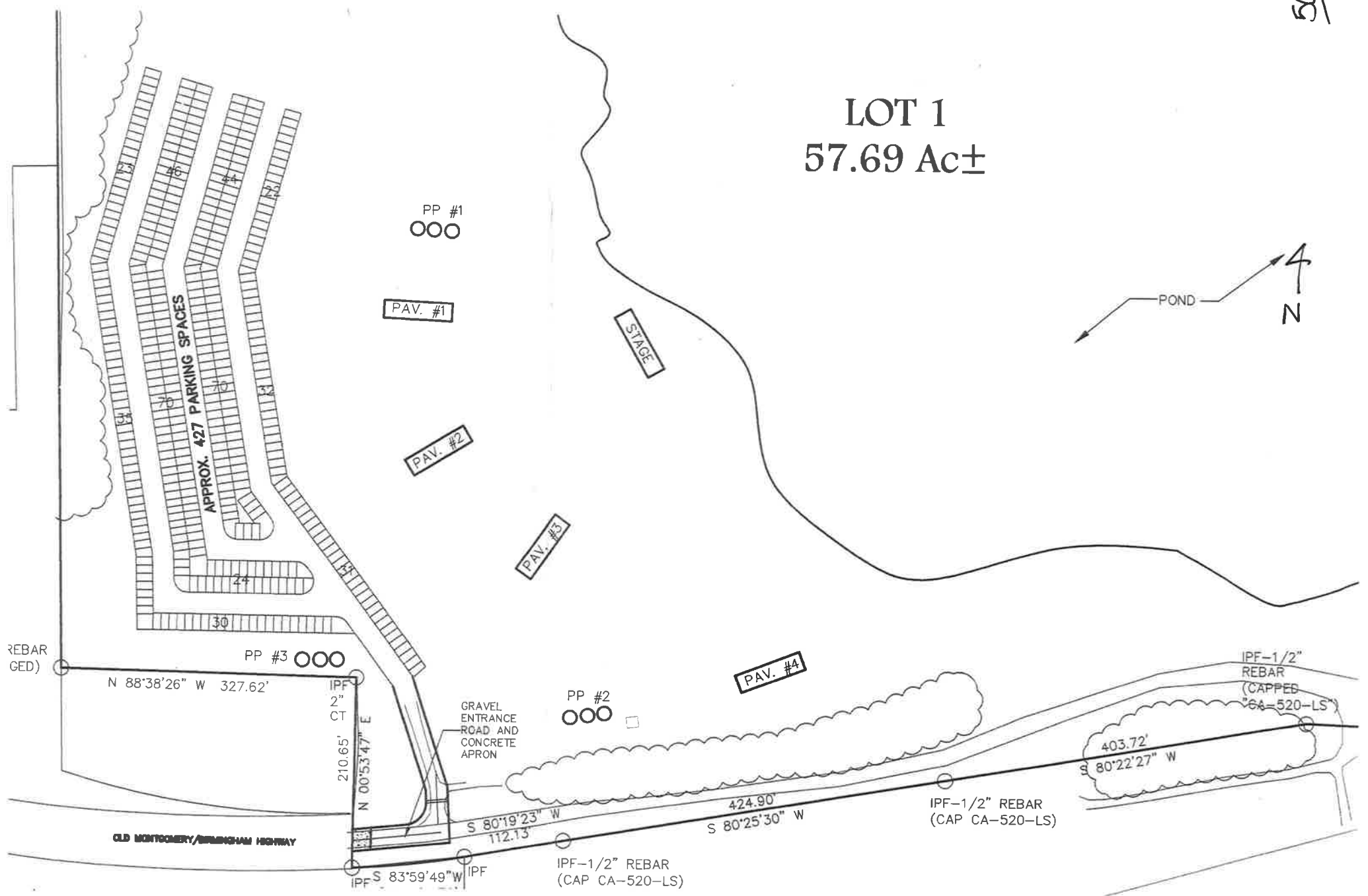
NO.	REVISION

PROJECT NO: 16-312
 PROJECT: DONALD EVANS
 DRAWN BY: BSH
 REVIEWED BY: GJ
 FIELD SURVEY: 8/25/16 (LS)
 FIELD CREW: JH-SD
 APPROVED BY: GJ
 SCALE: NOTED
 DATE: 4/18/17
 DRAWING NAME: 16312DP 4 18 17

RECEIVED

521

LOT 1 57.69 Ac±



REBAR (GED) PP #3 ○○○

N 88°38'26" W 327.62'

IPF 2" CT 210.65'

N 00°53'47" E

GRAVEL ENTRANCE ROAD AND CONCRETE APRON

PP #2 ○○○

PAV. #4

S 80°19'23" W 112.13'

424.90' S 80°25'30" W

IPF-1/2" REBAR (CAP CA-520-LS)

403.72' S 80°22'27" W

IPF-1/2" REBAR (CAPPED "GA-520-LS")

OLD MONTGOMERY/BIRMINGHAM HIGHWAY

IPF S 83°59'49" W IPF

IPF-1/2" REBAR (CAP CA-520-LS)

POND

N



DEVELOPMENT SITE
1 inch = 600 feet

SUBJECT PROPERTY 

ITEM NO. 5D

6. DP-2017-023 **PRESENTED BY:** New South Media Group

REPRESENTING: Boykin, Inc.

SUBJECT: Public hearing for a development plan for a new billboard to be located on the north side of Vaughn Road, approximately 600 ft. east of Festival Drive*, in a B-5 (Commercial) Zoning District.

REMARKS: The petitioner has submitted plans to construct a double faced billboard on an enclosed unipole that will be 230 sq. ft. per side (460 sq. ft. total) and 30 ft. in height. The proposed billboard will be placed on a vacant lot. All applicable requirements will be met.

* *Private Street*

CITY COUNCIL DISTRICT: 9

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, applicable departmental approvals and Planning Commission recommendations.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

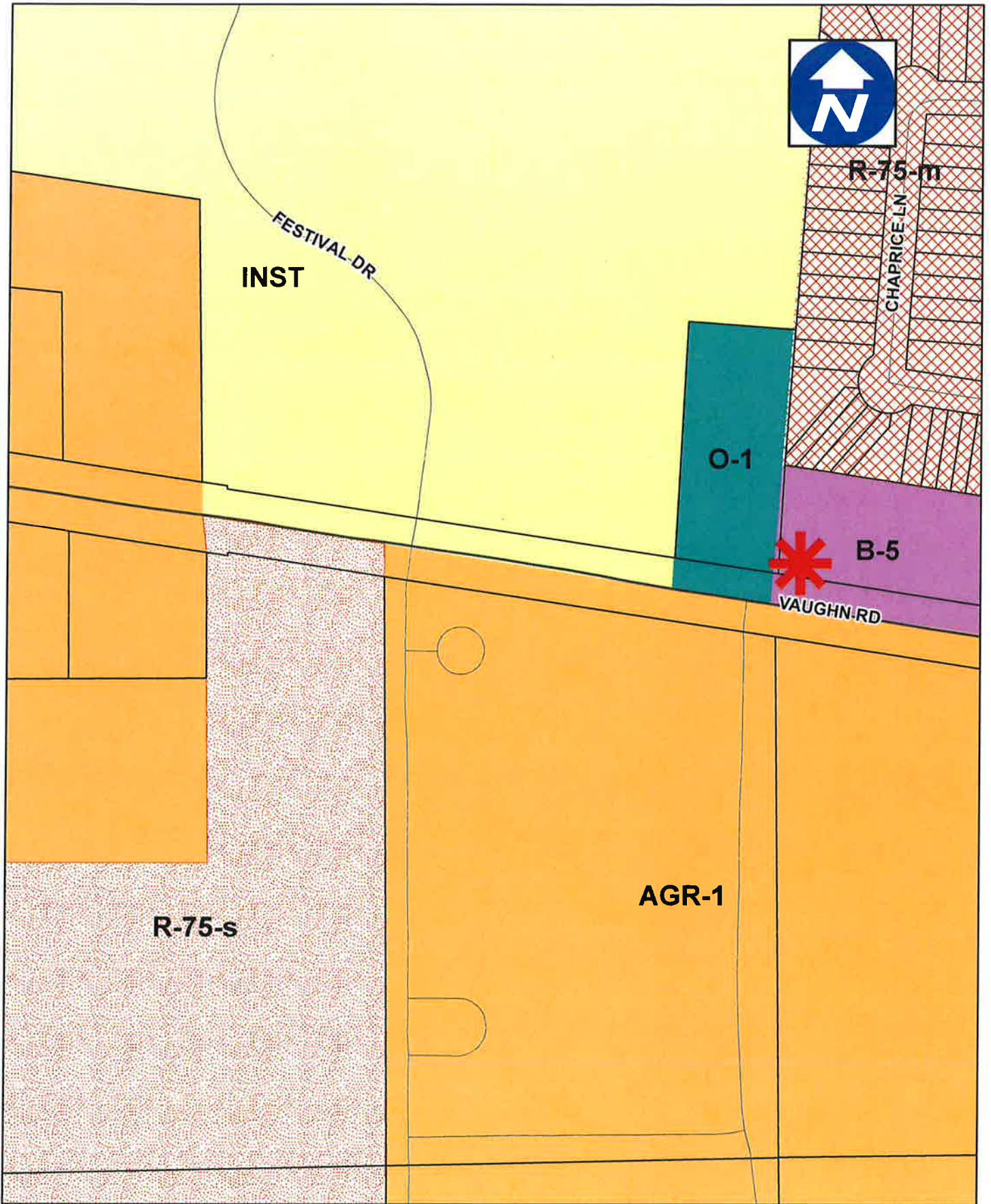
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

URBAN FORESTRY: No objections.

COMMENTS: _____

ACTION TAKEN: _____



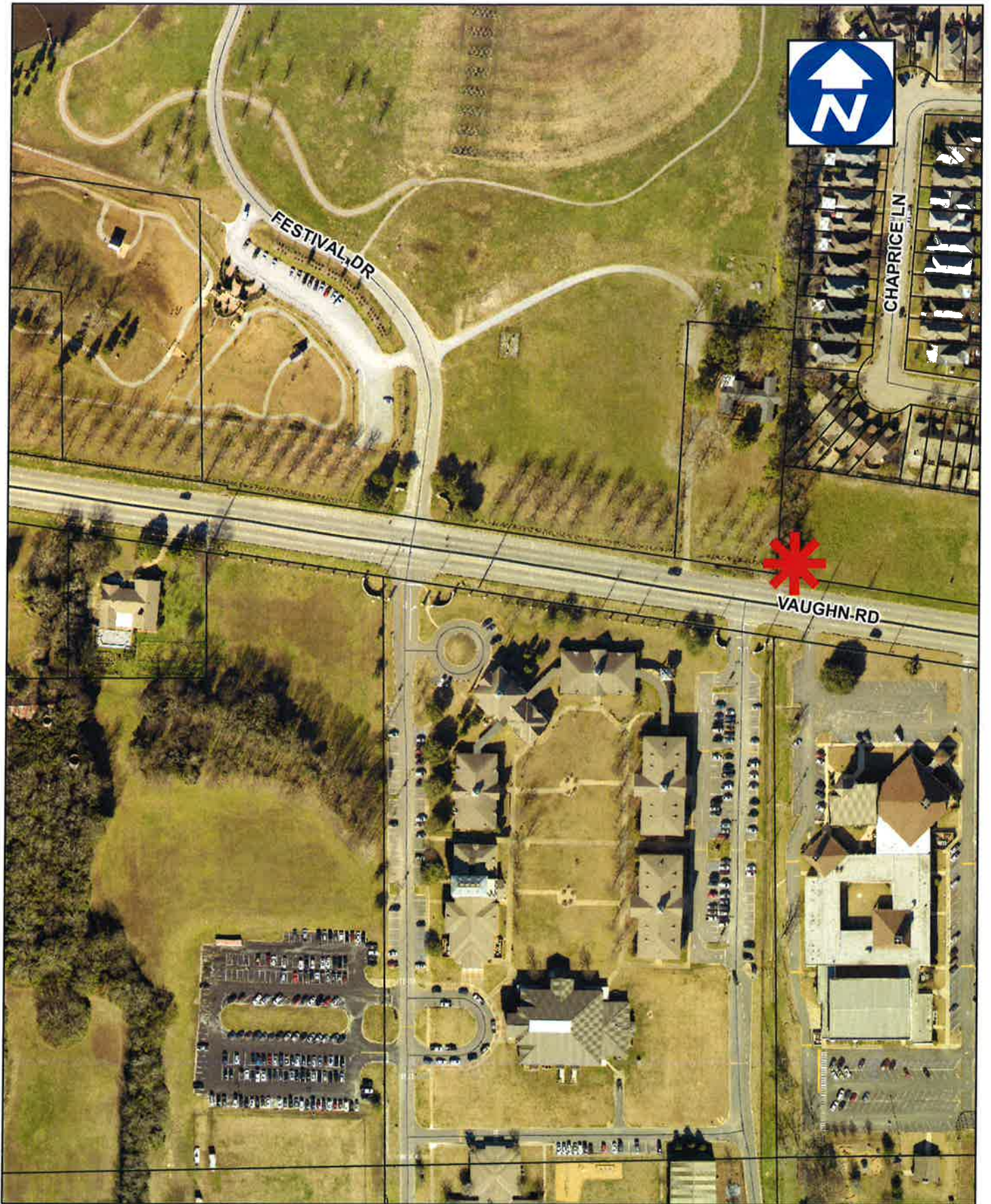
DEVELOPMENT SITE
1 inch = 200 feet

SUBJECT PROPERTY *

ITEM NO. 6A



6B



DEVELOPMENT SITE
1 inch = 200 feet

SUBJECT PROPERTY *

ITEM NO. 6C

7. DP-2001-038 **PRESENTED BY:** Goodwyn, Mills & Cawood

REPRESENTING: Oak Grove Inn, LLC

SUBJECT: Public hearing for a development plan for a new building to be located on the east side of Oak Grove Way*, approximately 400 ft. south of Oak Grove Drive*, in a PUD (Planned Unit Development) Zoning District.

REMARKS: The petitioner has submitted plans to construct a 43,637 sq. ft. "Skilled Care Assisted Living Facility". There are 57 paved parking spaces indicated on the site plan. There is one (1) access drive to Oak Grove Way* and two (2) access drives to a future private drive. All applicable requirements will be met.

** Private*

Planning Controls Comment(s): A plat will be required.

CITY COUNCIL DISTRICT: 8

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, applicable departmental approvals and Planning Commission recommendations.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

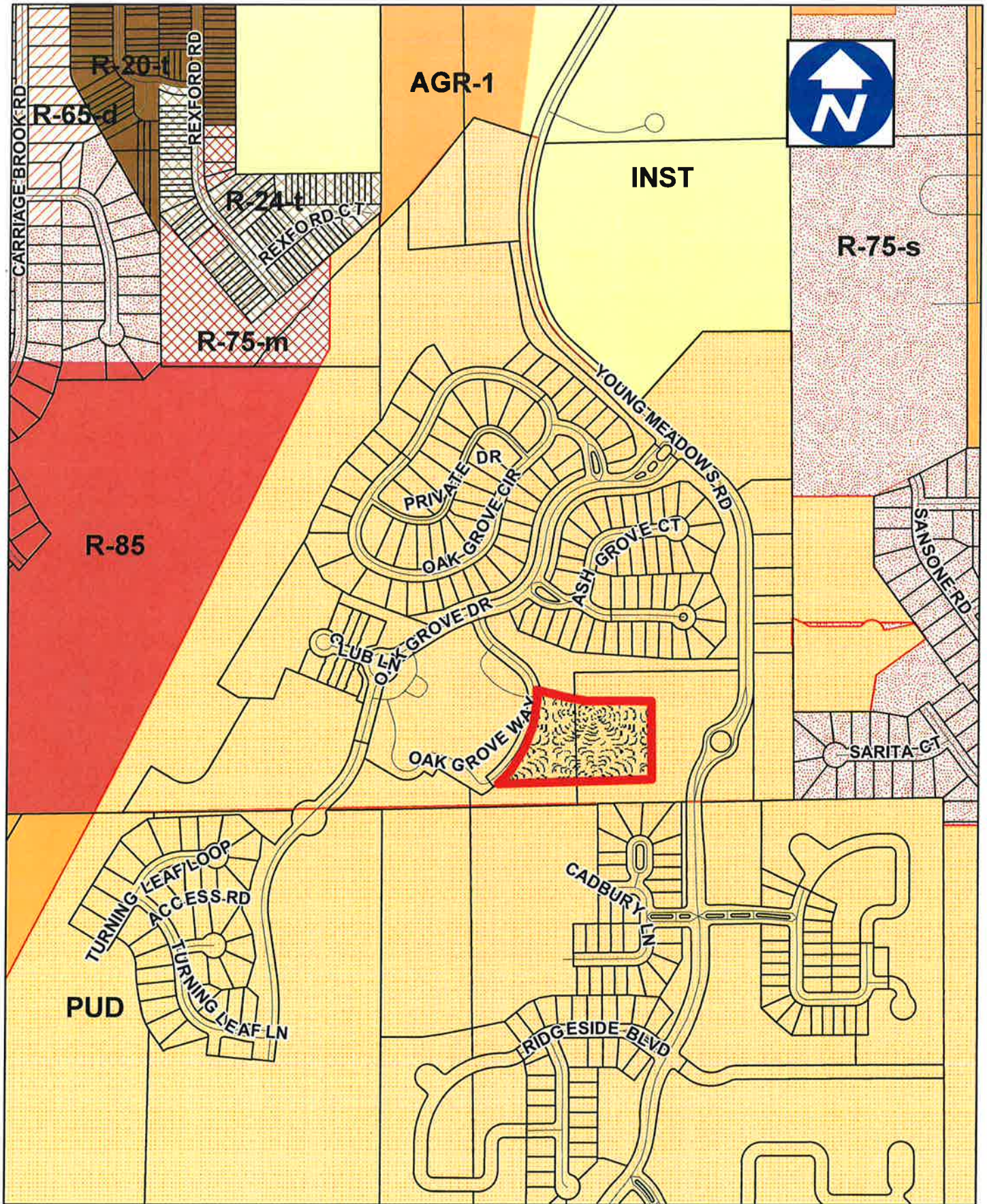
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

URBAN FORESTRY: No objections.

COMMENTS: _____

ACTION TAKEN: _____



DEVELOPMENT SITE

1 inch = 500 feet

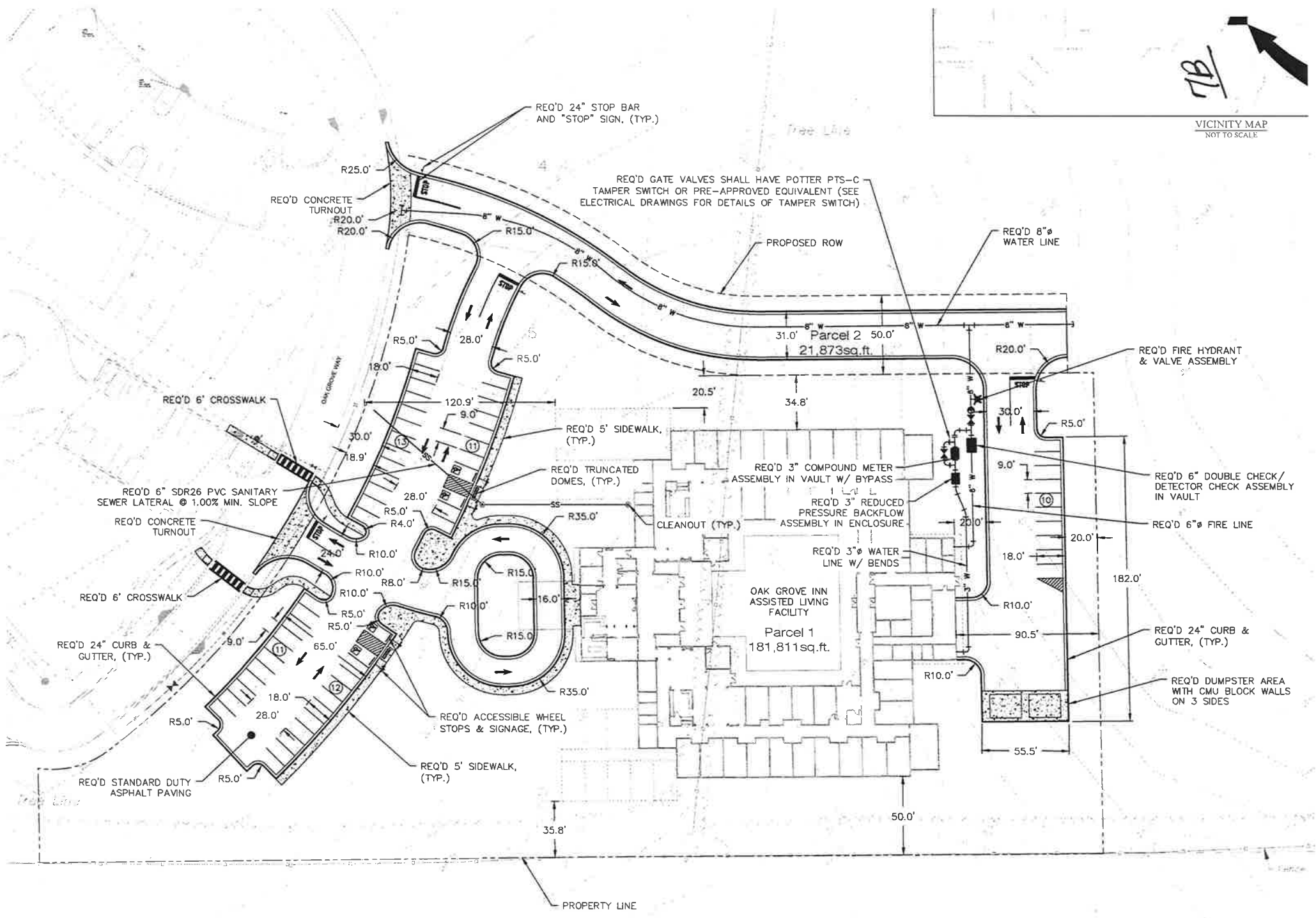
SUBJECT PROPERTY



ITEM NO. TA



VICINITY MAP
NOT TO SCALE





DEVELOPMENT SITE
1 inch = 400 feet

SUBJECT PROPERTY



ITEM NO. 7C

8. 8900 **PRESENTED BY:** Goodwyn, Mills & Cawood

REPRESENTING: Premier Holdings, LLC

SUBJECT: Request final approval of Premier Kings Plat No. 1-A located on the east side of North Eastern Boulevard, approximately 250 ft. north of Roy Hodges Boulevard, in an M-1 (Light Industrial) Zoning District.

REMARKS: This plat replat one (1) lot for industrial use. Lot 1-A (1.972 acres) has 270 ft. of frontage along North Eastern Boulevard and a depth of 250 ft. on the north side of the lot. The lot extends on the south side to Todd Road with 50.97 ft. of frontage. This plat is in compliance with the Zoning Ordinance and Subdivision Regulations for this district.

CITY COUNCIL DISTRICT: 2

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, and applicable departmental approvals.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

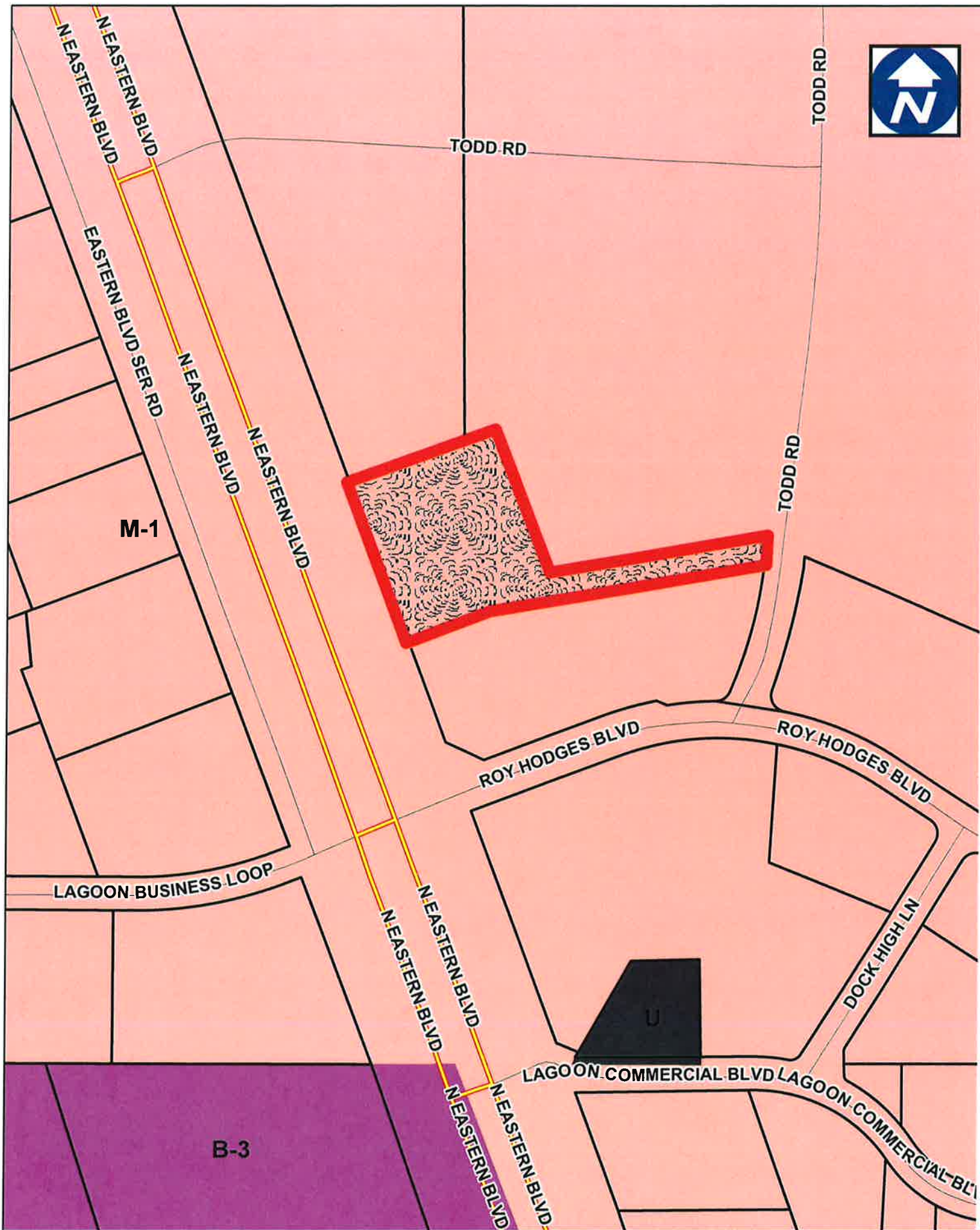
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____



PLATS
1 inch = 200 feet

SUBJECT PROPERTY



ITEM NO. 8A



PLATS
1 inch = 200 feet

SUBJECT PROPERTY



ITEM NO. 8C

9. 8899 **PRESENTED BY:** Goodwyn, Mills & Cawood

REPRESENTING: Benjamin Blanchard

SUBJECT: Request final approval of Benjamin Blanchard Plat No. 1 located between East Cloverdale Park and Boultier Street, approximately 300 ft. south of Woodward Avenue, in R-65-s (Single-Family Residential) and R-75-s (Single-Family Residential) Zoning District.

REMARKS: This plat replats two (2) lots for residential use. The interior lot line will be moved approximately 31 ft. to increase the size of Lot A-1 and decrease the size of Lot B-1. Lot A-1 will have 133 ft. of frontage along East Cloverdale Park and a depth of 233 ft. Lot B-1 will have 94 ft. of frontage along Boultier Street and a depth of 94 ft. This plat is in compliance with the Zoning Ordinance and Subdivision Regulations for this district.

CITY COUNCIL DISTRICT: 7

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, and applicable departmental approvals.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

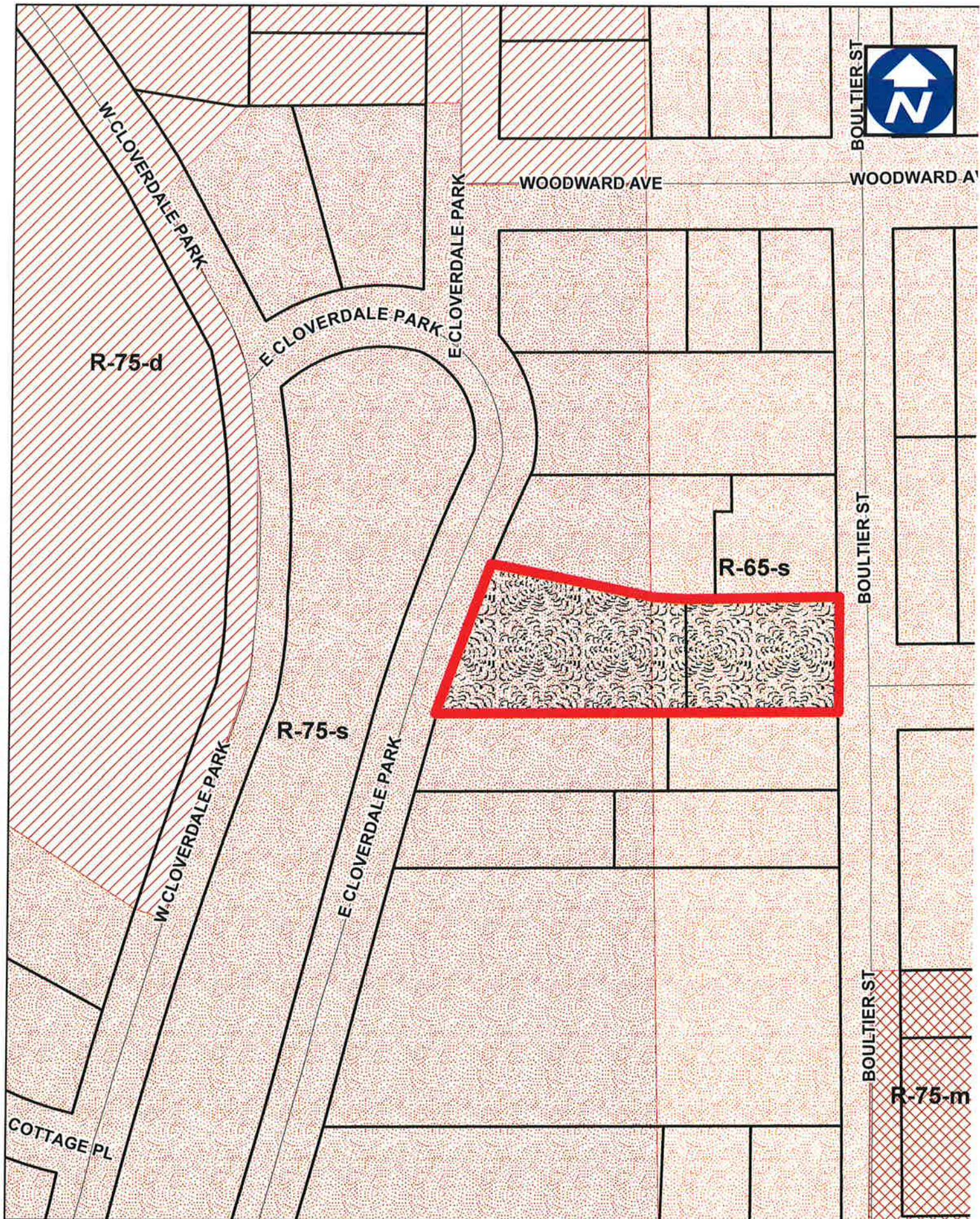
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____



PLATS
1 inch = 100 feet

SUBJECT PROPERTY

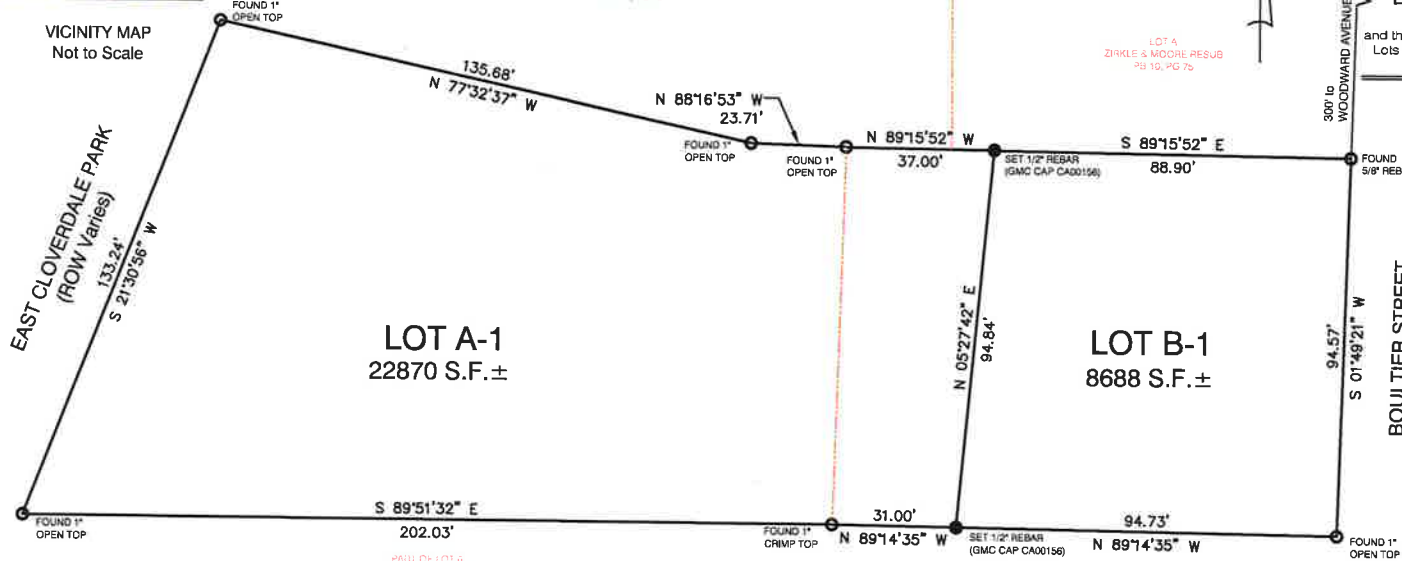


ITEM NO. 9A

9/1



VICINITY MAP
Not to Scale



Map of
BENJAMIN BLANCHARD PLAT NO. 1

Being a Replat of Lots A and B according to the Subdivision of Lot 5 and the SE Corner of Lot 4 of Replat of Lots 11 to 22, Inclusive, Block 32 and All of Block 28, Lots 17 and 18, Block 27 of the Plat of Cloverdale and Block 14 of the Plat of College Park (PB 9, PG 4B)

Goodwyn, Mills & Cawood, Inc.
Engineers - Architects - Planners - Surveyors

2660 EastChase Lane, Suite 200
Montgomery, Alabama 36117
Office (334) 271-3200
Fax (334) 272-1566

APRIL, 2017 Scale: 1"=30'

Office Checked	Drawn By	Field Staked	Project Number
SGRC	MDL	SC	170060

T:\MONTGOMERY\CMG\DWG\BLANCHARD\2425 CLOVERDALE REPLAT

31550 S.F. ± = 70,724 AC. ±

● = SET 1/2" REBAR (GMC CAP CA00156)

▲ = FOUND PK NAIL

○ = FOUND IRON PIN (SEE MAP FOR TYPE)

STATE OF ALABAMA)
MONTGOMERY COUNTY)

THE UNDERSIGNED, BENJAMIN BLANCHARD, OWNER OF THE PROPERTY SHOWN ABOVE, HEREBY JOINS IN, EXECUTES AND SIGNS THE FOREGOING SURVEYOR'S CERTIFICATE, PLAT AND MAP AND ADOPTS AND APPROVES SAID INSTRUMENT ON THIS THE _____ DAY OF _____, 2017.

BY: _____
BENJAMIN BLANCHARD

STATE OF ALABAMA)
MONTGOMERY COUNTY)

I, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR SAID STATE AT LARGE, HEREBY CERTIFIES THAT BENJAMIN BLANCHARD, WHOSE NAME AS OWNER, IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENTS OF SAID INSTRUMENT, HE AS SAID OWNER, EXECUTED THE SAME VOLUNTARILY ON THE DAY SAME BEARS DATE.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS THE _____ DAY OF _____, 2017.

NOTARY PUBLIC
MY COMMISSION EXPIRES _____

STATE OF ALABAMA)
MONTGOMERY COUNTY)

I, RICK CLAY, A REGISTERED LAND SURVEYOR OF MONTGOMERY, ALABAMA, HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

RICK CLAY REG. 25651 DATE _____

STATE OF ALABAMA)
MONTGOMERY COUNTY)

THIS PLAT WAS SUBMITTED TO THE CITY PLANNING COMMISSION OF MONTGOMERY, ALABAMA, ON MAY 25, 2017 AND IS APPROVED ACCORDING TO THE CODE OF ALABAMA 11-52-32.

THOMAS M. TYSON, JR. EXECUTIVE SECRETARY DATE _____



PLATS
1 inch = 100 feet

SUBJECT PROPERTY



ITEM NO.

9C

10. 8898 **PRESENTED BY:** Pilgreen Engineering

REPRESENTING: Trum, LLC

SUBJECT: Request final approval of Chantilly Waffle House Plat No. 1 located on the west side of Chantilly Parkway, approximately 500 ft. south of EastChase Parkway, in a B-2 (Commercial) Zoning District.

REMARKS: This plat creates one (1) lot for commercial use. Lot A (1.49 acres) has 167 ft. of frontage along Chantilly Parkway and a depth of 360 ft. This plat is in compliance with the Zoning Ordinance and Subdivision Regulations for this district.

CITY COUNCIL DISTRICT: 9

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, and applicable departmental approvals.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

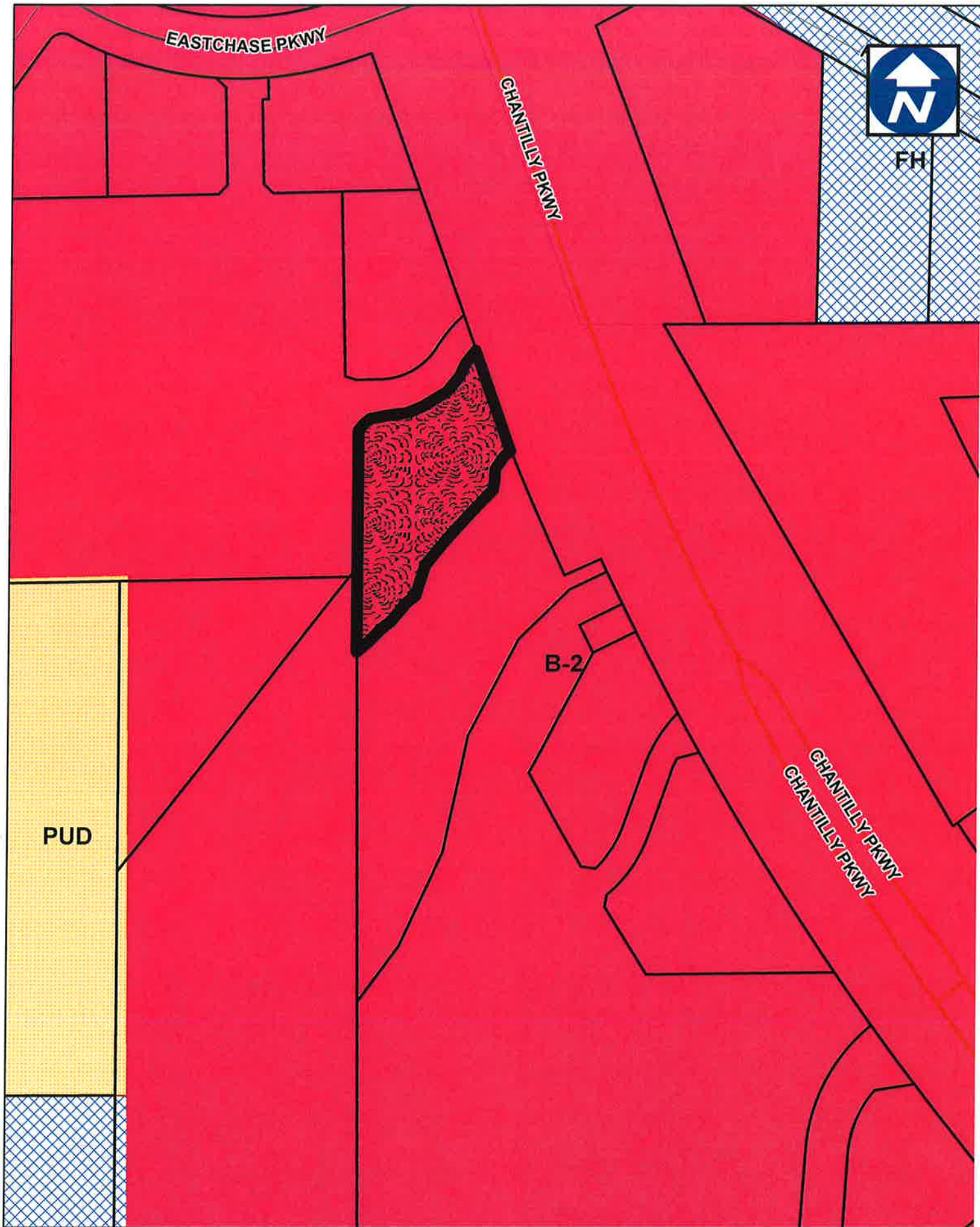
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____



PLATS
1 inch = 200 feet

SUBJECT PROPERTY



ITEM NO. 10A

Chantilly Waffle House Plat No. 1

LIVING IN THE NW 1/4 OF SEC 23, T10N, 67E
MONTGOMERY COUNTY, ALABAMA
AND CONTAINING 1.49 AC ±

PILGREEN ENGINEERING, Inc.
ALABAMA
MONTGOMERY
April 2017
SCALE: 1" = 30'

Drawn By	Check By	Face	Scale	Sheet No.	Total Sheets
WFB	WFB	en	en	16-130	

STATE OF ALABAMA
MONTGOMERY COUNTY

I, **MARTIN J. BLENCHER**, A PROFESSIONAL LAND SURVEYOR OF MONTGOMERY, ALABAMA, HEREBY CERTIFY THAT THE PROPERTY SHOWN ON THIS MAP IS TRUE AND CORRECT, THAT ALL CORNERS ARE MARKED WITH IRON PINS OR CONCRETE MONUMENTS AND THAT THEY ACTUALLY EXIST.

I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA, TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

ACCORDING TO MY SURVEY THIS IS THE 16th DAY OF April, 2017.



State of Alabama
County of Montgomery

The undersigned, **Furn, LLC**, an Alabama limited liability company, as owner of associated easements shown existing on a portion of the property owned by **Furn, LLC**, as shown herein, hereby joins in and signs the foregoing surveyor's certificate, plat and map, and accepts and approves said plat and map on this the _____ day of _____, 2017.

Furn, LLC
an Alabama limited liability company

By: **Dulrose Corporation**
an Alabama Corporation
its manager

F. R. Dulrose, Jr.
President

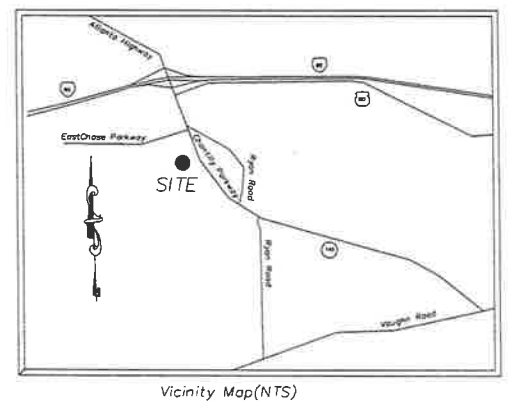
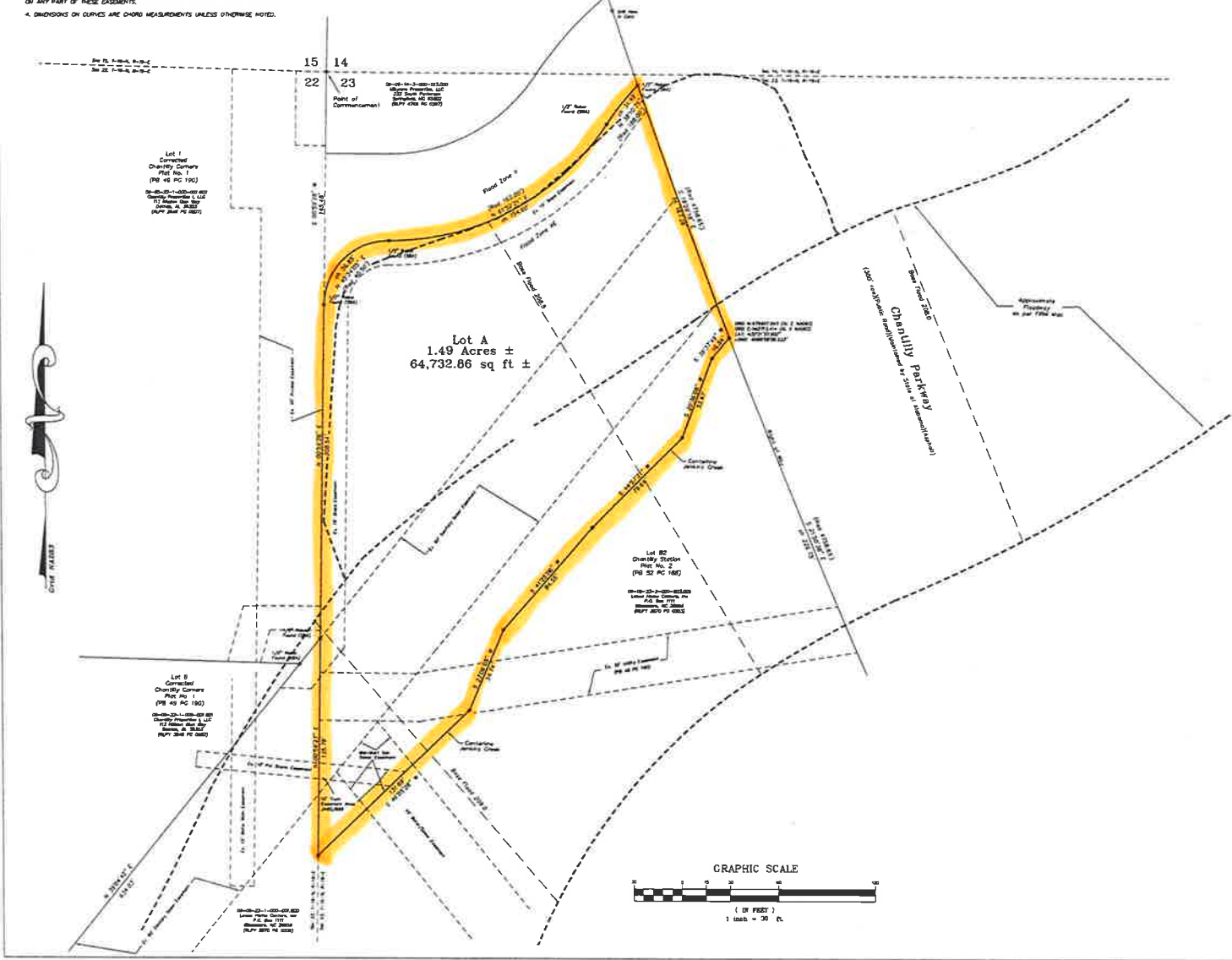
State of Alabama
County of Montgomery

I, the undersigned authority, a Rotary Public in and for the State and County of here, hereby certify that **F. R. Dulrose, Jr.** whose name is President of **Dulrose Corporation**, an Alabama corporation, or its authorized signatory, **Furn, LLC**, an Alabama limited liability company, is known to me as having been duly admitted to the above or to appropriate practice and to me as being duly qualified to sign and certify the same and to accept and approve said plat and map on the day and date herein stated. My commission expires on the day the same bears date.

Given under my hand and official seal on this _____ day of _____, 2017.

Rotary Public: _____ My Commission expires _____

- NOTES:
- STREETS SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY REDDISHED FOR PUBLIC USE.
 - ALL EASEMENTS OR RIGHTS-OF-WAY EXCEPT UTILITY, PRIVATE EASEMENTS OR EASEMENTS FOR SANITARY SEWERS OR WATER MAINS SHOWN HEREON ARE HEREBY DEDICATED TO THE MUNICIPALITY OF MONTGOMERY, ALABAMA AND/OR THE COUNTY OF MONTGOMERY, ALABAMA FOR PUBLIC USE. EASEMENTS INCLUDE THE RIGHT OF WAY AND EGRESS BY THE CITY AND/OR COUNTY EMPLOYEES FOR MAINTENANCE OF THE PROPERTY INCLUDED IN THE EASEMENTS. NO PERMANENT STRUCTURE MAY BE PLACED ON THE EASEMENTS SHOWN.
 - EASEMENTS FOR SANITARY SEWER AND WATER MAINS, IF NOT PREVIOUSLY DEDICATED ARE HEREBY DEDICATED TO THE WATER WORKS AND SEWER BOARD OF THE CITY OF MONTGOMERY, ALABAMA ITS SUCCESSORS OR AGENTS FOR RIGHTS AND EGRESS IN THE INSTALLATION AND MAINTENANCE OF SANITARY SEWERS AND WATER MAINS AND THEIR APPURTENANCES. NO PERMANENT STRUCTURES MAY BE ERRECTED ON ANY PART OF THESE EASEMENTS.
 - DIMENSIONS ON CURVES ARE CHORD MEASUREMENTS UNLESS OTHERWISE NOTED.





PLATS
1 inch = 200 feet

SUBJECT PROPERTY



ITEM NO. 10C

11. RZ-2017-010 **PRESENTED BY:** Pilgreen Engineering

REPRESENTING: K-B Patel, Inc.

SUBJECT: Request to rezone one (1) lot located at 1061 Eastern Boulevard from a B-5 (Commercial) Zoning District to a B-2 (Commercial) Zoning District.

REMARKS: This property is surrounded by B-5 (Commercial) zoning. There is B-4 (Commercial) zoning on the west side of Eastern Boulevard. The intended use for this property if rezoned is to demolish and reconstruct a service station. The setback requirements for B-5 (Commercial) are more restrictive than B-2 (Commercial). The Land Use Plan recommends commercial use.

CITY COUNCIL DISTRICT: 9

DEPARTMENT COMMENTS

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

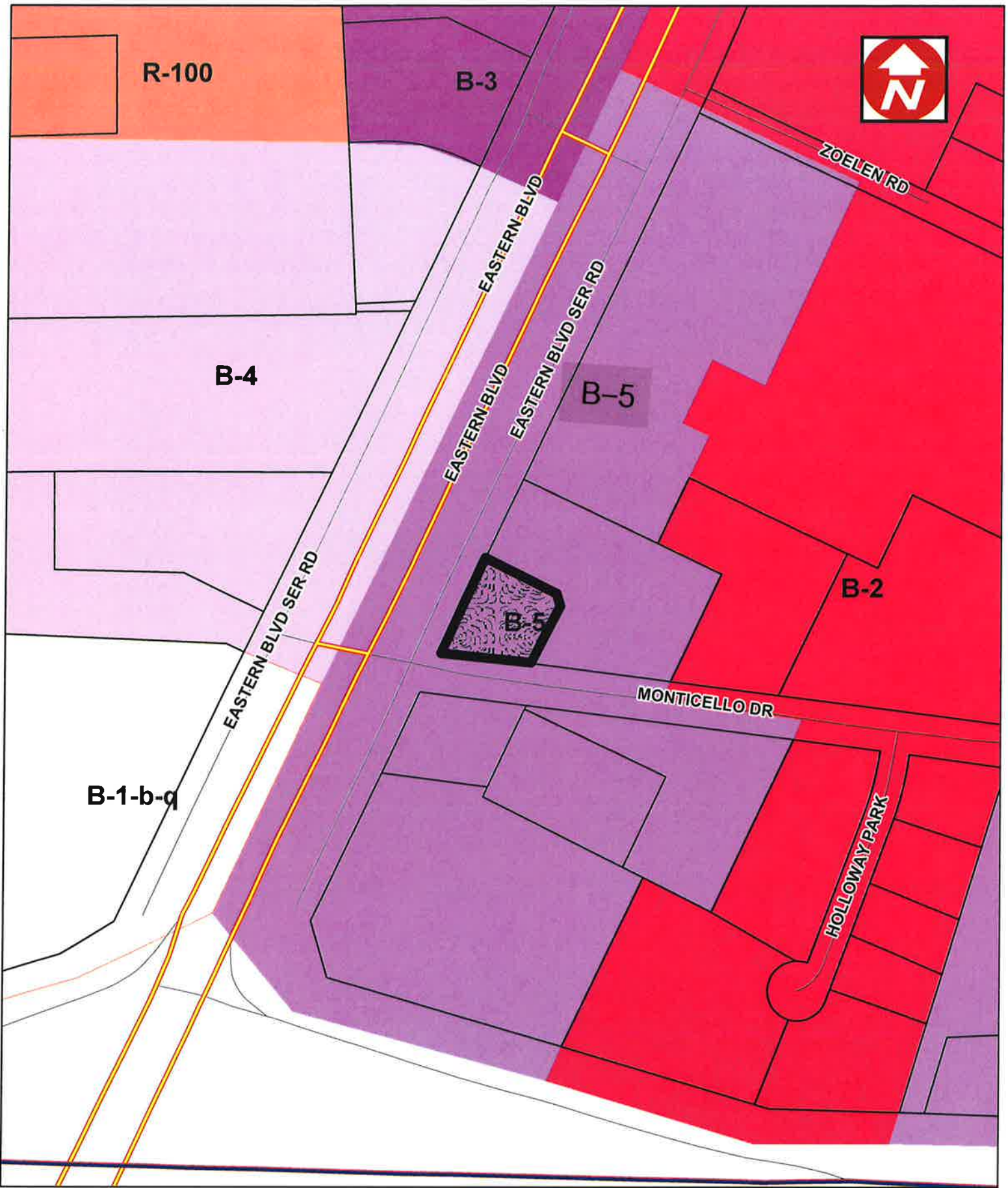
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____



REZONING REQUEST

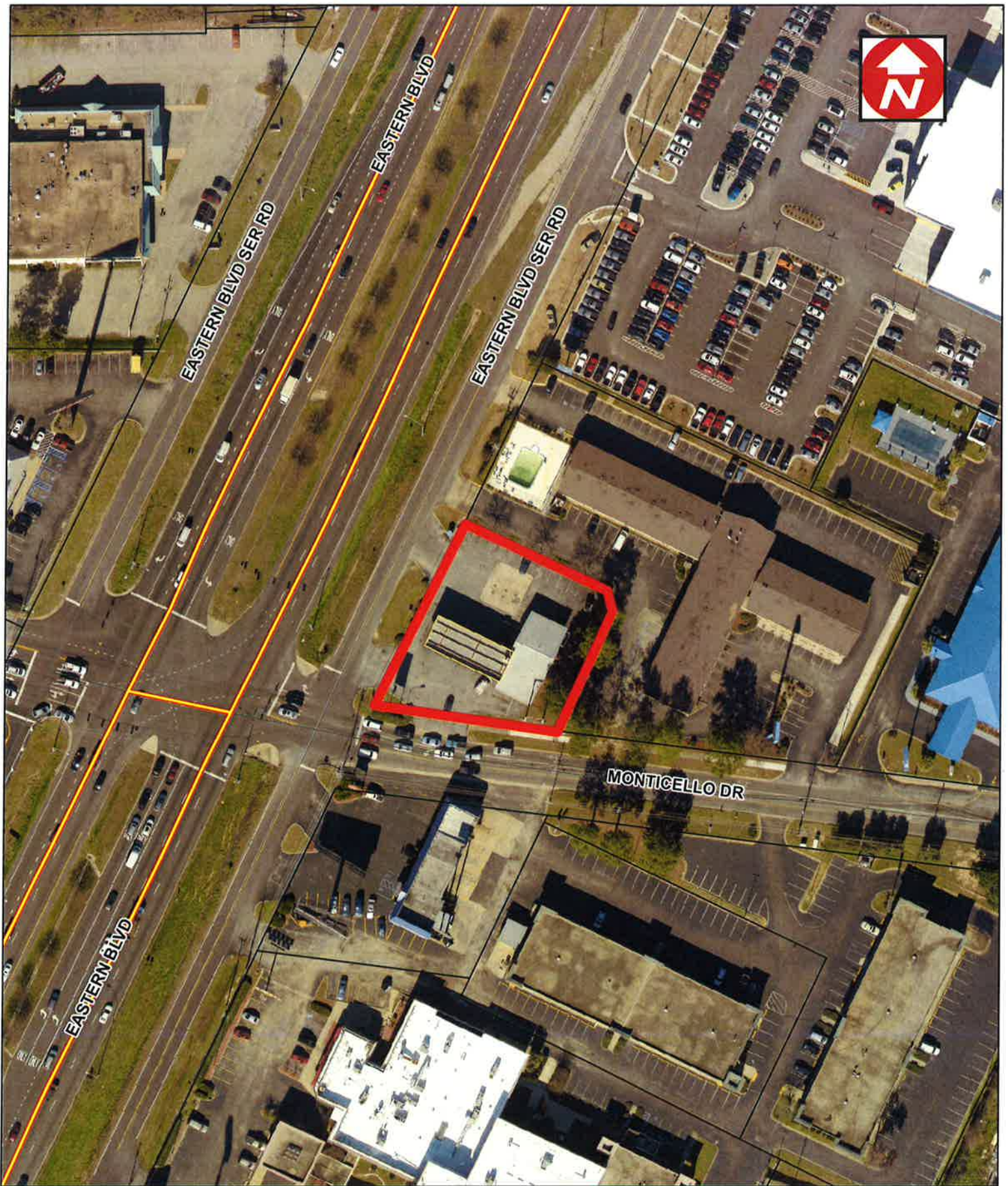
SUBJECT PROPERTY 

FILE NO. RZ-2017-010

1 inch = 200 feet

FROM B-5 TO B-2

ITEM NO. 11A



REZONING REQUEST

SUBJECT PROPERTY



FILE NO. RZ-2017-010

1 inch = 100 feet

FROM B-5 **TO** B-2

ITEM NO. 11B

12. RZ-2017-011 **PRESENTED BY:** Pilgreen Engineering

REPRESENTING: City of Montgomery

SUBJECT: Request to rezone one (1) parcel of land located on the east side of Taylor Road, approximately 100 ft. south of Halcyon Boulevard, from a PGH-35 (Patio-Garden Home) Zoning District to a B-2-Q (Commercial-Qualified) Zoning District.

REMARKS: This property is surrounded by PGH-35 (Patio-Garden Home) zoning District; however this is a baseball/softball complex (Buddy Watson Ballfields). The request is to rezone a 30 ft. x 60 ft. parcel for a monument style, double face digital billboard and will be restricted to that use. The Land Use Plan recommends planned unit development use.

CITY COUNCIL DISTRICT: 9

DEPARTMENT COMMENTS

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

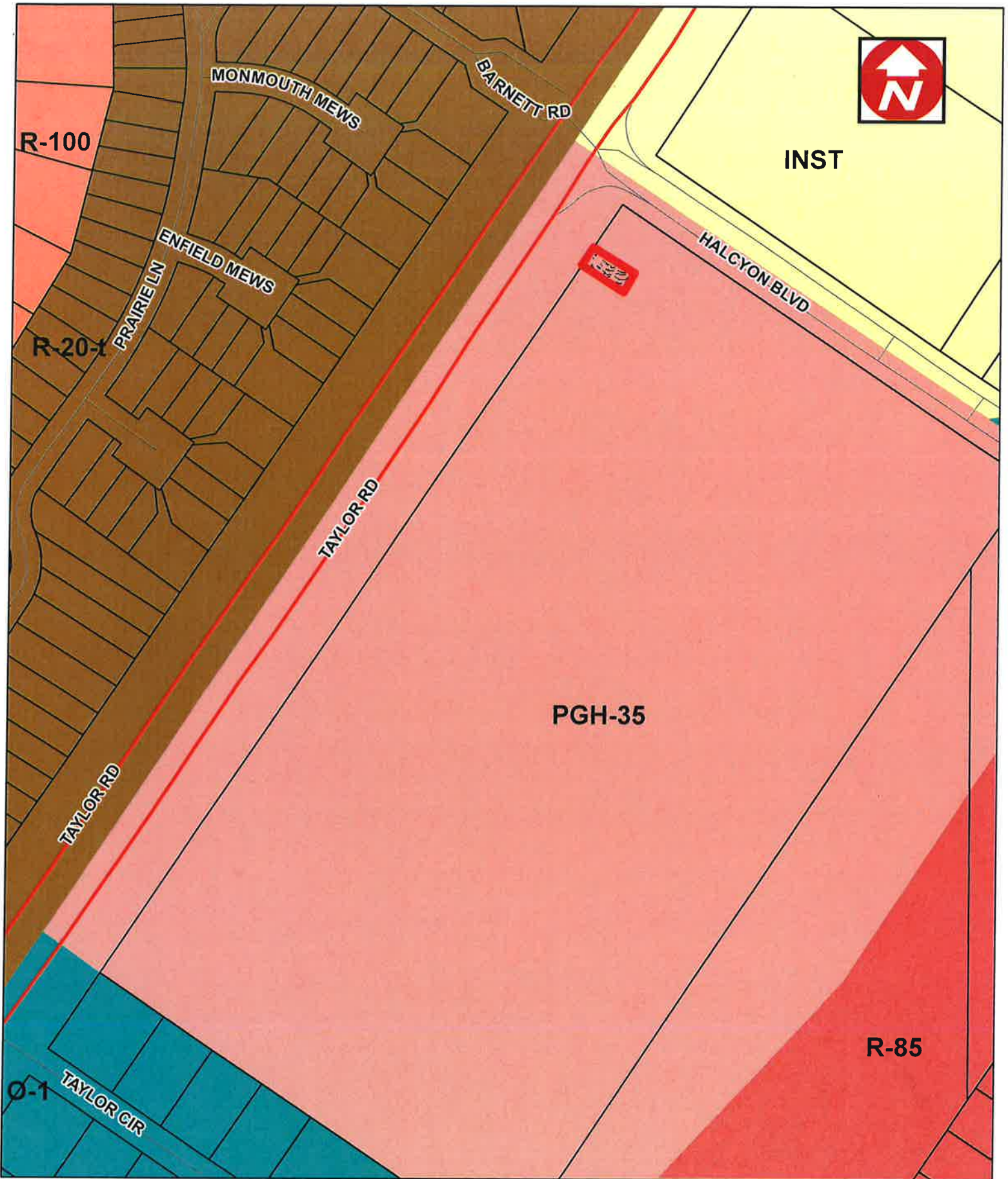
FIRE DEPARTMENT: No objections.

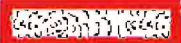
WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____



REZONING REQUEST SUBJECT PROPERTY  FILE NO. RZ-2017-011
 1 inch = 200 feet FROM PGH-35 TO B-2-B ITEM NO. 12A

14'

WEDNESDAY FOOD FESTS

SOUTHERN FOOD FEST

& **MILITARY \$2 FOOD & DRINK SPECIALS**
With Military ID

Biscuits

TONIGHT! 7:05 PM

24'

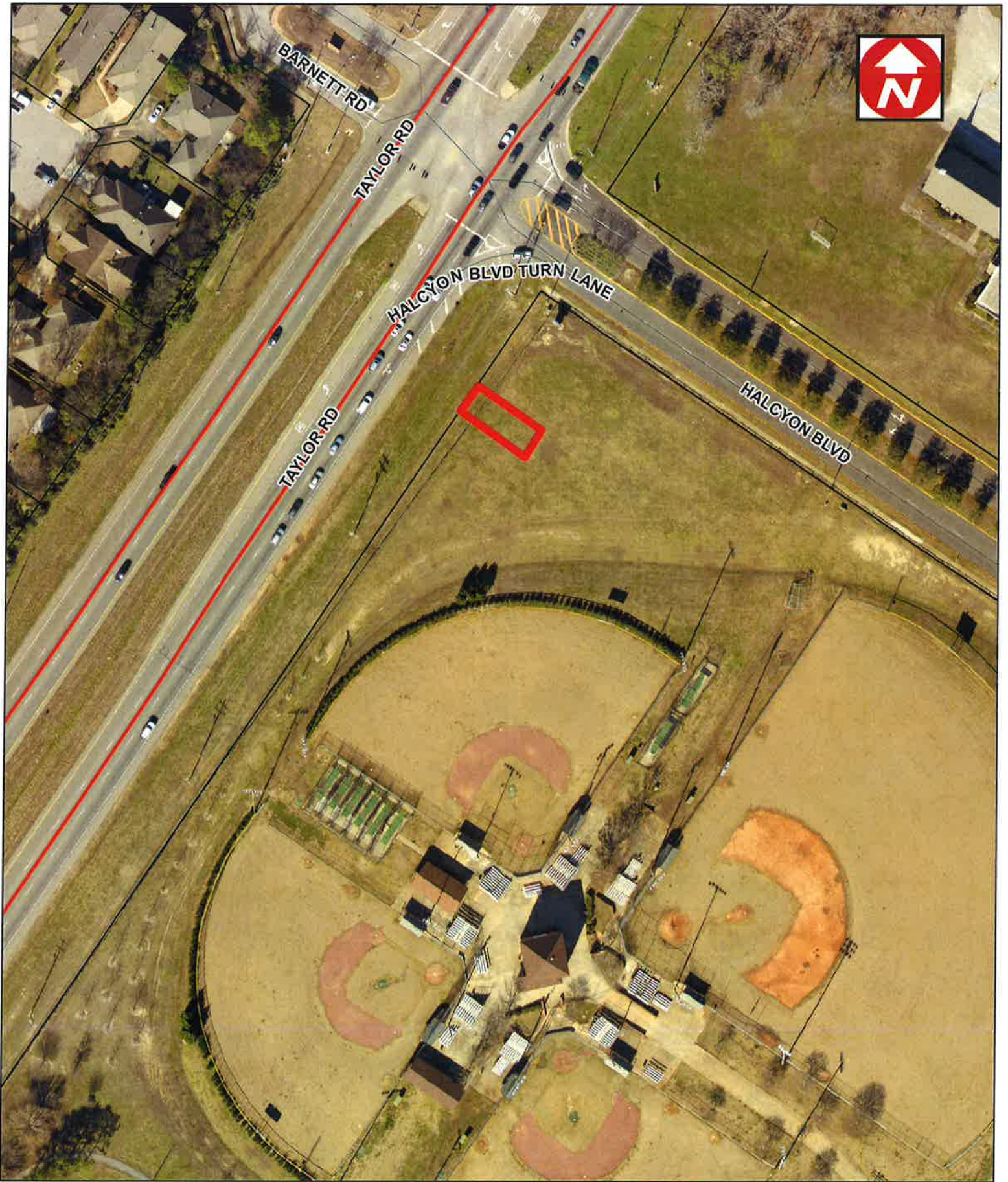
18'

OVERHEAD



6'

New South



REZONING REQUEST **SUBJECT PROPERTY** **FILE NO.** RZ-2017-011
 1 inch = 100 feet **FROM** PSH-35 **TO** B-2-G **ITEM NO.** 120

13. RZ-2017-012 **PRESENTED BY:** Robert Moore

REPRESENTING: CCC Associates

SUBJECT: Request to rezone several parcels of land containing 63 acres located at 3561 and 3601 Wetumpka Highway from AGR-1 (Residential Agriculture) and B-2 (Commercial) Zoning Districts to an M-1 (Light Industrial) Zoning District.

REMARKS: The adjacent property has AGR-1 (Residential Agriculture) zoning to the north, west and south, B-2 (Commercial) zoning to the south and east, and B-3 (Commercial) zoning on the east side of Wetumpka Highway. The intended use for this property if rezoned is for retail sales, manufacturing and warehousing use. If approved the rezoning will bring the use of the buildings in compliance with their current use. The Land Use Plan Update indicates commercial and flood plain area.

CITY COUNCIL DISTRICT: Police Jurisdiction

COUNTY COMMISSION DISTRICT: 4

DEPARTMENT COMMENTS

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

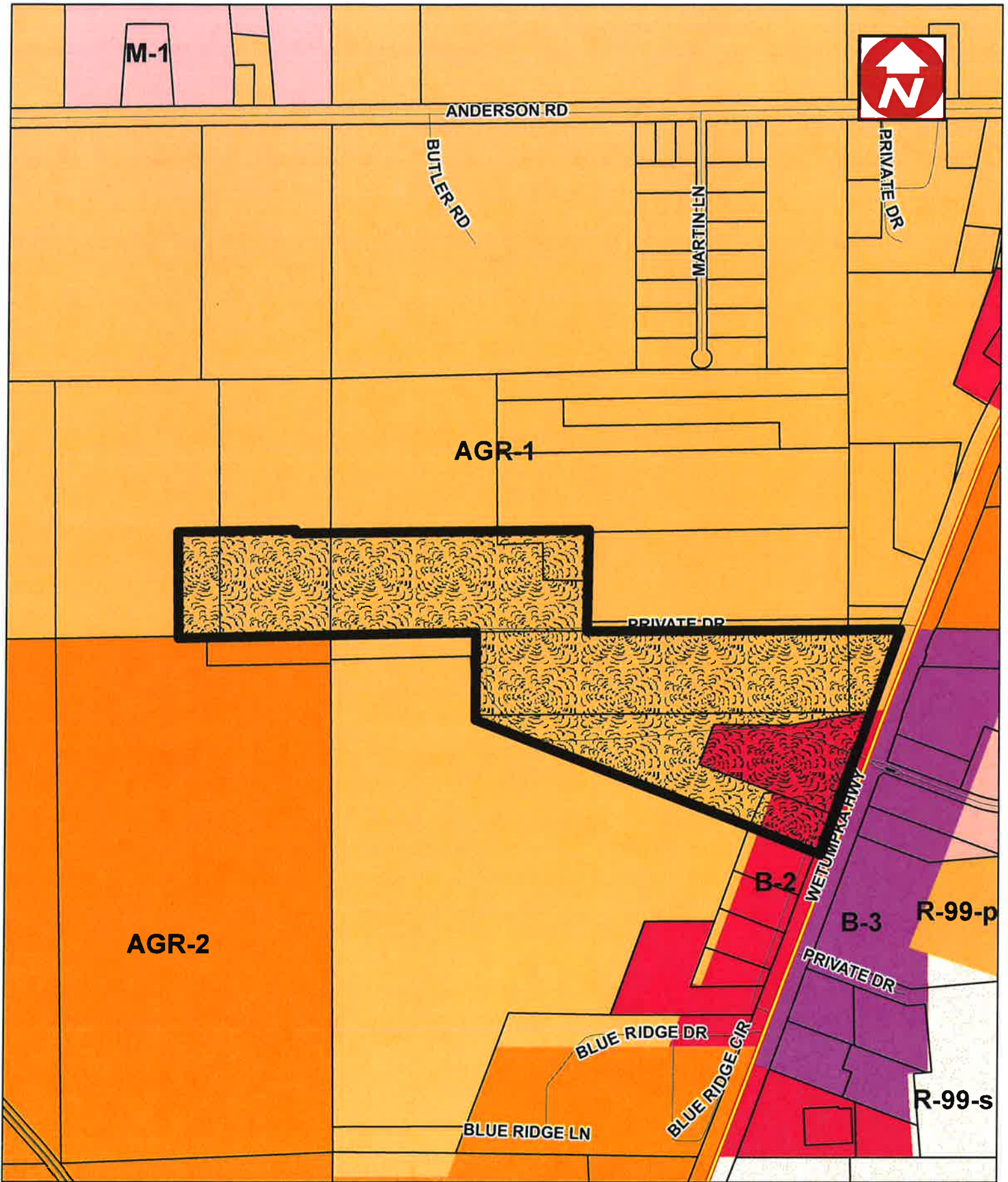
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

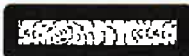
ACTION TAKEN: _____



REZONING REQUEST

1 inch = 600 feet

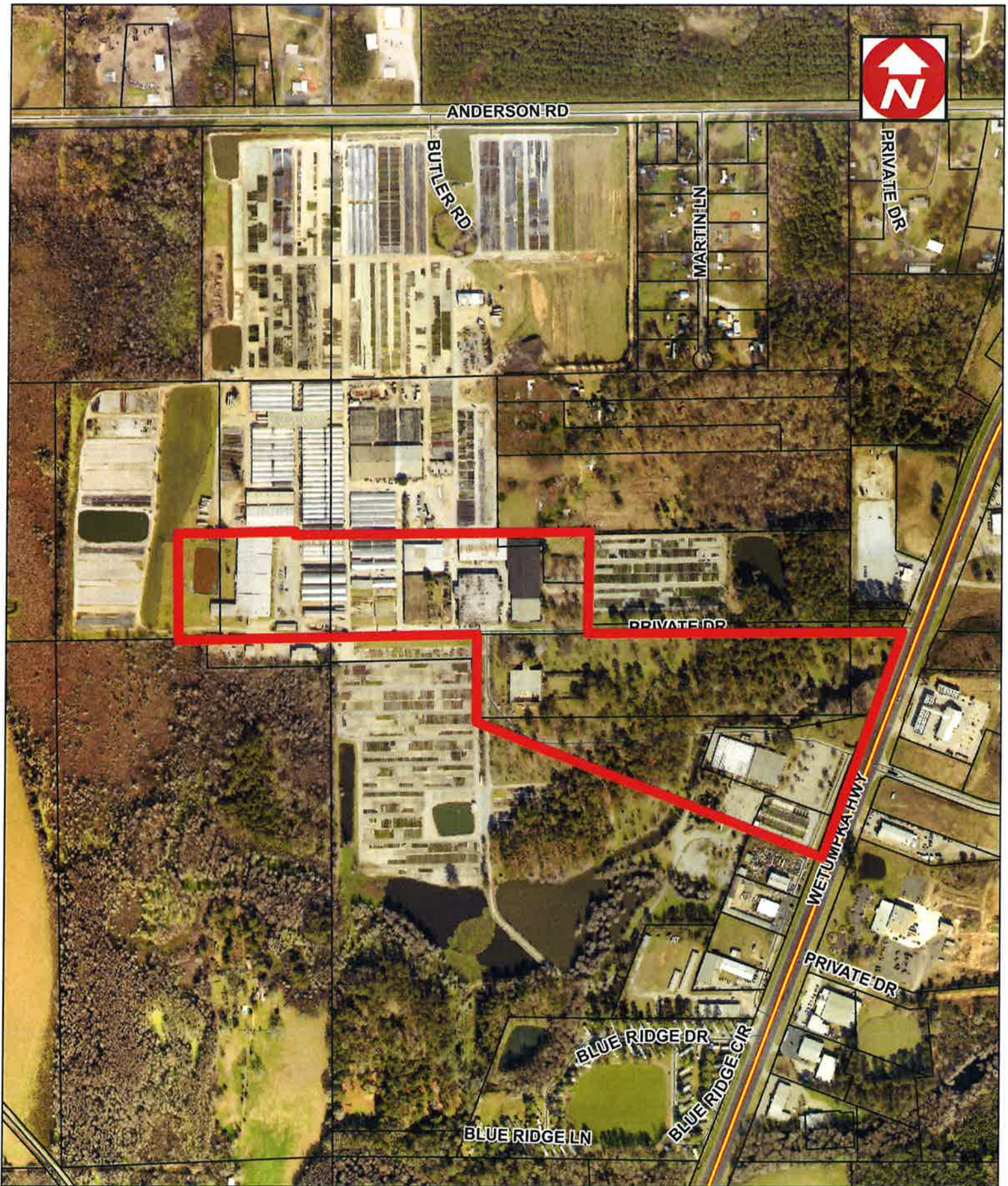
SUBJECT PROPERTY



FILE NO. RZ-2017-019

FROM AGR-1 & B-2 TO M-1

ITEM NO. 13A



REZONING REQUEST

SUBJECT PROPERTY



FILE NO. R2-2017-012

1 inch = 600 feet

FROM AGR-1 + B-2 TO M-1

ITEM NO. 13B

14. RZ-2017-013 **PRESENTED BY:** Jennifer Barringer

REPRESENTING: Sys-Con, LLC

SUBJECT: Request to rezone 671 South Perry Street from a T4-R (General Urban Restricted) SmartCode Zoning District to a T4-O (General Urban Open) SmartCode Zoning District.

REMARKS: This property is surrounded by T4-R (General Urban Restricted) Zoning District. T4-R restricts the office use to the first story and commercial use is limited to corner lots on the first story and can only be a neighborhood store or food service seating no more than 40. The intended use for this property if rezoned is for commercial and office space. The Land Use Plan recommends commercial and office mixed use.

CITY COUNCIL DISTRICT: 3

DEPARTMENT COMMENTS

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

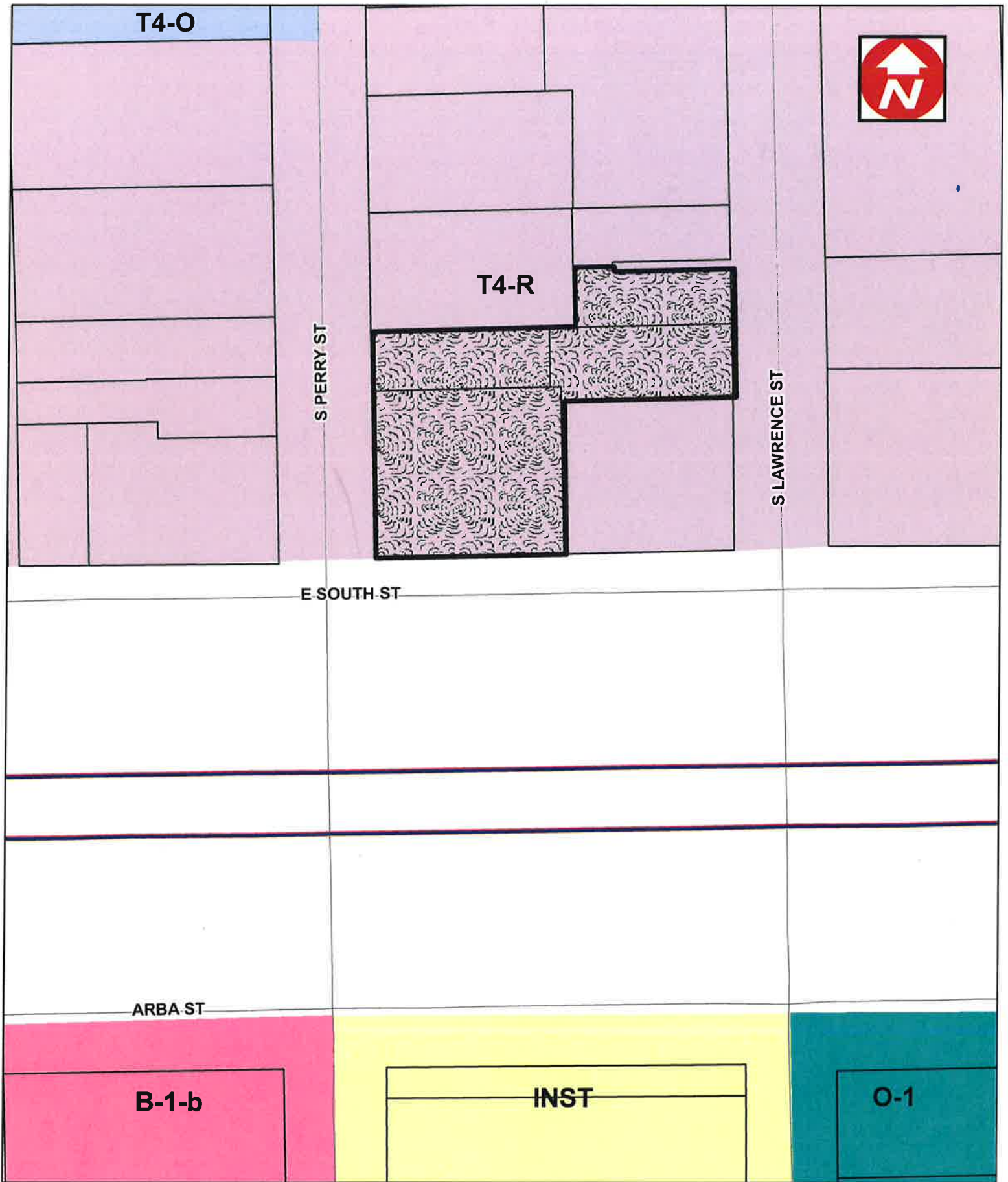
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____



REZONING REQUEST SUBJECT PROPERTY [REDACTED] FILE NO. RZ-2017-013
 1 inch = 100 feet FROM T4-R TO T4-O ITEM NO. 14A



REZONING REQUEST

SUBJECT PROPERTY



FILE NO. R2-2017-013

1 inch = 100 feet

FROM T4-R TO T4-O

ITEM NO. 148

15. RZ-2017-009 **PRESENTED BY:** Willa Darby

REPRESENTING: Frederick Portis

SUBJECT: Request to rezone one (1) lot located at 1723 Forest Avenue from an O-1 (Office) Zoning District to a B-2 (Commercial) Zoning District.

REMARKS: The adjacent property has B-2 (Commercial) zoning to the north, west and south, and O-1 (Office) zoning to the east. The intended use for this property if rezoned is for retail sales and restoring furniture. The Land Use Plan recommends commercial use.

CITY COUNCIL DISTRICT: 3

DEPARTMENT COMMENTS

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

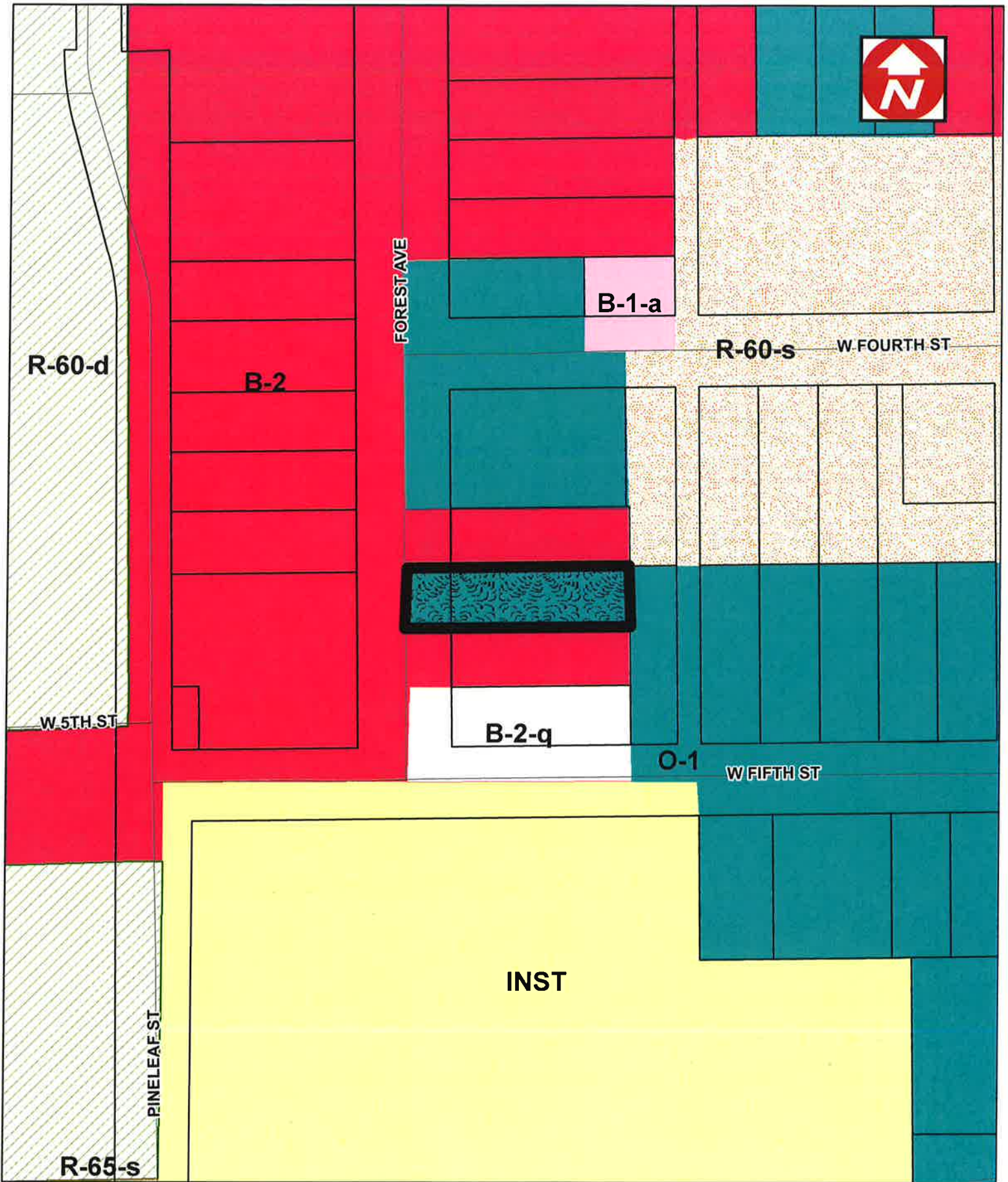
FIRE DEPARTMENT: No objections.


WATER AND SEWER: No objections.

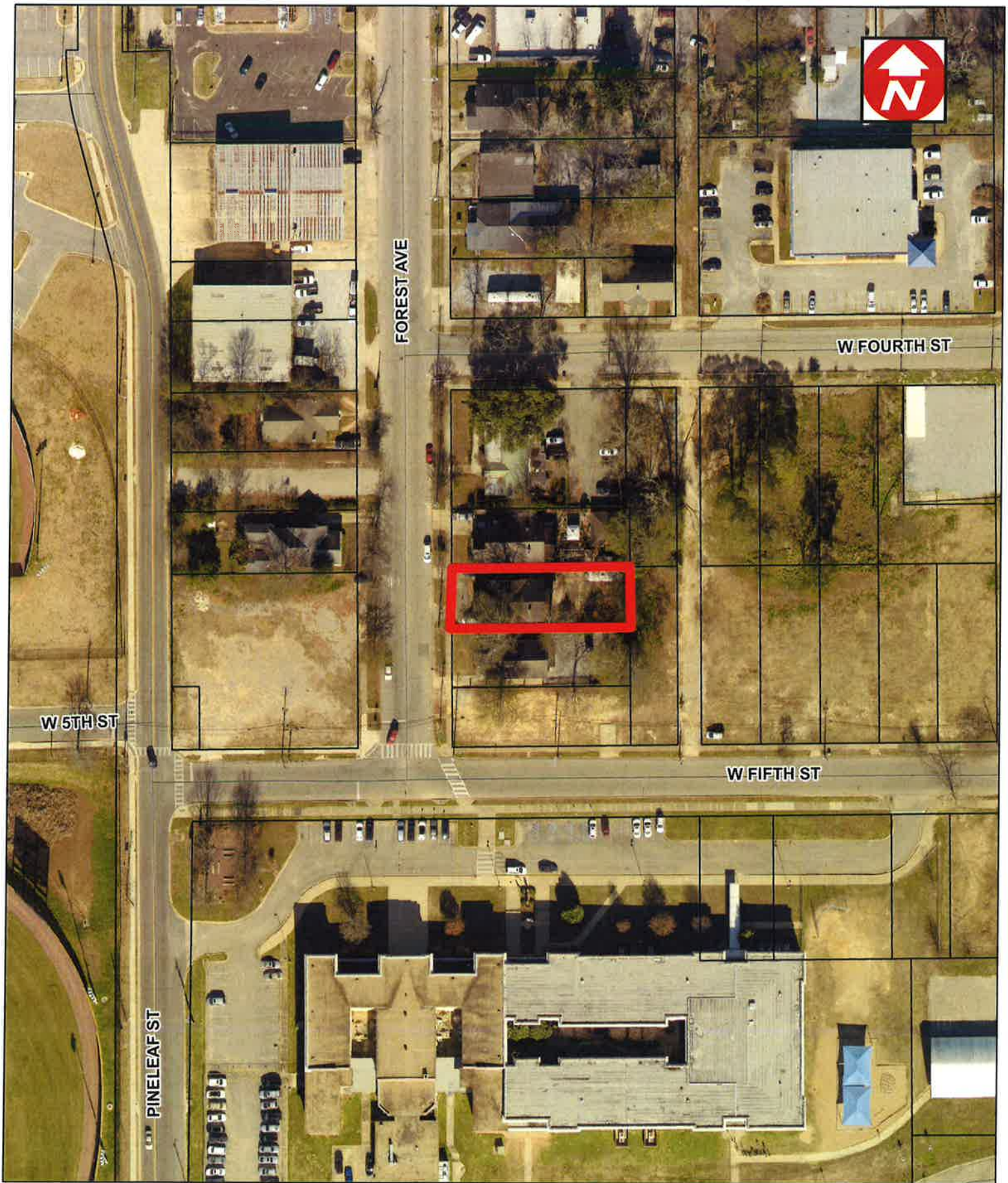
COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____



REZONING REQUEST SUBJECT PROPERTY  FILE NO. RZ-2017-009
 1 inch = 100 feet FROM O-1 TO B-2 ITEM NO. 15A



REZONING REQUEST

SUBJECT PROPERTY



FILE NO. RZ-2017-009

1 inch = 100 feet

FROM O-1 TO B-2

ITEM NO. 15B

16. 8896 **PRESENTED BY:** J. M. Garrett & Son

REPRESENTING: East Montgomery Islamic Society

SUBJECT: Request final approval of East Montgomery Islamic Society LLC Plat No. 1 located on the south side of Vaughn Road, approximately 300 ft. east of Deer Creek Way, in PGH-40 (Patio-Garden Home) and PUD (Planned Unit Development) Zoning Districts.

REMARKS: This plat creates one (1) lot for a mosque/community center. Lot Z (4.92 acres) has 50 ft. of frontage along Vaughn Road and a depth of 1,286 ft. This plat is in compliance with the Zoning Ordinance and Subdivision Regulations for this district.

CITY COUNCIL DISTRICT: Police Jurisdiction

COUNTY COMMISSION DISTRICT: 5

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, and applicable departmental approvals.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____

AGR-1



VAUGHN RD

VAUGHN RD

DEER CREEK WAY

DEER CREEK WAY

DEER CREEK WAY

INST

PGH-40

PUD

MORNING PL

DEER CREEK BLVD

DEER CREEK BLVD

DEER CREEK WAY

THORNEBERRY CT

GLEN ROSE WAY

PLATS
1 inch = 200 feet

SUBJECT PROPERTY



ITEM NO. 16A



PLAT no. 1 OF
 EAST MONTGOMERY ISLAMIC SOCIETY LLC.
 IN THE NORTH HALF OF
 THE SOUTH HALF OF
 SECTION 27, T-16-N, R-19E
 MONTGOMERY CITY AND COUNTY, ALABAMA
 A = 4.92 ACRES
 A = 214,316 SQ. FT.

BY J. W. GARRETT & SON LLC,
 1109 SOUTH HULL STREET
 MONTGOMERY, ALABAMA 36104
 APRIL 23, 2017

VAUGHN ROAD
 100' R.O.W.

S88°45'35"E
 50.00'

1/2" IRON PIN FOUND

1/2" IRON PIN FOUND

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NOTES:

1) STREETS SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY TENDERED FOR DEDICATION TO THE CITY OF MONTGOMERY, ALABAMA FOR PUBLIC USE.

2) ALL EASEMENTS ON RIGHT-OF-WAY, EXCEPT UTILITY, PRIVATE EASEMENTS OR EASEMENTS FOR SANITARY SEWERS AND WATER MAINS SHOWN ON THIS PLAT ARE HEREBY DEDICATED TO THE MUNICIPALITY OF MONTGOMERY, ALABAMA AND/OR THE COUNTY OF MONTGOMERY, ALABAMA FOR PUBLIC USE. EASEMENTS INCLUDE THE RIGHTS OF INGRESS AND EGRESS BY CITY AND/OR COUNTY EMPLOYEES FOR MAINTENANCE OF THE PROPERTY INCLUDED IN THE EASEMENTS. NO PERMANENT STRUCTURES MAY BE PLACED ON ANY EASEMENT ON THIS PLAT.

3) EASEMENTS FOR SANITARY SEWERS AND WATER MAINS IF NOT PREVIOUSLY DEDICATED, ARE HEREBY DEDICATED TO THE WATER WORKS AND SANITARY SEWER BOARD OF THE CITY OF MONTGOMERY, ALABAMA, ITS SUCCESSORS OR ASSIGNS FOR INGRESS AND EGRESS IN THE INSTALLATION AND MAINTENANCE OF SANITARY SEWERS AND WATER MAINS AND THEIR APPURTENANCES. NO PERMANENT STRUCTURES MAY BE ERRECTED OVER ANY PART OF THESE EASEMENTS.

4) DIMENSIONS ON CURVES ARE CHORD MEASUREMENTS UNLESS OTHERWISE STATED.

5) ALL UNUSED WATER AND SEWER LATERALS SHALL BE CAPPED AS TO THE MONTGOMERY WATER AND SEWER BOARD SPECIFICATIONS.

STATE OF ALABAMA)
 MONTGOMERY COUNTY)

I, FRANK B. GARRETT JR., A REGISTERED CIVIL ENGINEER AND LAND SURVEYOR OF MONTGOMERY COUNTY, ALABAMA HEREBY STATE THAT I HAVE SURVEYED THE PROPERTY SHOWN ON THIS PLAT, AND THAT THE PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, AND THAT ALL CORNERS ARE MARKED WITH IRON PINS AND THAT THEY ACTUALLY EXIST.

ACCORDING TO MY SURVEY THIS 21ST DAY OF APRIL, 2017.



FRANK B. GARRETT JR.
 REGISTRATION NUMBER 9900

I HEREBY STATE THAT THIS SURVEY IS IN COMPLIANCE WITH THE REQUIREMENTS OF THE STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF.

STATE OF ALABAMA)
 MONTGOMERY COUNTY)

I, Mahood Zaid, as Managing Member and Member respectively of THE EAST MONTGOMERY ISLAMIC SOCIETY LLC, owner of the property shown on this Plat, hereby joins in and signs the foregoing Surveyor's Certificate and adopt said Plat to be true and correct on this _____ day of _____, 2017.

THE EAST MONTGOMERY ISLAMIC SOCIETY, LLC.

MAHOOD ZAIID - MANAGING MEMBER

STATE OF ALABAMA)
 MONTGOMERY COUNTY)

I, the undersigned, a Notary Public in and for said County in said State, certify that MAHOOD ZAIID, whose name as Managing Member of THE EAST MONTGOMERY ISLAMIC SOCIETY LLC, joined in and signed the foregoing Surveyor's Certificate and adopted the said Plat to be true and correct, and who is known to me, acknowledged before me on this day that being informed of the contents of this Plat, he executed the same voluntarily and with full authority as MANAGING MEMBER for THE EAST MONTGOMERY ISLAMIC SOCIETY LLC., on the date that the same bears date.

Given under my hand and official seal, this the _____ day of _____, 2017.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

STATE OF ALABAMA)
 MONTGOMERY COUNTY)

THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY PLANNING COMMISSION OF MONTGOMERY, ALABAMA AND IS APPROVED BY SUCH COMMISSION.

DATE: _____

SECRETARY

STATE OF ALABAMA)
 MONTGOMERY COUNTY)

THIS PLAT IS HEREWITH APPROVED BY THE MONTGOMERY COUNTY ENGINEER.

DATE: _____

COUNTY ENGINEER

DESCRIPTION OF EAST MONTGOMERY ISLAMIC SOCIETY LLC, PLAT:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 10 ALSO THE SOUTHEAST CORNER OF LOT 9 OF VAUGHN ROAD ESTATES AS RECORDED IN THE OFFICE OF THE JUDGE OF PROBATE IN MONTGOMERY COUNTY, ALABAMA IN PLAT BOOK 11 AT PAGE 138;

THENCE N01°00'00"E ALONG THE WEST BOUNDARY OF SAID LOT 10 ALSO BEING THE EAST BOUNDARY OF LOT 9 OF SAID VAUGHN ROAD ESTATES A DISTANCE OF 1,280.18 FEET TO THE SOUTH RIGHT-OF-WAY OF VAUGHN ROAD; THENCE S88°00'00"E ALONG THE SOUTH RIGHT-OF-WAY OF VAUGHN ROAD A DISTANCE OF 50.00 FEET TO A SET-BACK ON SAID SOUTH RIGHT-OF-WAY; THENCE S01°00'00"W A DISTANCE OF 847.98 FEET TO FOUND A 1/2" IRON PIN; THENCE S88°00'00"E A DISTANCE OF 450.00 FEET TO A FOUND 1/2" IRON PIN; THENCE S88°00'00"E A DISTANCE OF 157.64 FEET TO A FOUND 1/2" IRON PIN; THENCE S01°00'00"W A DISTANCE OF 499.93 FEET TO A FOUND 1/2" IRON PIN; THENCE S01°00'00"W A DISTANCE OF 499.93 FEET TO THE POINT OF BEGINNING. THE SAID DESCRIBED LAND IS LOCATED IN THE NORTH HALF OF THE SOUTH HALF OF SECTION 27, T-16-N, R-19-E, MONTGOMERY CITY AND COUNTY, ALABAMA AND CONTAINING 4.92 ACRES MORE OR LESS.

DESCRIPTION PREPARED BY:

FRANK B. GARRETT JR.
 ALABAMA REGISTRATION NUMBER 9900

LOT Z

PROJECT SITE

BITE

VICINITY MAP

GRAPHIC SCALE 1"=50'



16B



PLATS
1 inch = 200 feet

SUBJECT PROPERTY



ITEM NO. 16C

17. DP-1986-021 **PRESENTED BY:** J. M. Garrett & Son

REPRESENTING: Sun State Oil, Inc.

SUBJECT: Public hearing for a development plan for a new building to be located at 6025 Atlanta Highway in a B-3 (Commercial) Zoning District.

REMARKS: The petitioner has submitted plans to construct a 10,000 sq. ft. building with a 6,996 sq. ft. canopy. Currently, there are two (2) lots that will be replatted into one (1) lot, and all existing buildings will be demolished to construct this new building. There are 78 paved parking indicated on the site plan. Two (2) of the existing access drives will be closed and two (2) will be improved. All applicable requirements will be met.

Planning Controls Comment(s): There is no signage indicated or approved.

CITY COUNCIL DISTRICT: 9

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, applicable departmental approvals and Planning Commission recommendations.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

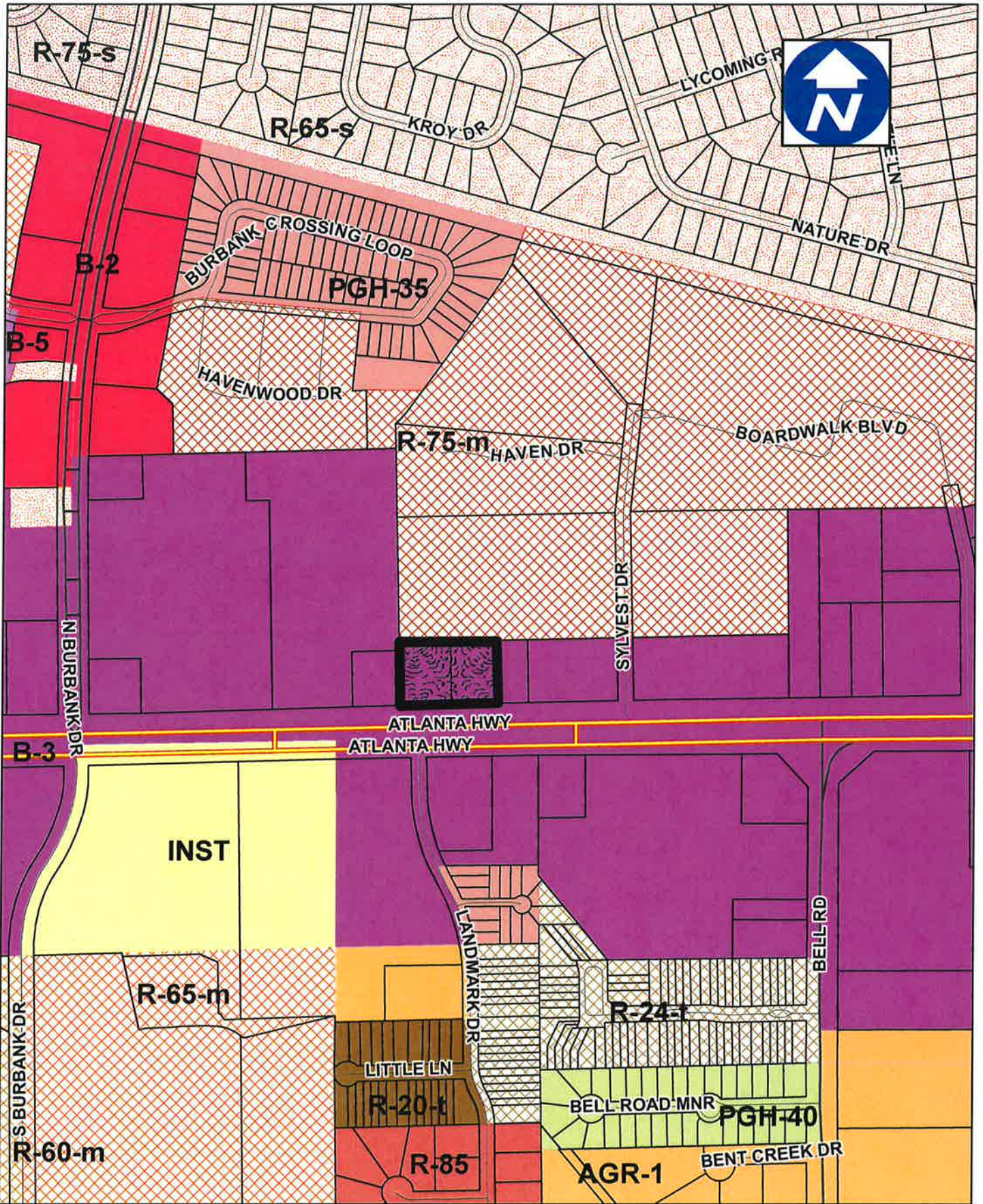
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

URBAN FORESTRY: No objections.

COMMENTS: _____

ACTION TAKEN: _____



DEVELOPMENT SITE
1 inch = 400 feet

SUBJECT PROPERTY



ITEM NO. 17A

17B



J.M. GARRETT & SON LLC
 CIVIL ENGINEERING SURVEYING AND PLANNING SINCE 1959
 1108 SOUTH HALL STREET, MONTGOMERY, ALABAMA 36104 MOBILE 1341264-2847

DATE: APRIL 08, 2011	SCALE:
DESIGNED BY: JMG	DATE:
CHECKED BY: JMG	SCALE:
DATE:	SCALE:

SUN STATE OIL, INC.
 ATLANTA HIGHWAY GAS STATION COMPLEX
 MONTGOMERY, ALABAMA
 SHEET NUMBER SEE PLAN



C-1.1

**CITY OF MONTGOMERY
 DEVELOPMENT PLAN COMMENTS**

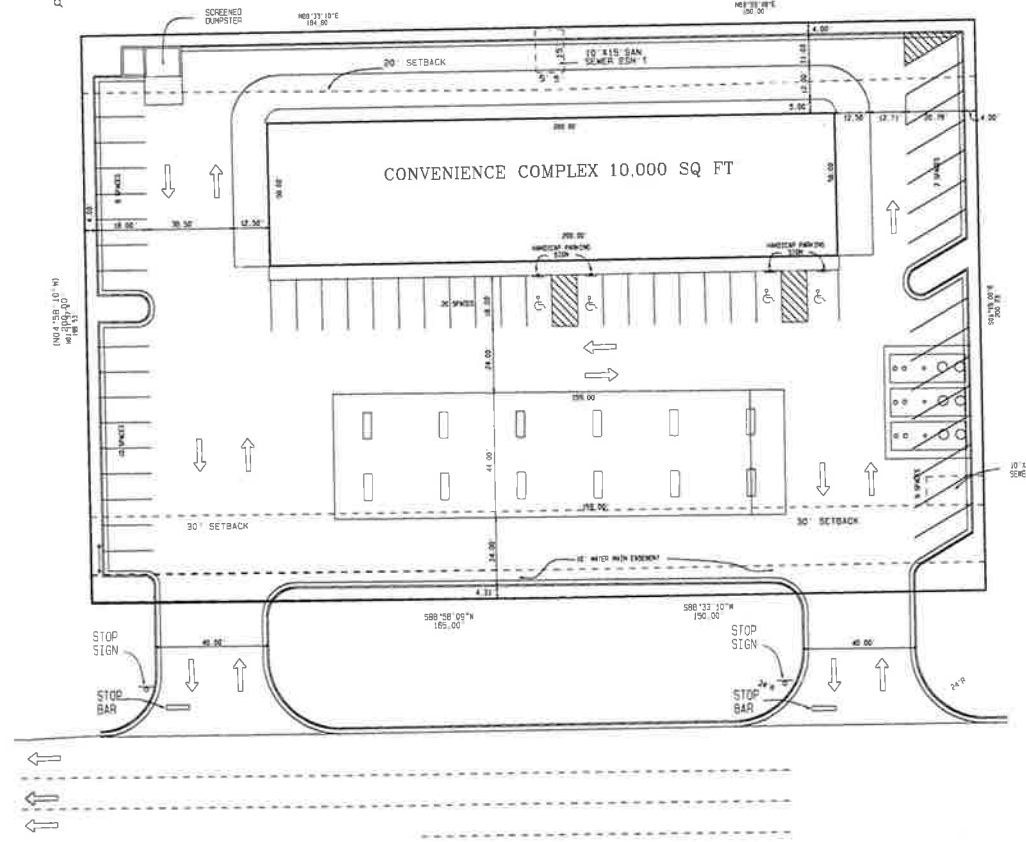
- BEFORE WORK BEGINS WITHIN RIGHT-OF-WAY FROM, CONTACT CITY ENGINEERING, CHIEF INSPECTOR DAVID HYATT 48 HOURS PRIOR TO CONSTRUCTION AT 625-2897 OR 354-6181.
- ENGINEERING DEPARTMENT SHALL NOT ISSUE A C.O. UNTIL THE AS-BUILT EVALUATION AND CERTIFICATION DOCUMENTATION IS SUBMITTED AND APPROVED BY THE CITY, OR A BOND IS PROVIDED AS REQUIRED TO COMPLETE THE AS-BUILT EVALUATION AND CERTIFICATION. IF A BOND IS PROVIDED, THE AS-BUILT EVALUATION AND CERTIFICATION DOCUMENTATION SHALL BE SUBMITTED WITHIN 100 DAYS OF RECEIPT OF C.O.
- ALL UTILITY CONNECTIONS MADE WITHIN EXISTING CITY STREETS MUST BE SAVED UNLESS OTHERWISE DETERMINED BY CITY MAINTENANCE DEPARTMENT (825-2895). AN APPROVAL LETTER FROM MAINTENANCE WILL BE REQUIRED BEFORE DEVELOPMENT PLAN CAN BE APPROVED BY ENGINEERING.
- ANY STREET CUTS REQUIRE A CITY STANDARD PAVEMENT PATCH AND 50 FOOT LONG, FULL STREET WIDTH ASPHALT OVERLAY.
- BEFORE ANY STREET CUTS CONTACT DONALD THOMAS WITH CITY MAINTENANCE AT 825-3727.
- DIRECT ALL STORMWATER INCLUDING ROOF DRAINS, TO STREET OR TO DRAINAGE EASEMENT.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ADEQUATE EROSION/SEDIMENTATION CONTROL DURING ALL PHASES OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING MUD AND DEBRIS OFF OF CITY STREETS AND R.O.W. CLEAN UP IS REQUIRED DAILY.
- CONTRACTOR IS RESPONSIBLE FOR THE PLACEMENT OF SIDEWALK AND/OR CURB AND GUTTER DAMAGED DURING CONSTRUCTION.
- ANY CHANGES OR REVISIONS MADE TO SITE PLANS MUST BE SUBMITTED FOR APPROVAL.
- ALL AREAS OF ROW THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE REPLACED WITH SO2 ASPHALT OR CONCRETE. MICROVEHICLE ENGINEERING DEPARTMENT BEING NECESSARY.
- CONVERT ALL GRATE INLETS TO 'S' TYPE INLETS.
- ALL EXISTING GRANITE CURBS ADJACENT TO THE PROPERTY SHALL BE REMOVED AND REPLACED WITH 4" COMBINATION CURB AND GUTTER. THE NEW CURB LINE SHALL MATCH THE EXISTING CURB LINE. ALL ASPHALT ADJACENT TO THE PROPOSED CURB AND GUTTER SHALL BE SAN CUT THE FULL DEPTH OF ASPHALT TO PROVIDE A CLEAN EDGE. SHOULD THE ASPHALT BE 1/2" OR A THICKER EDGE CUTTING, THE CONTRACTOR SHALL BE REQUIRED TO OVERLAY THE FULL STREET WIDTH AT HIS OWN EXPENSE. THIS DETERMINATION SHALL BE MADE BY THE CITY ENGINEERING DEPARTMENT.
- PROVIDE HANDICAP RAMPS AT ALL SIDEWALK AND DRIVEWAY INTERSECTIONS.

GENERAL NOTES

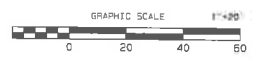
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE LOCAL COUNTY PUBLIC WORKS DEPARTMENT AND THE LOCAL MUNICIPALITY AND/OR THE STATE HIGHWAY DEPARTMENT AS APPLICABLE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL PERMITS AS MAY BE REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING EROSION AND SILTATION OFF OF ADJACENT PROPERTIES. DUST TO BE KEPT TO A MINIMUM. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ADEQUATE EROSION/SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH ADEQUATE BEST MANAGEMENT PRACTICES. ANY MEASURES SHOWN ON PLANS TO BE CONSIDERED A MINIMUM.
- CONTRACTOR SHALL PROVIDE ALL SAFETY PRECAUTIONS FOR VARIOUS TYPES OF CONSTRUCTION REQUIRED BY THIS PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUOUS AND PROPER OPERATION OF ALL EXISTING UTILITIES LOCATED ON OR ADJACENT TO THE PROJECT SITE AND WITHIN THE CONSTRUCTION LIMITS OF THIS PROJECT.
- THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION OPERATIONS NEAR SAME.
- THE CONTRACTOR SHALL NOTIFY THE LOCAL UTILITY COMPANIES PRIOR TO WORK ON OVER OR ACROSS THEIR UTILITY LINES.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CUTTING.
- THE CONTRACTOR SHALL INSTALL WATER MAINS AND SANITARY SEWER MAINS IN ACCORDANCE WITH THE SPECIFICATIONS AND REGULATIONS OF THE MONTGOMERY WATER WORKS AND SANITARY SEWER BOARD. TYPE OF MATERIAL FOR SAME SHALL ALSO BE APPROVED BY THE MONTGOMERY WATER WORKS AND SANITARY SEWER BOARD. ALL WATER MAIN TO HAVE 36" MINIMUM COVER.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF WATER AND SANITARY LATERAL STUB-OUTS FROM PLUMBING PLANS BEFORE STUBBING FROM MAINS.
- DIMENSIONS INDICATED ON PLANS ARE OUTSIDE FACE OF BUILDING, BACK OF CURB, EDGE OF SIDEWALK OR TO EDGE OF PAVEMENT UNLESS INDICATED OTHERWISE.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
- THE CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF EARTHWORK REQUIRED FOR THIS PROJECT.
- THE PROPOSED CONTOURS INDICATE THE FINISHED GRADE ELEVATION.
- ALL SLOPES, CUT OR FILL, (2:1) SHALL BE PROTECTED WITH SOLID SO2 STAKED IN PLACE OR EROSION CONTROL NETTING WITH HYDRO SEEDING.
- SEDIMENT TRAPS ARE REQUIRED AT THE END OF ALL DRAINAGE OUTLETS UNTIL SOIL STABILIZATION MEASURES ARE IN PLACE.
- LEVEL SPREADERS WILL BE USED TO DIVERS CONCENTRATED RUNOFF TO OFFICE DRAINAGE AND RELEASE IT INTO AREAS STABILIZED BY EXISTING VEGETATION.
- TEST WELLS SHOWN ON DRAWINGS SHALL BE LEFT UNDISTURBED, WHERE POSSIBLE.
- POWER LINES INDICATED ON DRAWINGS SHALL BE RELOCATED AS NECESSARY BY THE POWER COMPANY, UNLESS OTHERWISE NOTED.

LEGEND

DESCRIPTION	NEW	EXIST
BUILDING	[Symbol]	[Symbol]
ASPHALT	[Symbol]	[Symbol]
CONCRETE	[Symbol]	[Symbol]
CURB & GUTTER	[Symbol]	[Symbol]
PROPERTY LINE	[Symbol]	[Symbol]
CONTOUR	[Symbol]	[Symbol]
SPOT ELEVATIONS	[Symbol]	[Symbol]
DRAINAGE FLOW	[Symbol]	[Symbol]
STORM DRAIN	[Symbol]	[Symbol]
REMOVE CURB/ASPHALT	[Symbol]	[Symbol]
SANITARY SEWER	[Symbol]	[Symbol]
4" & 6" LINE	[Symbol]	[Symbol]
WATER LINE	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]
CLEANOUT	[Symbol]	[Symbol]
OVERHEAD POWER	[Symbol]	[Symbol]
LIGHT POLE	[Symbol]	[Symbol]
POWER POLE	[Symbol]	[Symbol]
POINT OF CONNECTION	[Symbol]	[Symbol]



SITE LAYOUT





DEVELOPMENT SITE
1 inch = 200 feet

SUBJECT PROPERTY 

ITEM NO. 17C

18. 8897 **PRESENTED BY:** J. M. Garrett & Son

REPRESENTING: Sun State Oil

SUBJECT: Request final approval of Sun State Oil Plat No. 1 located on the north side of Atlanta Highway, approximately 400 ft. west of Sylvest Drive, in a B-3 (Commercial) Zoning District.

REMARKS: This plat replats two (2) lots into one (1) lot for commercial use. Lot A (1.499 acres) has 315 ft. of frontage along Atlanta Highway and a depth of 200 ft. This plat is in compliance with the Zoning Ordinance and Subdivision Regulations for this district.

CITY COUNCIL DISTRICT: 9

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, and applicable departmental approvals.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____

HAVENWOOD DR



HAVEN DR

R-75-m

SYLVEST DR



ATLANTA HWY ATLANTA HWY ATLANTA HWY ATLANTA HWY ATLANTA HWY
ATLANTA HWY ATLANTA HWY ATLANTA HWY ATLANTA HWY ATLANTA HWY

INST

B-3

LANDMARK DR

PGH-35
LANDMARK PL

R-24-t

R-65-m

AGR-1

LANDMARK DR

PLATS
1 inch = 200 feet

SUBJECT PROPERTY

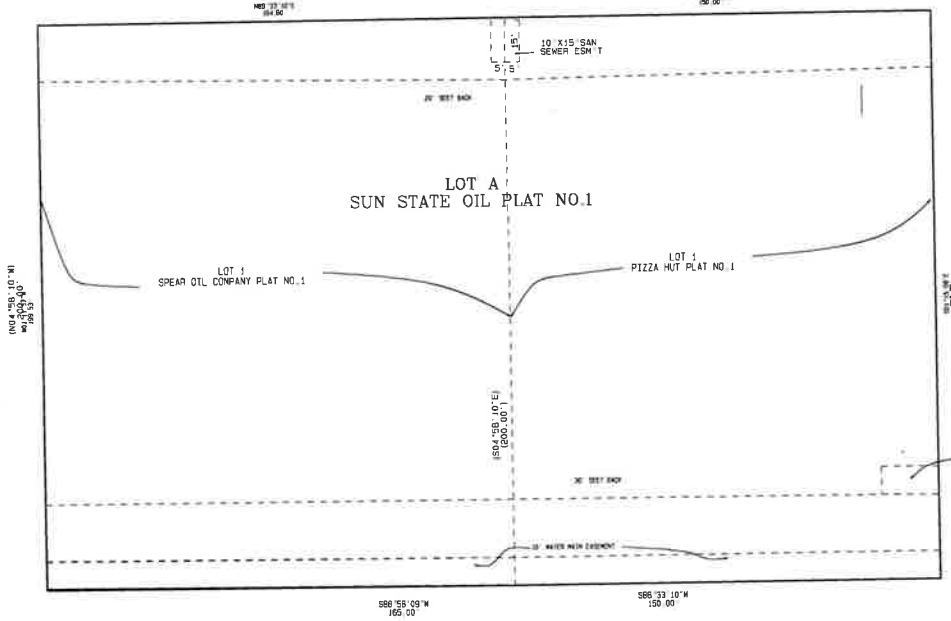


ITEM NO. 18A



SUN STATE OIL PLAT NO.1
 BEING A REPLAT OF LOT 1 SPEAR OIL COMPANY PLAT NO. 1
 AND PIZZA HUT PLAT NO. 1
 LOCATED IN
 NORTHEAST QUARTER OF SECTION 7, T16N, R18E
 MONTGOMERY, ALABAMA
 CONTAINING 1.448 AC
 DATE: APRIL 20, 2017 SCALE: 1"=30'
 BY: J. M. GARRETT & SON, LLC.
 1109 SOUTH HULL STREET
 MONTGOMERY, ALABAMA 36104
 334-264-2247

- NOTES:
- STREETS SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY TENDERED FOR DEDICATION TO THE CITY OF MONTGOMERY, ALABAMA FOR PUBLIC USE.
 - ALL EASEMENTS OR RIGHT-OF-WAYS, EXCEPT UTILITY, PRIVATE EASEMENTS OR EASEMENTS FOR SANITARY SEWER AND WATER MAIN SHOWN ON THIS PLAT ARE HEREBY DEDICATED TO THE MUNICIPALITY OF MONTGOMERY, ALABAMA AND/OR THE COUNTY OF MONTGOMERY, ALABAMA FOR PUBLIC USE. EASEMENTS INCLUDE THE RIGHTS OF INGRESS AND EGRESS BY CITY AND/OR COUNTY EMPLOYEES FOR MAINTENANCE OF THE PROPERTY INCLUDED IN THE EASEMENTS. NO PERMANENT STRUCTURES MAY BE PLACED ON ANY EASEMENT ON THIS PLAT.
 - EASEMENTS FOR SANITARY SEWERS AND WATER MAINS IF NOT PREVIOUSLY DEDICATED, ARE HEREBY DEDICATED TO THE WATER WORKS AND SANITARY SEWER BOARD OF THE CITY OF MONTGOMERY, ALABAMA. THIS SUCCESSION OF RIGHTS FOR INGRESS AND EGRESS IN THE INSTALLATION AND MAINTENANCE OF SANITARY SEWERS AND WATER MAINS AND THEIR APPURTENANCES. NO PERMANENT STRUCTURES MAY BE ERRECTED OVER ANY PART OF THESE EASEMENTS.
 - DIMENSIONS ON CURVES ARE CHORD MEASUREMENTS UNLESS OTHERWISE STATED.
 - ALL UNUSED WATER AND SEWER LATERALS SHALL BE CAPPED AS TO THE MONTGOMERY WATER AND SEWER BOARD SPECIFICATIONS.



STATE OF ALABAMA)
 MONTGOMERY COUNTY)
 I, FRANK B. GARRETT JR., A REGISTERED CIVIL ENGINEER AND LAND SURVEYOR OF MONTGOMERY COUNTY, ALABAMA HEREBY STATE THAT I HAVE SURVEYED THE PROPERTY SHOWN ON THIS PLAT AND THAT THE PLAT IS TRUE AND ACTUALLY EXIST.

FRANK B. GARRETT JR.
 REGISTRATION NUMBER 9500

STATE OF ALABAMA)
 MONTGOMERY COUNTY)
 I, NEIL KAPADIA, AS THE PRESIDENT OF SUN STATE OIL, INC. OWNER OF THE PROPERTY SHOWN ON THIS PLAT, HEREBY JOIN IN AND SIGN THE FOREGOING SURVEYOR'S CERTIFICATE AND ADOPT SAID PLAT TO BE TRUE AND CORRECT ON

NEIL KAPADIA, PRESIDENT

STATE OF ALABAMA)
 MONTGOMERY COUNTY)

I, the undersigned, a Notary Public in and for said County in said State, certify that George Whelley whose name as President of Sun State Oil, Inc. owner of this property joined in and signed the foregoing Surveyor's Certificate and adopted the said Plat to be true and correct, and who is known to me, acknowledged before me on this day that being informed of the contents of this Plat, they executed the same voluntarily and with full authority on the date that the same bears date given under my hand and official seal, this the _____ day of _____, 2017.

NOTARY PUBLIC

My commission expires _____

STATE OF ALABAMA)
 MONTGOMERY COUNTY)

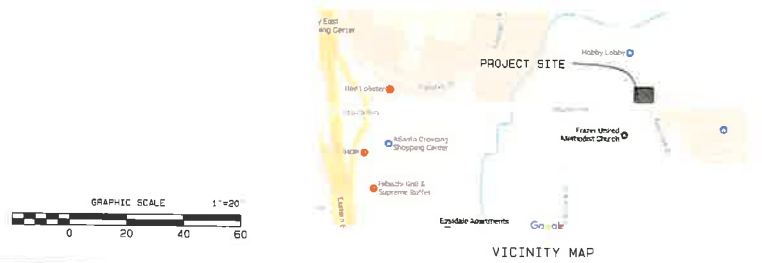
THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY PLANNING COMMISSION OF MONTGOMERY, ALABAMA AND IS APPROVED BY SUCH COMMISSION.

DATE: _____ SECRETARY

STATE OF ALABAMA)
 MONTGOMERY COUNTY)

THIS PLAT IS HEREWITH APPROVED BY THE MONTGOMERY COUNTY ENGINEER.

DATE: _____ COUNTY ENGINEER





PLATS
1 inch = 200 feet

SUBJECT PROPERTY



ITEM NO. 18C

19. DP-2017-024 **PRESENTED BY:** Westbrook Engineering

REPRESENTING: Seoyon

SUBJECT: Public hearing for a development plan for a new building to be located on the east side of Bill Joseph Parkway, approximately 2,000 ft. south of Wasden Road, in an M-3 (General Industrial) Zoning District.

REMARKS: The petitioner has submitted plans to construct an 187,311 sq. ft. building. There are 273 paved parking spaces indicated on the site plan. There are two (2) access drives to Bill Joseph Parkway. All applicable requirements will be met.

Planning Controls Comment(s): There is no signage indicated or approved.

CITY COUNCIL DISTRICT: 4

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, applicable departmental approvals and Planning Commission recommendations.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

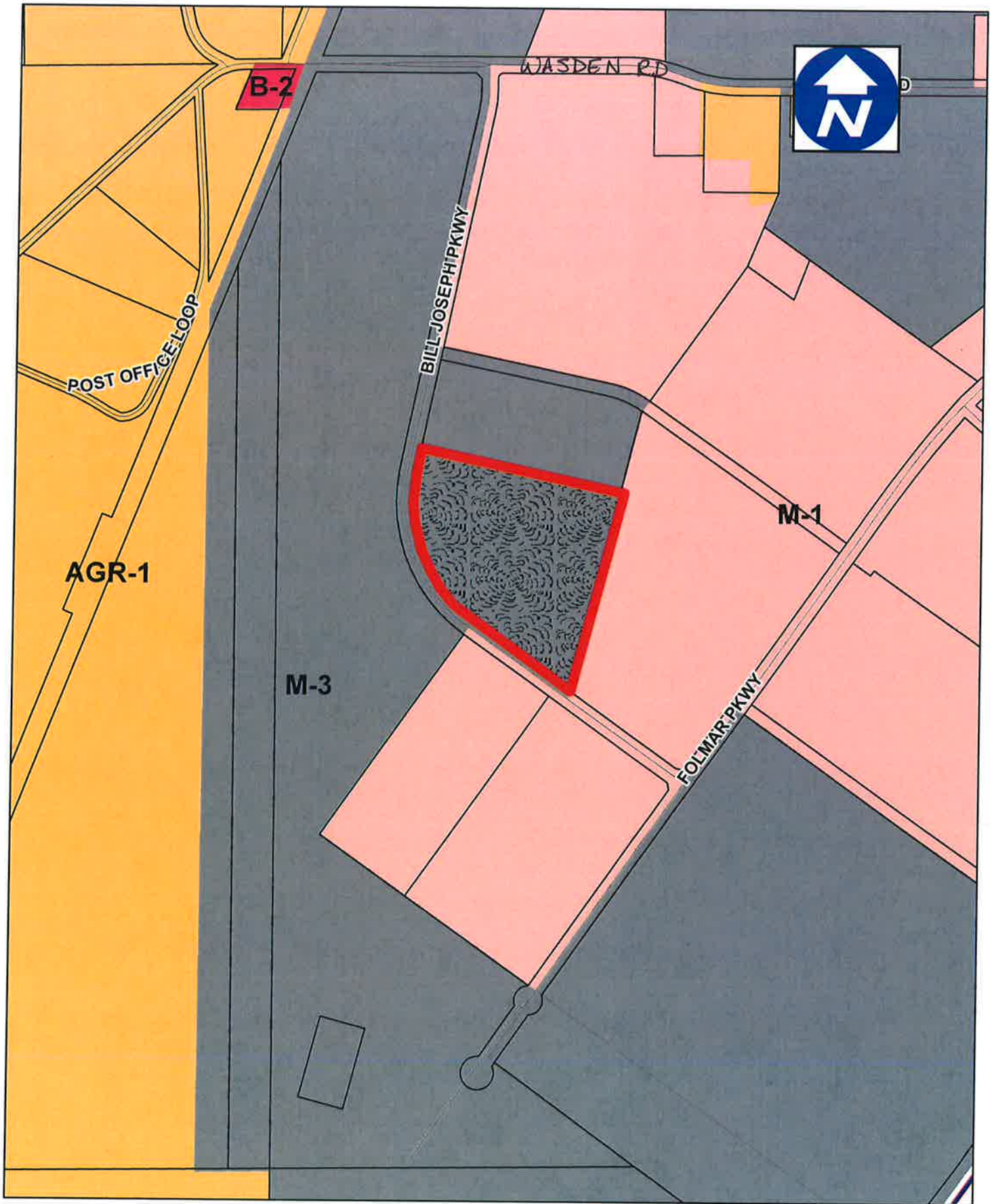
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

URBAN FORESTRY: No objections.

COMMENTS: _____

ACTION TAKEN: _____



DEVELOPMENT SITE
1 inch = 600 feet

SUBJECT PROPERTY 

ITEM NO. 19A

M3 ZONING CONDITIONS

MINIMUM LOT AREA: N/A
 MAX BUILDING AREA % OF GROSS LOT: 33.3%
 BUILDING AREA IS 20% OF SITE AREA
 MAX HEIGHT: 35 FEET OR 2 STORIES
 MINIMUM LANDSCAPED OPEN AREA: N/A
 MINIMUM FRONT SETBACK: 50 FEET
 MINIMUM SIDE SETBACK: 30 FEET
 MINIMUM REAR SETBACK: 30 FEET

PROJECT NARRATIVE:

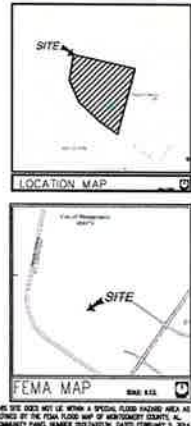
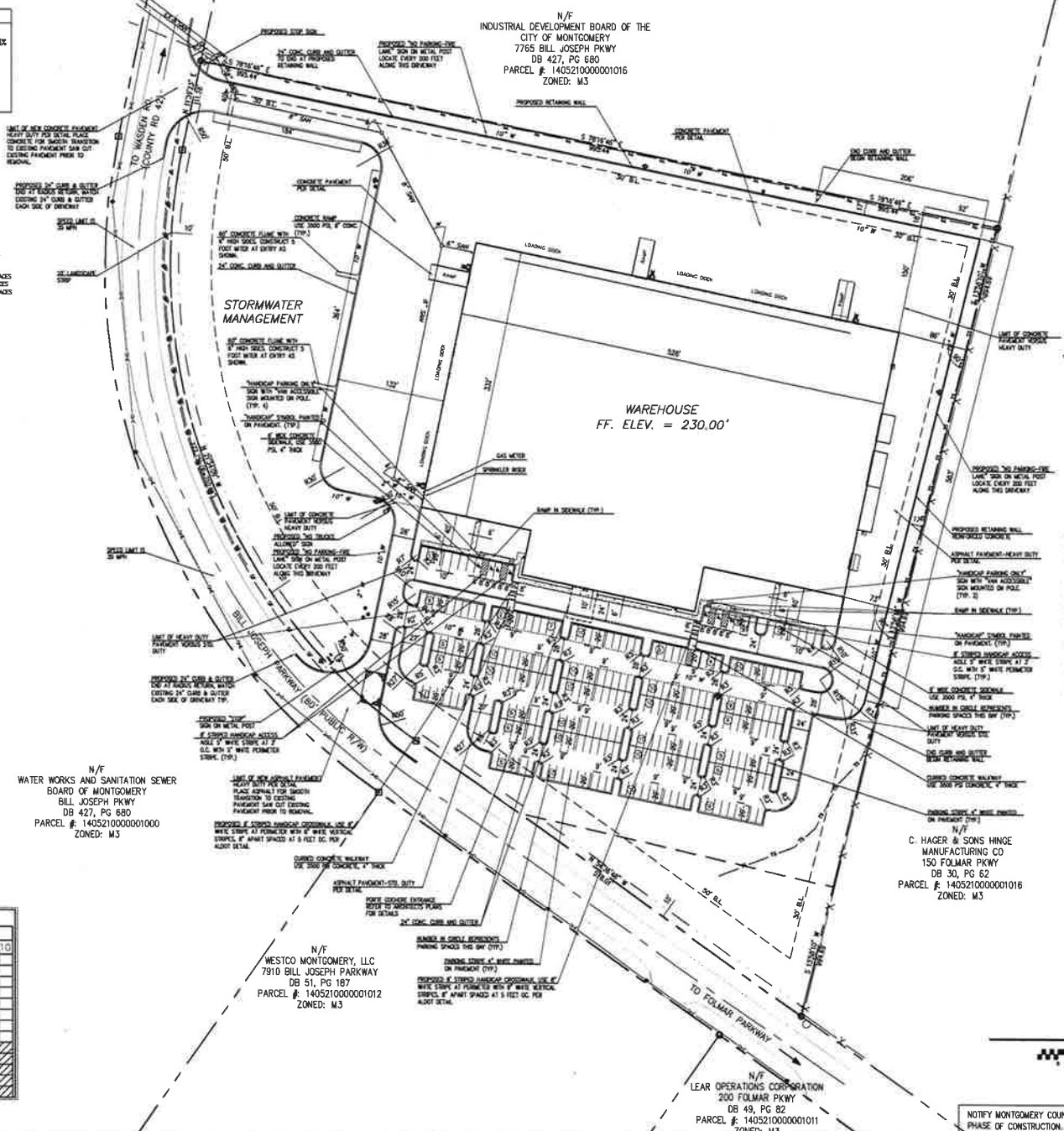
THE PROPOSED SITE IS PART OF A 163.5 ACRES UNDEVELOPED LOT IN EXISTING COUNTRYSIDE. THE LOT IS MOSTLY UNDEVELOPED WITH SOME EXISTING TREES AND FENCES. THE CONSTRUCTION ON THIS SITE WILL BE FOR AN APPROXIMATELY 160,000 SQ. FT. WAREHOUSE WITH TRUCK TRAILER LOADING DOCKS, AN EMPLOYEE PARKING LOT, AND ENTRANCE DRIVEWAYS.

PARKING SPACES REQUIRED:
 PER EACH WORKER: 1 SPACE/AN EMPLOYEE
 PARKING SPACES PER COMPANY VEHICLE: 1 SPACE/PERSONNEL
 1 VISITOR SPACE PER TO MANAGERIAL PERSONNEL
 150 WORKERS: 1 SPACE/150 WORKERS & 150 WORKERS = 60 SPACES
 MANAGERIAL: 1 SPACE/PERSONNEL X 30 MANAGERIALS = 30 SPACES
 VISITOR SPACES: 1 SPACE/10 MANAGERIAL PERSONNEL = 3 SPACES
SPACES REQUIRED: 163 SPACES
PROPOSED SPACES = 223 SPACES (N/7 HP)

ACTIVITY	MONTH									
	1	2	3	4	5	6	7	8	9	10
1. PERMITS										
2. PRELIMINARY DESIGN										
3. FINAL DESIGN										
4. CONSTRUCTION										
5. INSPECTION										
6. COMPLETION										
7. OCCUPANCY										
8. TOTAL PROJECT										

24 HR. CONTACT: X, XXX-XXX-XXX

N/F
 INDUSTRIAL DEVELOPMENT BOARD OF THE
 CITY OF MONTGOMERY
 7765 BILL JOSEPH PKWY
 DB 427, PG 680
 PARCEL #: 140521000001016
 ZONED: M3



- GENERAL NOTES:**
- OWNER DEVELOPER: WATER WORKS AND SANITATION SEWER BOARD OF MONTGOMERY, 700 BLDG 1001, MONTGOMERY, AL 36102
 - ENGINEER: WESTBROOK ENGINEERING, INC., 10700 ABBOTTS BRIDGE ROAD, SUITE 100, JOPES CREEK, GEORGIA 30057, 770-723-9988
 - PROJECT: WAREHOUSE BUILDING
 - SITE ADDRESS: 200 FOLMAR PKWY, MONTGOMERY COUNTY, ALABAMA, 36117
 - SITE AREA: 163.5 AC
 - DEVELOPER: N/7
 - PROPOSED USE: WAREHOUSE
 - NO GAS EXISTENCE LOCATED ON LOT SHOWN. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITIES ON SITE. EROSION CONTROLS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION PER ALL AREAS AND RECONSTRUCTED IMMEDIATELY UPON COMPLETION OF ANY LAND DISTURBING ACTIVITY OR IF ACTIVITY IS DISCONTINUED FOR A PERIOD OF TWO WEEKS OR LONGER.
 - SOIL DEVELOPER/OWNER/PROPERTY OWNER IS REQUIRED TO PROVIDE ALL NECESSARY EROSION CONTROL DEVICES BEFORE THEY BECOME INEFFECTIVE.
 - WATER AND SEWER SERVICE PROVIDED BY MONTGOMERY WATER AND SEWER SERVICE BOARD. ALL UNDERGROUND UTILITIES ARE TO BE MAINTAINED AND PROTECTED.
 - CONSTRUCTION SHALL BEGIN WITHIN 180 DAYS AFTER THE COMPLETION OF ANY LAND DISTURBING ACTIVITY OR IF ACTIVITY IS DISCONTINUED FOR A PERIOD OF TWO WEEKS OR LONGER.
 - SOIL DEVELOPER/OWNER/PROPERTY OWNER IS REQUIRED TO PROVIDE ALL NECESSARY EROSION CONTROL DEVICES BEFORE THEY BECOME INEFFECTIVE.
 - NO PORTION OF THIS SITE LIES WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FLOOD HAZARD RATE MAPS FOR MONTGOMERY COUNTY, ALABAMA, PANEL NO. COT02000A DATED FEBRUARY 5, 2014.
 - NO PORTION OF THIS SITE LIES WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FLOOD HAZARD RATE MAPS FOR MONTGOMERY COUNTY, ALABAMA, PANEL NO. COT02000A DATED FEBRUARY 5, 2014.
 - NO PORTION OF THIS SITE LIES WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FLOOD HAZARD RATE MAPS FOR MONTGOMERY COUNTY, ALABAMA, PANEL NO. COT02000A DATED FEBRUARY 5, 2014.

- CONCRETE:**
- USE CONCRETE HAVING A COMPRESSIVE STRENGTH OF 3000 POUNDS PER SQUARE INCH (PSI) AT 28 DAYS, AND EXPANSION JOINTS SHALL BE INSTALLED WITH A GELD STRENGTH OF 1000 PSI UNLESS OTHERWISE NOTED.
 - PLACE CONCRETE MORE TO PROTECTED LINES AND SURFACES. FORM CURB LINES TO RESULT IN SMOOTH CURVES AND TRANSITIONS.
 - SEWERAGE CONTRACTOR JOINTS TO BE INSTALLED 1' ALL WITH EXPANSION JOINT AT 90' O.C. UNLESS OTHERWISE NOTED.
 - DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - PARKING SPACE STRIPS TO BE 4" WIDE TRAFFIC PAINT FOR ALABAMA DOT.
 - ALL CURB RAMPS SHALL HAVE DETECTABLE WARNING STRIPES COMPLYING WITH ADA 2010-3-20-40. THE DETECTABLE WARNING SHALL BE CONTRASTING YELLOW COLOR EXTENDING THE FULL WIDTH ADDRESS RAMP.



NOTIFY MONTGOMERY COUNTY INSPECTOR 24 HOURS PRIOR TO THE BEGINNING PHASE OF CONSTRUCTION. (240) 777-0311

WESTBROOK ENGINEERING
 10700 Abbotts Bridge Rd,
 Suite 110, Duluth, GA 30097
 Office: (770) 753-9059
 Fax: (770) 753-0356
 Contact Person: Patrick Stanton

NO.	DATE	DESCRIPTION	BY
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SEOYN
 X Bill Joseph Pkwy
 City of Montgomery, Alabama
 Montgomery County

CLIENT JOB NO. _____
 DRAWING JOB NO. TWP 1788

CURRENT ISSUED DATE:
 04/27/17

ISSUED FOR:
 REVIEW

SITE PLAN

C-1



DEVELOPMENT SITE
1 inch = 400 feet

SUBJECT PROPERTY 

ITEM NO. 19C

20. DP-2016-036 **PRESENTED BY:** Westbrook Engineering

REPRESENTING: CNJ USA, LLC

SUBJECT: Public hearing for a development plan for a new building to be located at 6380 Mobile Highway in an M-3 (General Industrial) Zoning District.

REMARKS: The petitioner has submitted plans to construct a 360,400 sq. ft. building with a 8,000 sq. ft. canopy. There are 153 paved parking space indicated on the site plan. There is one (1) access drive to Mobile Highway. All applicable requirements will be met.

CITY COUNCIL DISTRICT: 4

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, applicable departmental approvals and Planning Commission recommendations.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

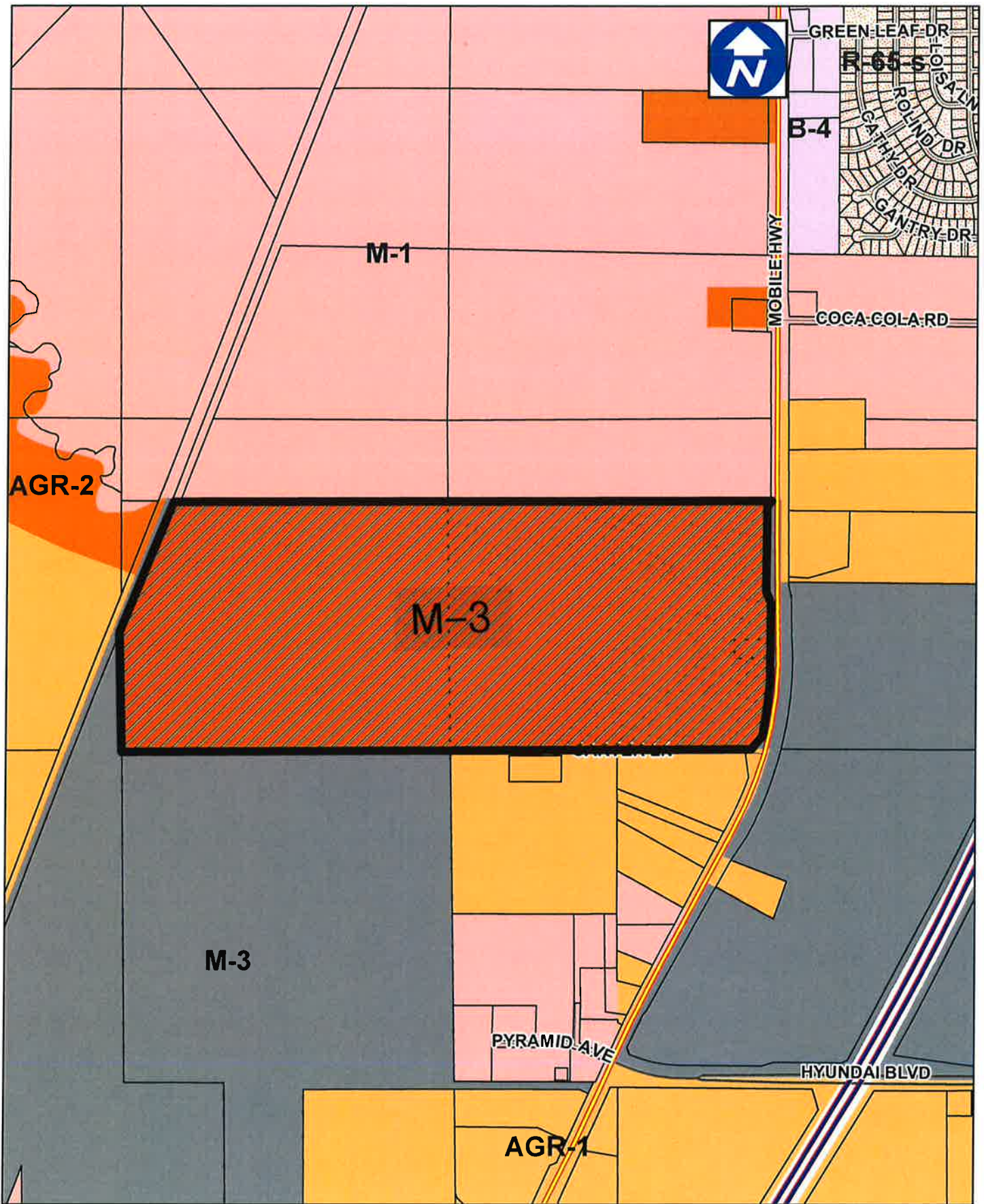
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

URBAN FORESTRY: No objections.

COMMENTS: _____

ACTION TAKEN: _____



DEVELOPMENT SITE
1 inch = 1,000 feet

SUBJECT PROPERTY



ITEM NO. 20A

FOR ROADWAY IMPROVEMENT DETAILS, (ALDOT) SEE C-1A, C-1B, AND C-1C

M3 ZONING CONDITIONS

MINIMUM LOT AREA: N/A
 MAX BUILDING AREA % OF GROSS LOT: 50%
 MAX HEIGHT: 50 FEET
 MINIMUM LANDSCAPED OPEN AREA: N/A
 MINIMUM FRONT SETBACK: 20 FEET
 MINIMUM SIDE SETBACK: 0 FEET
 MINIMUM REAR SETBACK: 0 FEET
 MINIMUM SIDE SETBACK (STREET): 20 FEET

PROJECT NARRATIVE:

THE PROPOSED SITE IS PART OF A 240+ ACRE UNDEVELOPED LOT IN EXISTING CONDITIONS. THE LOT IS MOSTLY UNDEVELOPED WITH SOME EXISTING TREES AND WOODY WOODS. THE CONSTRUCTION ON THIS SITE WILL BE FOR AN APPROXIMATELY 300,000 SF OFFICE/WAREHOUSE WITH TRACTOR TRAILER PARKING, AN EMPLOYEE PARKING LOT, DRIVEWAYS, DRIVEWAYS, AND NEIGHBORHOOD IMPROVEMENTS. THESE PLANS REPRESENT PHASE 1 OF THE DEVELOPMENT.

PARKING SPACES REQUIRED:
 PER EACH WORKER: 1/2 SPACE/WORKER
 PARKING SPACES FOR COMPANY OWNED VEHICLE: 1 SP/80 WORKERS: 1/2 SPACE/WORKER & 40 WORKERS= 30 SPACES
 COMPANY VEHICLES: 1 SPACE/VEHICLE & 0 VEHICLES= 0 SPACES

SPACES REQUIRED: 30 SPACES

PARKING SPACES PROVIDED:
 PROPOSED SPACES = 163 SPACES W/ 7 HOV
 TRUCK SPACES = 36 SPACES

MATCHLINE - SEE C-1A



GENERAL NOTES:

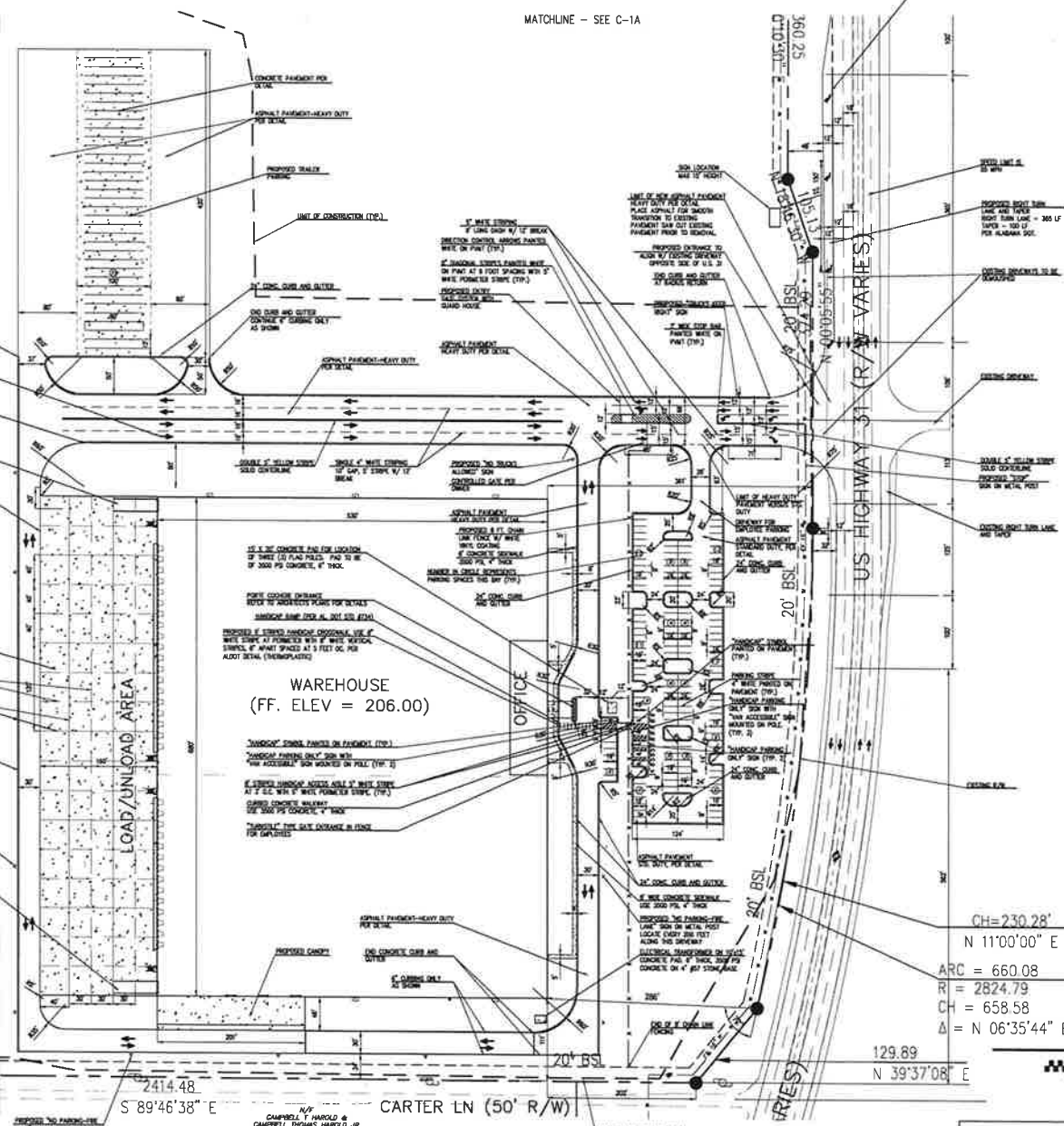
- OWNER DEVELOPER: MR. JIMMO LEE, 250 SCALE COURT, MONTEGOMERY, AL, 36108-3208
- ENGINEER: WESTBROOK ENGINEERING, INC., 10700 ABBOTTS BRIDGE ROAD, SUITE 110, DULUTH, GEORGIA 30097, 770-743-9059
- PROJECT: OFFICE/WAREHOUSE BUILDING
- SITE ADDRESS: 6380 MOBILE HIGHWAY, OFFICE/WAREHOUSE, MONTGOMERY COUNTY, ALABAMA, 36108-3208
- SITE AREA: 3.62 ACRES
- DEVELOPED AREA: 0.24 ACRES
- SITE ZONING: M3
- PROPOSED USE: OFFICE/WAREHOUSE
- NO SIGN EXCEPTORS LOCATED ON LOT SHOWN. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITIES ON SITE. PROTECT EXISTING TREES AND MAINTAIN PROPERLY THROUGHOUT CONSTRUCTION UNTIL ALL AREAS ARE PERMANENTLY STABILIZED. CLEAN UP EROSION CONTROL DEVICES BEFORE THEY BECOME INOPERATIVE.
- WATER AND SEWER SERVICE PROVIDED BY MONTGOMERY WATER AND SEWER CONTROL BOARD.
- CONTRACTOR MUST VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO BEAR RESPONSIBILITY FOR THE COMPLETION OF ANY LAND OBTAINING ACTIVITY, OR IF ACTIVITY IS DEEMED NECESSARY FOR A PORTION OF THIS PROJECT.
- EACH DEVELOPER/OWNER/PROPERTY OWNER IS REQUIRED TO PREVENT ALL INCREASED RISK FROM BEARING AREAS FROM DAMAGING ADJACENT PROPERTIES.
- A PORTION OF THIS SITE LIES WITHIN A DESIGNATED 100-YEAR FLOOD HAZARD AREA AS SHOWN ON FLOOD INSURANCE RATE MAPS, FOR MONTGOMERY COUNTY, ALABAMA, PANEL NO. DTDV020101 DATED JANUARY 7, 2015.
- EXISTING SURVEY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY BY BENDER SURVEYING, INC., DATED OCTOBER 2014. SURVEYORS REF TO I.C.E.

CONCRETE

- USE CONCRETE HAVING A COMPRESSIVE STRENGTH OF 3000 POUNDS PER SQUARE INCH (PSI) AT 28 DAYS, AND DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PLACE CONCRETE IN ONE TO INDICATED LINES AND DIMENSIONS FROM CURB LINES TO RESULT IN SMOOTH CURVES AND TRANSITIONS.
- SEEKAWAY CONNECTION JOINTS TO BE INSTALLED AT 50' O.C. UNLESS OTHERWISE NOTED.
- DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PARKING SPACE STRIPS TO BE 4", WHITE TRAFFIC PAINT PER ALABAMA DOT.
- ALL CURB RAMP SHALL HAVE DETECTABLE WARNING STRIPES COMPLYING W/AC 119-3-20-42. THE DETECTABLE WARNING SHALL BE CONTRASTING YELLOW COLOR EXTENDING THE FULL WIDTH ACROSS RAMP.

ACTIVITY	MONTH											
	1	2	3	4	5	6	7	8	9	10	11	12
1. SITE PREP												
2. EXCAVATION												
3. FOUNDATION												
4. CONCRETE												
5. ROOFING												
6. INTERIORS												
7. EXTERIORS												
8. LANDSCAPING												
9. SIGNAGE												
10. FINISH												
11. OPEN HOUSE												
12. CLOSE PROJECT												

24 HR CONTACT: JINMOG LEE, 334-750-1994



CH = 230.28'
 N 11°00'00" E
 ARC = 660.08
 R = 2824.79
 CH = 658.58
 Δ = N 06°35'44" E

SITE PLAN



NOTIFY MONTGOMERY COUNTY INSPECTOR 24 HOURS PRIOR TO THE BEGINNING PHASE OF CONSTRUCTION. (240) 777-0311



WESTBROOK ENGINEERING
 10700 Abbots Bridge Rd.
 Suite 110, Duluth, GA 30097
 Office: (770) 753-9059
 Fax: (770) 753-9356
 Contact Person: Patrick Stanton

CNJ WAREHOUSE

6380 Mobile Highway
 City of Montgomery, Alabama

CURRENT ISSUED DATE:

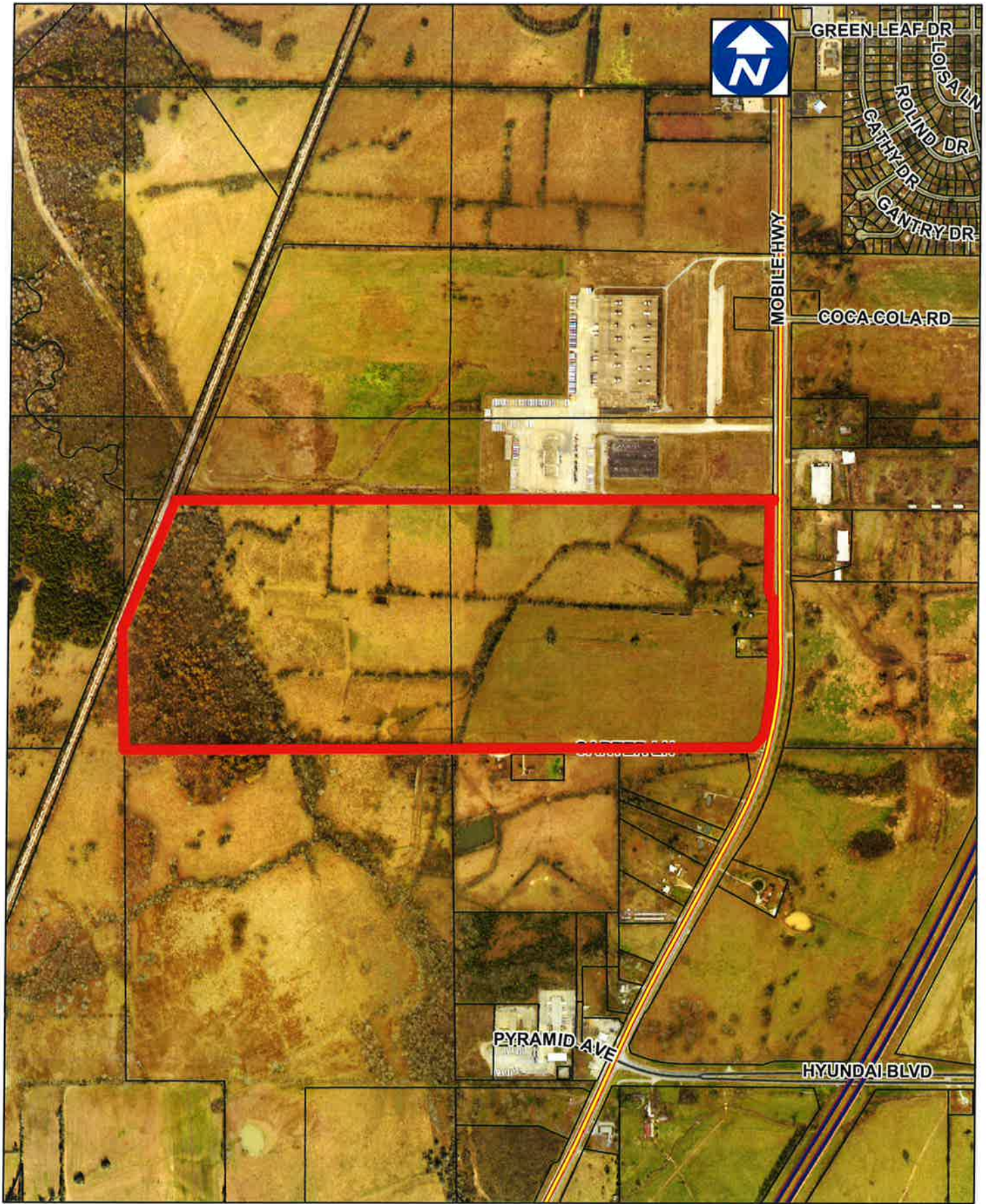
04/27/17

ISSUED FOR:

REVIEW

SITE PLAN

C-1



DEVELOPMENT SITE
1 inch = 1,000 feet

SUBJECT PROPERTY



ITEM NO. 200

21. 8889 **PRESENTED BY:** Westbrook Engineering

REPRESENTING: CNJ, Inc.

SUBJECT: Request final approval of CNJ Plat No. 1 located on the west side of Mobile Highway, approximately 3,000 ft. north of Pyramid Avenue, in an M-3 (General Industrial) Zoning District.

REMARKS: This plat creates one (1) lot for industrial use. Lot A (228.0453 acres) has 1,974 ft. of frontage along Mobile Highway and a depth of 4,665 ft. This plat is in compliance with the Zoning Ordinance and Subdivision Regulations for this district.

CITY COUNCIL DISTRICT: 4

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, and applicable departmental approvals.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

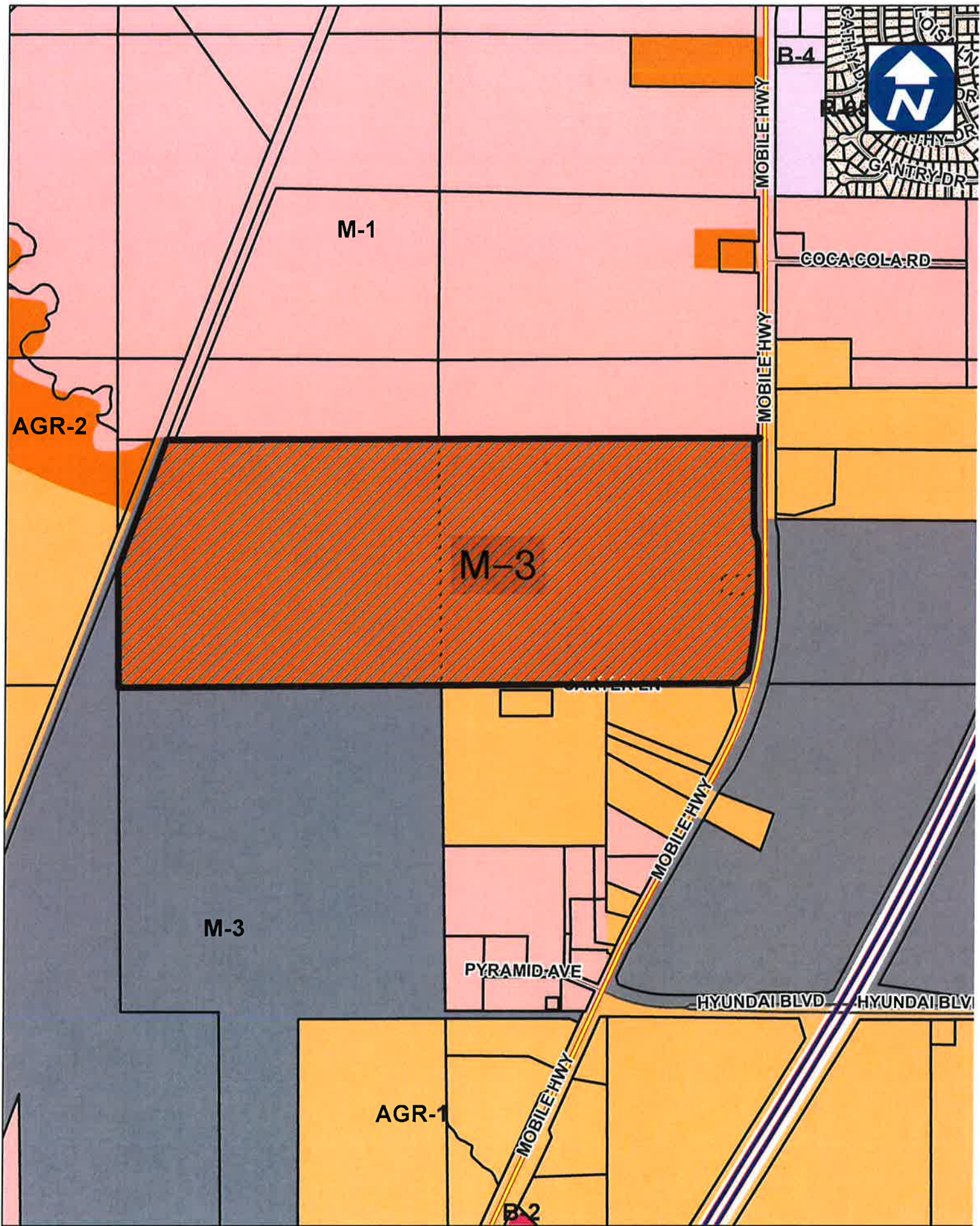
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____



PLATS

1 inch = 1,000 feet

SUBJECT PROPERTY

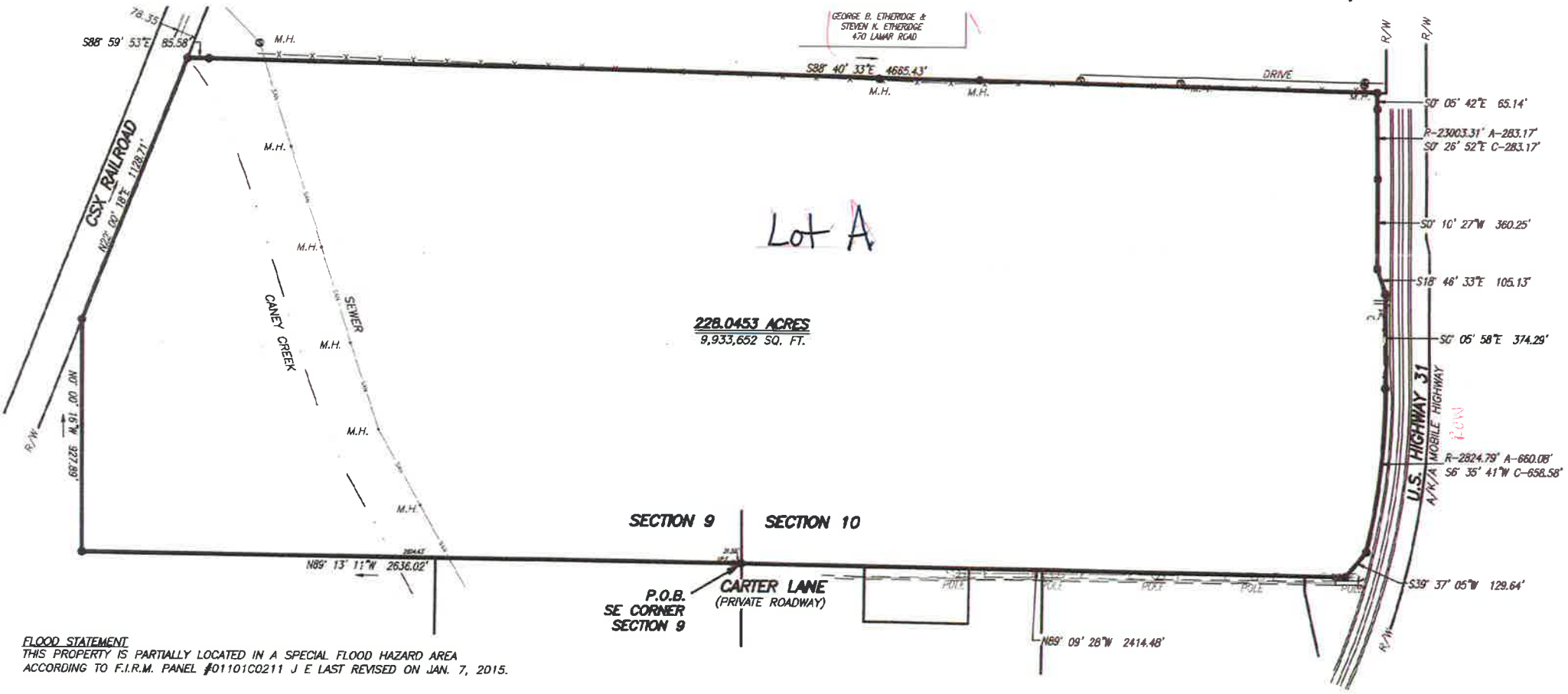


ITEM NO. 21A

CNJ 1

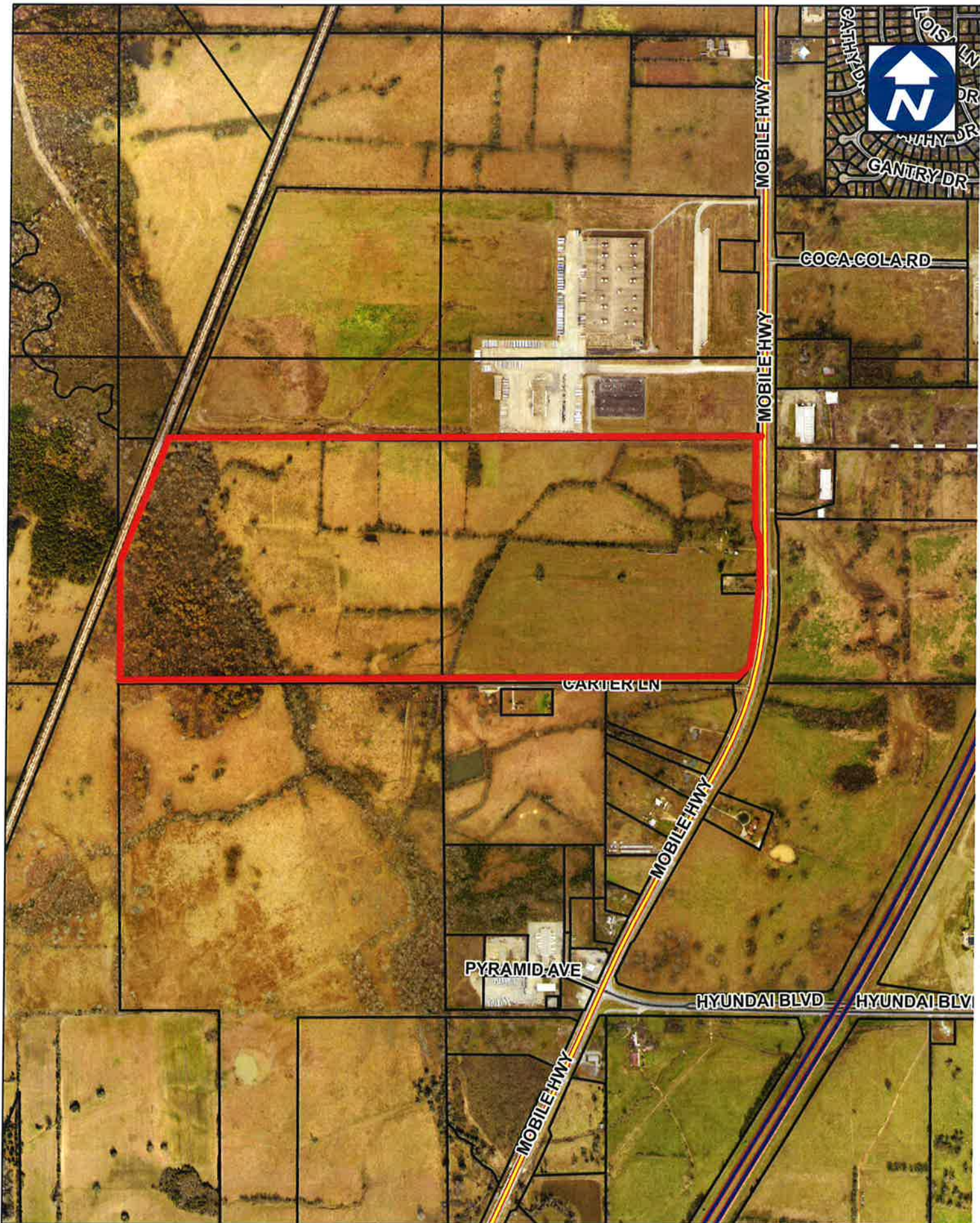
21B

N
A



228.0453 ACRES
9,933,652 SQ. FT.

FLOOD STATEMENT
THIS PROPERTY IS PARTIALLY LOCATED IN A SPECIAL FLOOD HAZARD AREA
ACCORDING TO F.I.R.M. PANEL #01101C0211 J E LAST REVISED ON JAN. 7, 2015.



PLATS
1 inch = 1,000 feet

SUBJECT PROPERTY



ITEM NO. 2C

22. 8901 **PRESENTED BY:** Flowers & White Engineering

REPRESENTING: Hampstead, LLC

SUBJECT: Request final approval of Hampstead Plat No. 18E located on the southwest corner of Long Acre and Tavistock Street in a T4-O (Urban Center Open) SmartCode Zoning District.

REMARKS: This plat replats one (1) lot for residential use. Lot 9-AA (0.20 acres) will have approximately 50 ft. of frontage along Long Acre and a 178 ft. of frontage along Tavistock Street. Lot A (0.04 acre) is a parcel on the rear of Lot 9AA and is access by a rear alley. This parcel is for private easements. This plat is in compliance with the Zoning Ordinance and Subdivision Regulations for this district.

CITY COUNCIL DISTRICT: 8

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, and applicable departmental approvals.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

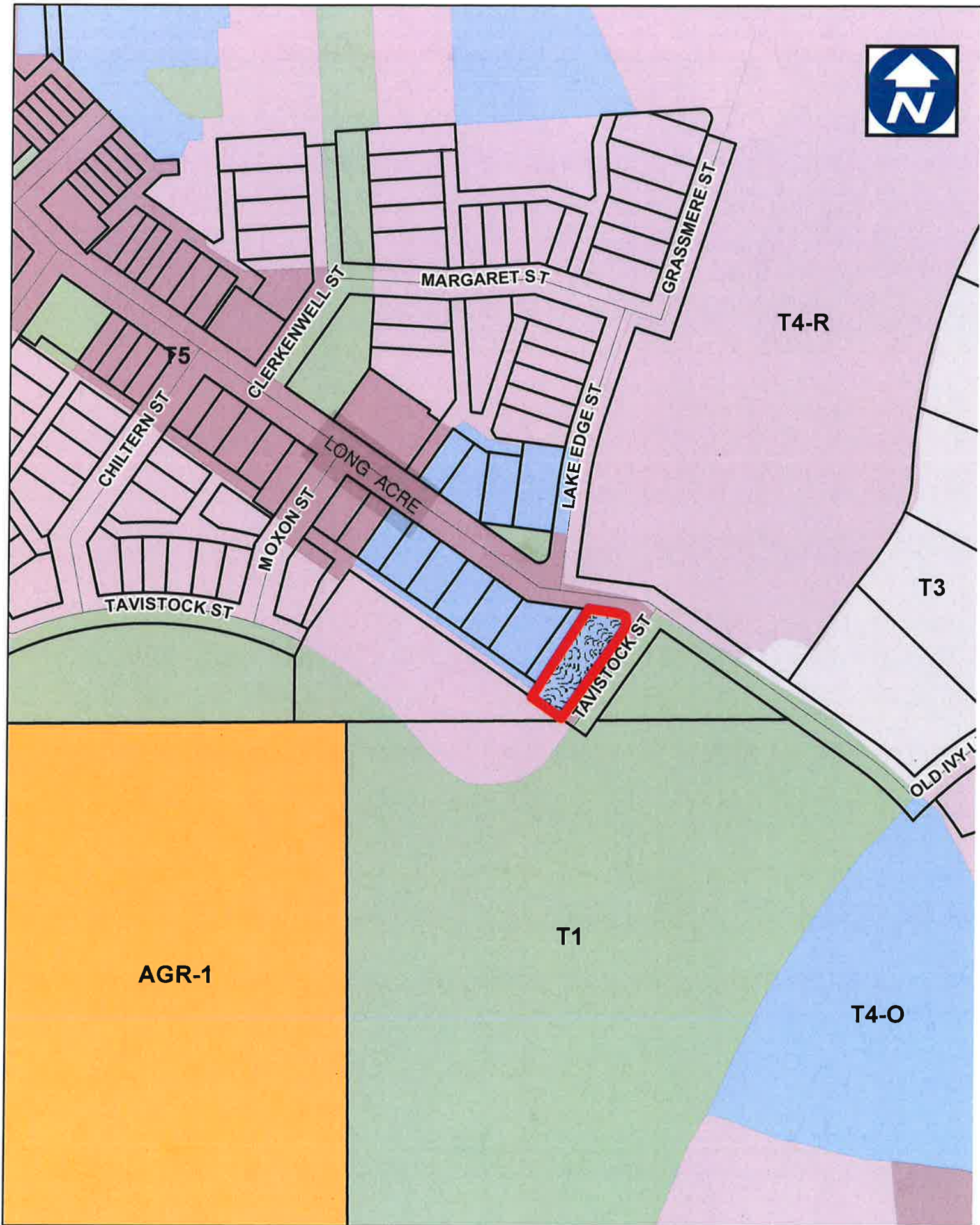
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____



PLATS
1 inch = 200 feet

SUBJECT PROPERTY

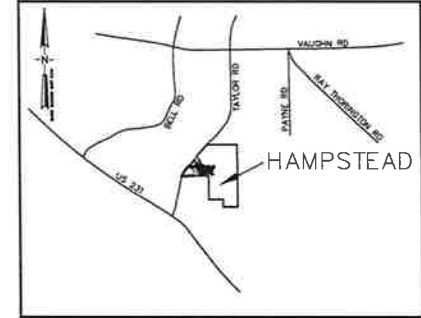


ITEM NO. 22A

226

HAMPSTEAD PLAT NO. 18E

BEING A REPLAT OF LOT 9A OF HAMPSTEAD PLAT NO. 18C, AS RECORDED IN THE OFFICE OF THE JUDGE OF PROBATE, MONTGOMERY COUNTY, ALABAMA IN PLAT BOOK --, PAGE -- LYING IN THE NORTHWEST QUARTER OF SECTION 5, T-15-N, R-19-E, MONTGOMERY COUNTY, ALABAMA.



VICINITY MAP
NO SCALE



PLAT KEY
NO SCALE

STATE OF ALABAMA)
MONTGOMERY COUNTY)

I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

ACCORDING TO MY SURVEY THIS THE ____ DAY OF ____ 2017.

BRADLEY W. FLOWERS, PLS
ALABAMA REG. NO. 31832

APPROVAL OF THE MONTGOMERY CITY PLANNING COMMISSION

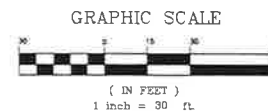
THIS PLAT WAS SUBMITTED TO THE CITY PLANNING COMMISSION OF MONTGOMERY, ALABAMA, ON ____ AND IS APPROVED ACCORDING TO THE CODE OF ALABAMA 11-52-32.

BY: THOMAS M. TYSON, JR., EXECUTIVE SECRETARY

APPROVAL OF THE MONTGOMERY COUNTY ENGINEER

THIS PLAT HAS BEEN SUBMITTED TO AND APPROVED BY THE MONTGOMERY COUNTY ENGINEER FOR RECORDING IN THE OFFICE OF THE JUDGE OF PROBATE OF MONTGOMERY COUNTY, ALABAMA.

BY: GEORGE C. SPEAKE
MONTGOMERY COUNTY ENGINEER



LEGEND

- IRON PIN SET (CAPPED CA0966)
- IRON PIN FOUND (CAPPED CA0965)
- NEW LOT LINE
- RIGHT OF WAY LINE
- - - EXISTING RIGHT OF WAY LINE
- - - EASEMENT LINE
- - - FUTURE DEVELOPMENT
- - - LAKE EDGE
- - - FLOOD HAZARD LINE

THIS PROPERTY ON THIS PLAT SHALL BE SUBJECT TO:

1. THAT CERTAIN HAMPSTEAD COMMUNITY OPERATING AGREEMENT RECORDED IN THE OFFICE OF THE JUDGE OF PROBATE IN REAL PROPERTY BOOK 3810, AT PAGE 449, AS AMENDED AND SUPPLEMENTED FROM TIME TO TIME.
2. EITHER THE
 - A. HAMPSTEAD RESIDENTIAL DECLARATION RECORDED IN REAL PROPERTY BOOK 3810, AT PAGE 317 IN SAID OFFICE AND AS SUPPLEMENTED AND AMENDED FROM TIME TO TIME, OR
 - B. HAMPSTEAD COMMERCIAL DECLARATION AS RECORDED IN REAL PROPERTY BOOK 3810, AT PAGE 394 AS SUPPLEMENTED AND AMENDED FROM TIME TO TIME, AND
3. OTHER DOCUMENTS AND AGREEMENTS RELATING TO ANY OF THE FOREGOING OR TO THE HAMPSTEAD DEVELOPMENT (ALL OF THE FOREGOING DOCUMENTS ARE COLLECTIVELY REFERRED TO AS THE "COMMUNITY DOCUMENTS"). ANY CIVIC LOTS, PRIVATE DRIVES, PRIVATE ALLEYS OR OTHER SIMILARLY DESIGNATED LOTS SHOWN ON THIS PLAT SHALL BE MAINTAINED AS SET OUT IN THE COMMUNITY DOCUMENTS.

NOTES:

1. STREETS SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY TENDERED FOR PUBLIC USE.
2. ALL EASEMENTS, EXCEPT UTILITY, PRIVATE EASEMENTS OR EASEMENTS FOR SANITARY SEWERS OR WATER MAINS SHOWN HEREON ARE HEREBY DEDICATED TO THE MUNICIPALITY OF MONTGOMERY, ALABAMA AND/OR THE COUNTY OF MONTGOMERY, ALABAMA FOR PUBLIC USE. EASEMENTS INCLUDE THE RIGHT OF INGRESS AND EGRESS BY THE CITY AND/OR COUNTY EMPLOYEES FOR MAINTENANCE OF THE PROPERTY INCLUDED IN THE EASEMENTS. NO PERMANENT STRUCTURE MAY BE PLACED ON THE EASEMENTS SHOWN.
3. EASEMENTS FOR SANITARY SEWER AND WATER MAINS, IF NOT PREVIOUSLY DEDICATED ARE HEREBY DEDICATED TO THE WATER WORKS AND SANITARY SEWER BOARD OF THE CITY OF MONTGOMERY, ALABAMA, ITS SUCCESSORS OR ASSIGNS FOR INGRESS AND EGRESS IN THE INSTALLATION AND MAINTENANCE OF SANITARY SEWERS AND WATER MAINS AND THEIR APPURTENANCES. NO PERMANENT STRUCTURES MAY BE ERECTED ON ANY PART OF THESE EASEMENTS.
4. DIMENSIONS ON CURVES ARE CHORD MEASUREMENTS UNLESS OTHERWISE NOTED.
5. A CONDITIONAL LETTER OF MAP REVISION HAS BEEN SUBMITTED TO FEMA. AS OF THE RECORDING DATE OF THIS PLAT, THE LETTER OF MAP REVISION HAS NOT BEEN FINALIZED. ALL FLOOD INFORMATION HAS BEEN OBTAINED FROM FIRN PANEL NO. 01101C0241L, EFFECTIVE DATE JANUARY 7, 2015.

STATE OF ALABAMA)
MONTGOMERY COUNTY)

THE UNDERSIGNED, BRYAN K. TUCKER, MANAGER OF HAMPSTEAD L.L.C., OWNER OF THE PROPERTY SHOWN HEREIN, HEREBY JOINS IN AND SIGNS THE FOREGOING SURVEYOR'S CERTIFICATE AND ADOPTS AND APPROVES SAID PLAT ON THIS THE ____ DAY OF ____ 2017.

HAMPSTEAD L.L.C.,

BRYAN K. TUCKER - MANAGER

STATE OF ALABAMA)
MONTGOMERY COUNTY)

THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, CERTIFY THAT BRYAN K. TUCKER, MANAGER OF THE OWNER OF THE PROPERTY SHOWN HEREIN, SIGNED TO THE FOREGOING CERTIFICATE, PLAT AND MAP, AND KNOWN TO ME, ACKNOWLEDGED BEFORE ME THIS DAY THAT BEING INFORMED OF THE CONTENTS OF SAID CERTIFICATE, PLAT AND MAP, AS SUCH OWNERS WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY ON THE DAY SAME BEARS DATE.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS THE ____ DAY OF ____ 2017.

NOTARY PUBLIC MY COMMISSION EXPIRES _____

STATE OF ALABAMA)
MONTGOMERY COUNTY)

THE UNDERSIGNED, RENASANT BANK, A BANKING CORPORATION, HOLDER OF THE MORTGAGE OF THE PROPERTY SHOWN, HEREBY JOINS IN AND SIGNS THE FOREGOING SURVEYOR'S CERTIFICATE AND ADOPTS AND APPROVES SAID PLAT ON THIS THE ____ DAY OF ____ 2017.

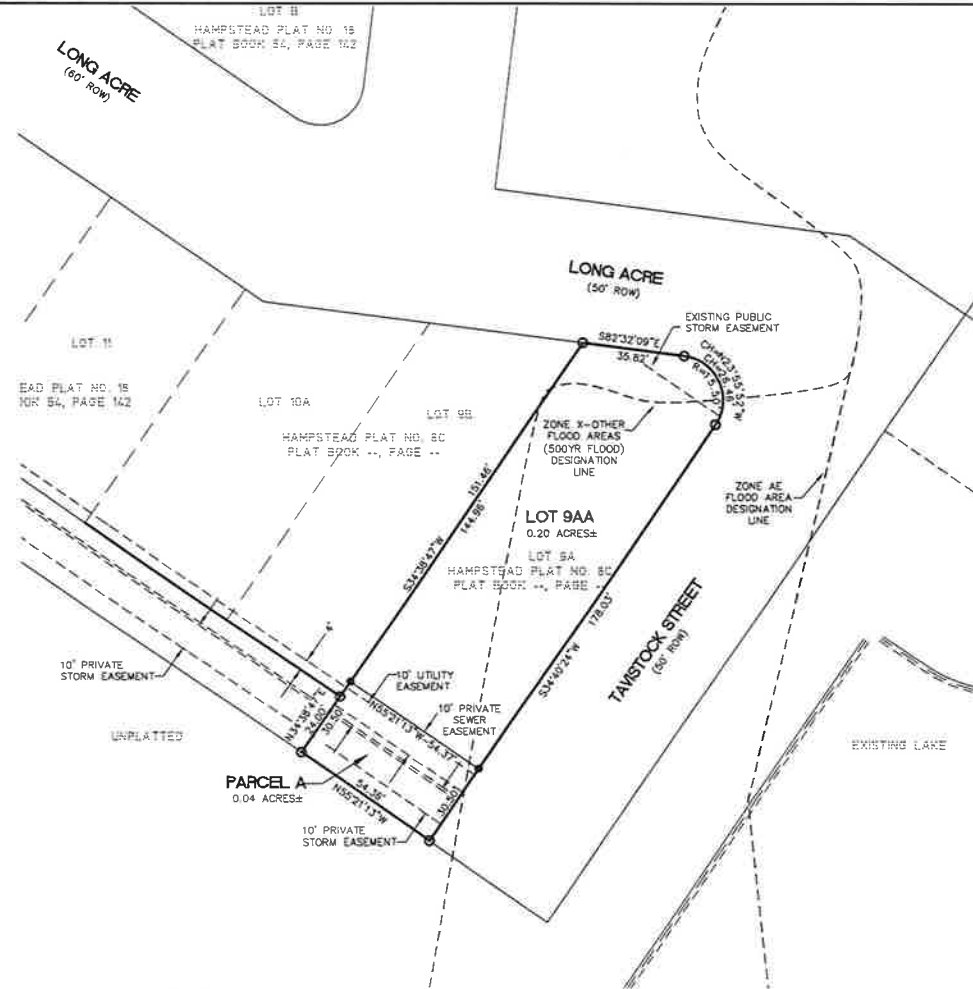
BILL RENFROE, SENIOR VICE PRESIDENT

STATE OF ALABAMA)
MONTGOMERY COUNTY)

THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, CERTIFY THAT BILL RENFROE, AS ITS SENIOR VICE PRESIDENT OF RENASANT BANK, A BANKING CORPORATION, HOLDER OF THE MORTGAGE OF THE PROPERTY SHOWN, IS SIGNED TO THE FOREGOING SURVEYOR'S CERTIFICATE, PLAT AND MAP, AND KNOWN TO ME, ACKNOWLEDGED BEFORE ME THIS DAY THAT BEING INFORMED OF THE CONTENTS OF SAID CERTIFICATE, PLAT AND MAP, AS SUCH OWNERS WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY ON THE DAY SAME BEARS DATE.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS THE ____ DAY OF ____ 2017.

NOTARY PUBLIC MY COMMISSION EXPIRES _____





PLATS
1 inch = 200 feet

SUBJECT PROPERTY



ITEM NO. 220

23. 8902 **PRESENTED BY:** Flowers & White Engineering

REPRESENTING: Hampstead, LLC

SUBJECT: Request final approval of Hampstead Plat No. 18F located on the southwest corner of Margaret Street and Lake Edge Street in a T4-R (General Urban Restricted) SmartCode Zoning District.

REMARKS: This plat replats two (2) lots into one (1) lot for residential use. Lot 10A (0.26 acres) has 78 ft. of frontage along Lake Edge Street and 122 ft. of frontage along Margaret Street. A portion of a rear alley will also be included in this lot. This plat is in compliance with the Zoning Ordinance and Subdivision Regulations for this district.

CITY COUNCIL DISTRICT: 8

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, and applicable departmental approvals.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

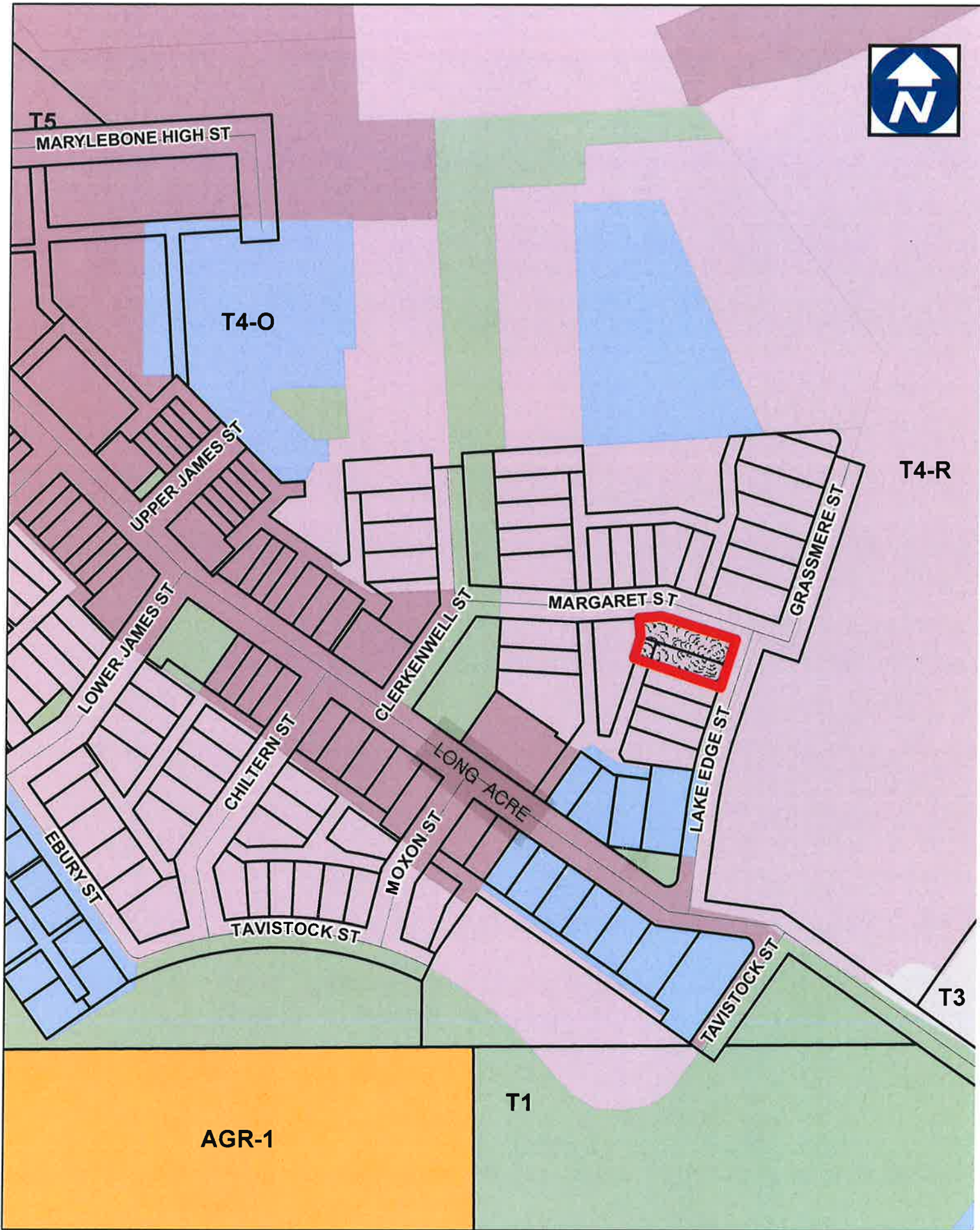
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____



PLATS
1 inch = 200 feet

SUBJECT PROPERTY



ITEM NO. 23A

23B

HAMPSTEAD PLAT NO. 18F

BEING A REPLAT OF LOT 10 & 11 OF HAMPSTEAD PLAT NO. 18, AS RECORDED IN THE OFFICE OF THE JUDGE OF PROBATE, MONTGOMERY COUNTY, ALABAMA IN PLAT BOOK 54, PAGE 142 LYING IN THE NORTHWEST QUARTER OF SECTION 5, T-15-N, R-19-E, MONTGOMERY COUNTY, ALABAMA.

LEGEND

- IRON PIN SET (CAPPED CA0966)
- IRON PIN FOUND (CAPPED CA0966)
- NEW LOT LINE
- RIGHT OF WAY LINE
- - - EXISTING RIGHT OF WAY LINE
- - - EASEMENT LINE
- - - FUTURE DEVELOPMENT
- - - LAKE EDGE
- - - FLOOD HAZARD LINE

THIS PROPERTY ON THIS PLAT SHALL BE SUBJECT TO:

1. THAT CERTAIN HAMPSTEAD COMMUNITY OPERATING AGREEMENT RECORDED IN THE OFFICE OF THE JUDGE OF PROBATE IN REAL PROPERTY BOOK 3810, AT PAGE 449, AS AMENDED AND SUPPLEMENTED FROM TIME TO TIME,
2. EITHER THE
 - A. HAMPSTEAD RESIDENTIAL DECLARATION RECORDED IN REAL PROPERTY BOOK 3810, AT PAGE 317 IN SAID OFFICE AND AS SUPPLEMENTED AND AMENDED FROM TIME TO TIME, OR
 - B. HAMPSTEAD COMMERCIAL DECLARATION AS RECORDED IN REAL PROPERTY BOOK 3810, AT PAGE 394 AS SUPPLEMENTED AND AMENDED FROM TIME TO TIME, AND
3. OTHER DOCUMENTS AND AGREEMENTS RELATING TO ANY OF THE FOREGOING OR TO THE HAMPSTEAD DEVELOPMENT (ALL OF THE FOREGOING DOCUMENTS ARE COLLECTIVELY REFERRED TO AS THE "COMMUNITY DOCUMENTS"), ANY CIVIC LOTS, PRIVATE DRIVES, PRIVATE ALLEYS OR OTHER SIMILARLY DESIGNATED LOTS SHOWN ON THIS PLAT SHALL BE MAINTAINED AS SET OUT IN THE COMMUNITY DOCUMENTS.

NOTES:

1. STREETS SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY TENDERED FOR PUBLIC USE.
2. ALL EASEMENTS, EXCEPT UTILITY, PRIVATE EASEMENTS OR EASEMENTS FOR SANITARY SEWERS OR WATER MAINS SHOWN HEREON ARE HEREBY DEDICATED TO THE MUNICIPALITY OF MONTGOMERY, ALABAMA AND/OR THE COUNTY OF MONTGOMERY, ALABAMA FOR PUBLIC USE. EASEMENTS INCLUDE THE RIGHT OF INGRESS AND EGRESS BY THE CITY AND/OR COUNTY EMPLOYEES FOR MAINTENANCE OF THE PROPERTY INCLUDED IN THE EASEMENTS. NO PERMANENT STRUCTURE MAY BE PLACED ON THE EASEMENTS SHOWN.
3. EASEMENTS FOR SANITARY SEWER AND WATER MAINS, IF NOT PREVIOUSLY DEDICATED ARE HEREBY DEDICATED TO THE WATER WORKS AND SANITARY SEWER BOARD OF THE CITY OF MONTGOMERY, ALABAMA, ITS SUCCESSORS OR ASSIGNS FOR INGRESS AND EGRESS IN THE INSTALLATION AND MAINTENANCE OF SANITARY SEWERS AND WATER MAINS AND THEIR APPURTENANCES. NO PERMANENT STRUCTURES MAY BE ERRECTED ON ANY PART OF THESE EASEMENTS.
4. DIMENSIONS ON CURVES ARE CHORD MEASUREMENTS UNLESS OTHERWISE NOTED.
5. A CONDITIONAL LETTER OF MAP REVISION HAS BEEN SUBMITTED TO FEMA. AS OF THE RECORDING DATE OF THIS PLAT, THE LETTER OF MAP REVISION HAS NOT BEEN FINALIZED. ALL FLOOD INFORMATION HAS BEEN OBTAINED FROM FRW PANEL NO. 0110C0241J, EFFECTIVE DATE JANUARY 7, 2015.

STATE OF ALABAMA)
MONTGOMERY COUNTY)

THE UNDERSIGNED, BRYAN K. TUCKER, MANAGER OF HAMPSTEAD L.L.C., OWNER OF THE PROPERTY SHOWN HEREIN, HEREBY JOINS IN AND SIGNS THE FOREGOING SURVEYOR'S CERTIFICATE AND ADOPTS AND APPROVES SAID PLAT ON THIS THE ____ DAY OF ____ 2017.

HAMPSTEAD L.L.C.,

BRYAN K. TUCKER - MANAGER

STATE OF ALABAMA)
MONTGOMERY COUNTY)

THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, CERTIFY THAT BRYAN K. TUCKER, MANAGER OF THE OWNER OF THE PROPERTY SHOWN HEREIN, SIGNED TO THE FOREGOING SURVEYOR'S CERTIFICATE, PLAT AND MAP, AND KNOWN TO ME, ACKNOWLEDGED BEFORE ME THIS DAY THAT BEING INFORMED OF THE CONTENTS OF SAID CERTIFICATE, PLAT AND MAP, AS SUCH OWNERS WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY ON THE DAY SAME BEARS DATE.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS THE ____ DAY OF ____ 2017.

NOTARY PUBLIC MY COMMISSION EXPIRES _____

STATE OF ALABAMA)
MONTGOMERY COUNTY)

THE UNDERSIGNED, RENASANT BANK, A BANKING CORPORATION, HOLDER OF THE MORTGAGE OF THE PROPERTY SHOWN, HEREBY JOINS IN AND SIGNS THE FOREGOING SURVEYOR'S CERTIFICATE AND ADOPTS AND APPROVES SAID PLAT ON THIS THE ____ DAY OF ____ 2017.

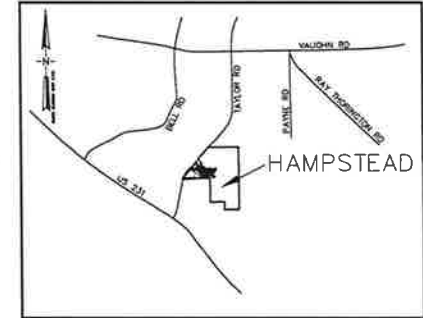
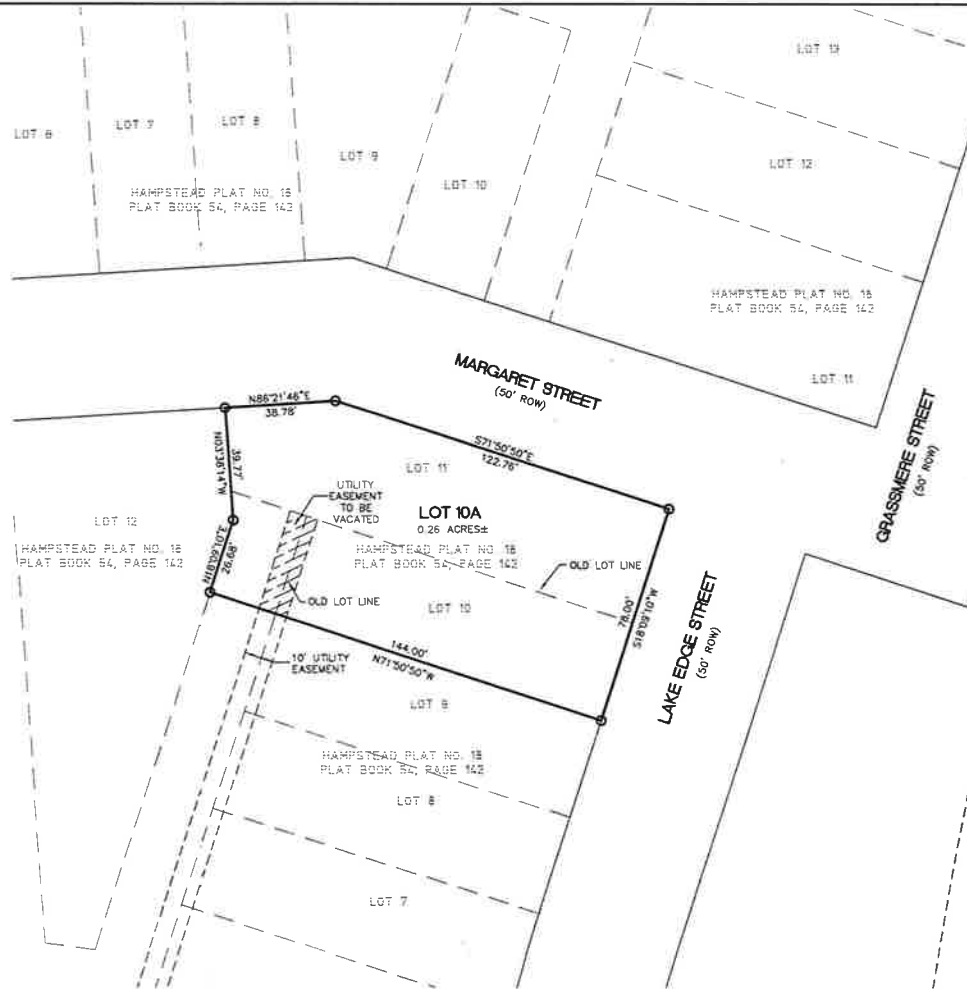
BILL RENFROE, SENIOR VICE PRESIDENT

STATE OF ALABAMA)
MONTGOMERY COUNTY)

THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, CERTIFY THAT BILL RENFROE, AS ITS SENIOR VICE PRESIDENT OF RENASANT BANK, A BANKING CORPORATION, HOLDER OF THE MORTGAGE OF THE PROPERTY SHOWN, IS SIGNED TO THE FOREGOING SURVEYOR'S CERTIFICATE, PLAT AND MAP, AND KNOWN TO ME, ACKNOWLEDGED BEFORE ME THIS DAY THAT BEING INFORMED OF THE CONTENTS OF SAID CERTIFICATE, PLAT AND MAP, AS SUCH OWNERS WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY ON THE DAY SAME BEARS DATE.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS THE ____ DAY OF ____ 2017.

NOTARY PUBLIC MY COMMISSION EXPIRES _____



VICINITY MAP
NO SCALE



PLAT KEY
NO SCALE

APPROVAL OF THE MONTGOMERY CITY PLANNING COMMISSION

THIS PLAT WAS SUBMITTED TO THE CITY PLANNING COMMISSION OF MONTGOMERY, ALABAMA, ON ____ AND IS APPROVED ACCORDING TO THE CODE OF ALABAMA 11-52-32.

BY: THOMAS M. TYSON, JR., EXECUTIVE SECRETARY

APPROVAL OF THE MONTGOMERY COUNTY ENGINEER

THIS PLAT HAS BEEN SUBMITTED TO AND APPROVED BY THE MONTGOMERY COUNTY ENGINEER FOR RECORDING IN THE OFFICE OF THE JUDGE OF PROBATE OF MONTGOMERY COUNTY, ALABAMA.

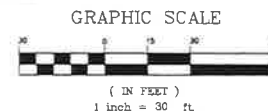
BY: GEORGE C. SPEAKE, MONTGOMERY COUNTY ENGINEER

STATE OF ALABAMA)
MONTGOMERY COUNTY)

I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

ACCORDING TO MY SURVEY THIS THE ____ DAY OF ____ 2017.

BRADLEY W. FLOWERS, PLS
ALABAMA REG. NO. 31832



FLOWERS & WHITE

ENGINEERING, L.L.C.

PO BOX 231286 - MONTGOMERY, AL 36123
PH. (334) 356-7600 - FAX (334) 356-1231



PLATS
1 inch = 200 feet

SUBJECT PROPERTY



ITEM NO. 23C

24. 8903 **PRESENTED BY:** Flowers & White Engineering

REPRESENTING: Hampstead, LLC

SUBJECT: Request final approval of Hampstead Plat No. 18G located on the north end of Clerkenwell Street, approximately 200 ft. north of Margaret Street in a T4-R (General Urban Restricted) SmartCode Zoning District.

REMARKS: This plat replats one (1) lot for residential use. Lot 1A will replat a 24 ft. x 42 ft. parcel on the rear of the lot for a private alley. This plat is in compliance with the Zoning Ordinance and Subdivision Regulations for this district.

CITY COUNCIL DISTRICT: 8

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, and applicable departmental approvals.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____



PLATS
1 inch = 200 feet

SUBJECT PROPERTY



ITEM NO. 24A

218

HAMPSTEAD PLAT NO. 18G

BEING A REPLAT OF LOT 10 & 11 OF HAMPSTEAD PLAT NO. 18, AS RECORDED IN THE OFFICE OF THE JUDGE OF PROBATE, MONTGOMERY COUNTY, ALABAMA IN PLAT BOOK 54, PAGE 142 LYING IN THE NORTHWEST QUARTER OF SECTION 5, T-15-N, R-19-E, MONTGOMERY COUNTY, ALABAMA.

LEGEND

- IRON PIN SET (CAPPED CA0966)
- IRON PIN FOUND (CAPPED CA0966)
- NEW LOT LINE
- - - RIGHT OF WAY LINE
- - - EXISTING RIGHT OF WAY LINE
- - - EASEMENT LINE
- - - FUTURE DEVELOPMENT
- ▬ LAKE EDGE
- - - FLOOD HAZARD LINE

THIS PROPERTY ON THIS PLAT SHALL BE SUBJECT TO:

1. THAT CERTAIN HAMPSTEAD COMMUNITY OPERATING AGREEMENT RECORDED IN THE OFFICE OF THE JUDGE OF PROBATE IN REAL PROPERTY BOOK 3810, AT PAGE 449, AS AMENDED AND SUPPLEMENTED FROM TIME TO TIME.
2. EITHER THE
 - A. HAMPSTEAD RESIDENTIAL DECLARATION RECORDED IN REAL PROPERTY BOOK 3810, AT PAGE 317 IN SAID OFFICE AND AS SUPPLEMENTED AND AMENDED FROM TIME TO TIME, OR
 - B. HAMPSTEAD COMMERCIAL DECLARATION AS RECORDED IN REAL PROPERTY BOOK 3810, AT PAGE 394 AS SUPPLEMENTED AND AMENDED FROM TIME TO TIME, AND
3. OTHER DOCUMENTS AND AGREEMENTS RELATING TO ANY OF THE FOREGOING OR TO THE HAMPSTEAD DEVELOPMENT (ALL OF THE FOREGOING DOCUMENTS ARE COLLECTIVELY REFERRED TO AS THE "COMMUNITY DOCUMENTS"). ANY CURB LOTS, PRIVATE DRIVES, PRIVATE ALLEYS OR OTHER SIMILARLY DESIGNATED LOTS SHOWN ON THIS PLAT SHALL BE MAINTAINED AS SET OUT IN THE COMMUNITY DOCUMENTS.

NOTES:

1. STREETS SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY TENDERED FOR PUBLIC USE.
2. ALL EASEMENTS, EXCEPT UTILITY, PRIVATE EASEMENTS OR EASEMENTS FOR SANITARY SEWERS OR WATER MAINS SHOWN HEREON ARE HEREBY DEDICATED TO THE MUNICIPALITY OF MONTGOMERY, ALABAMA AND/OR THE COUNTY OF MONTGOMERY, ALABAMA FOR PUBLIC USE. EASEMENTS INCLUDE THE RIGHT OF INGRESS AND EGRESS BY THE CITY AND/OR COUNTY EMPLOYEES FOR MAINTENANCE OF THE PROPERTY INCLUDED IN THE EASEMENTS. NO PERMANENT STRUCTURE MAY BE PLACED ON THE EASEMENTS SHOWN.
3. EASEMENTS FOR SANITARY SEWER AND WATER MAINS, IF NOT PREVIOUSLY DEDICATED ARE HEREBY DEDICATED TO THE WATER WORKS AND SANITARY SEWER BOARD OF THE CITY OF MONTGOMERY, ALABAMA, ITS SUCCESSORS OR ASSIGNS FOR INGRESS AND EGRESS IN THE INSTALLATION AND MAINTENANCE OF SANITARY SEWERS AND WATER MAINS AND THEIR APPURTENANCES. NO PERMANENT STRUCTURES MAY BE ERECTED ON ANY PART OF THESE EASEMENTS.
4. DIMENSIONS ON CURVES ARE CHORD MEASUREMENTS UNLESS OTHERWISE NOTED.
5. A CONDITIONAL LETTER OF MAP REVISION HAS BEEN SUBMITTED TO FEMA. AS OF THE RECORDING DATE OF THIS PLAT, THE LETTER OF MAP REVISION HAS NOT BEEN FINALIZED. ALL FLOOD INFORMATION HAS BEEN OBTAINED FROM FIRM PANEL NO. 011010241J, EFFECTIVE DATE JANUARY 7, 2015.

STATE OF ALABAMA)
MONTGOMERY COUNTY)

THE UNDERSIGNED, BRYAN K. TUCKER, MANAGER OF HAMPSTEAD L.L.C., OWNER OF THE PROPERTY SHOWN HEREIN, HEREBY JOINS IN AND SIGNS THE FOREGOING SURVEYOR'S CERTIFICATE AND ADOPTS AND APPROVES SAID PLAT ON THIS THE _____ DAY OF _____, 2017.

HAMPSTEAD L.L.C.,

BRYAN K. TUCKER - MANAGER

STATE OF ALABAMA)
MONTGOMERY COUNTY)

THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, CERTIFY THAT BRYAN K. TUCKER, MANAGER OF THE PROPERTY SHOWN HEREIN, SIGNED TO THE FOREGOING SURVEYOR'S CERTIFICATE, PLAT AND MAP, AND KNOWN TO ME, ACKNOWLEDGED BEFORE ME THIS DAY THAT BEING INFORMED OF THE CONTENTS OF SAID CERTIFICATE, PLAT AND MAP, AS SUCH OWNERS WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY ON THE DAY SAME BEARS DATE.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS THE _____ DAY OF _____, 2017.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

STATE OF ALABAMA)
MONTGOMERY COUNTY)

THE UNDERSIGNED, RENASANT BANK, A BANKING CORPORATION, HOLDER OF THE MORTGAGE OF THE PROPERTY SHOWN, HEREBY JOINS IN AND SIGNS THE FOREGOING SURVEYOR'S CERTIFICATE AND ADOPTS AND APPROVES SAID PLAT ON THIS THE _____ DAY OF _____, 2017.

BILL RENFROE, SENIOR VICE PRESIDENT

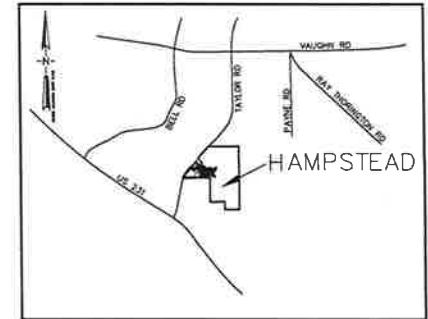
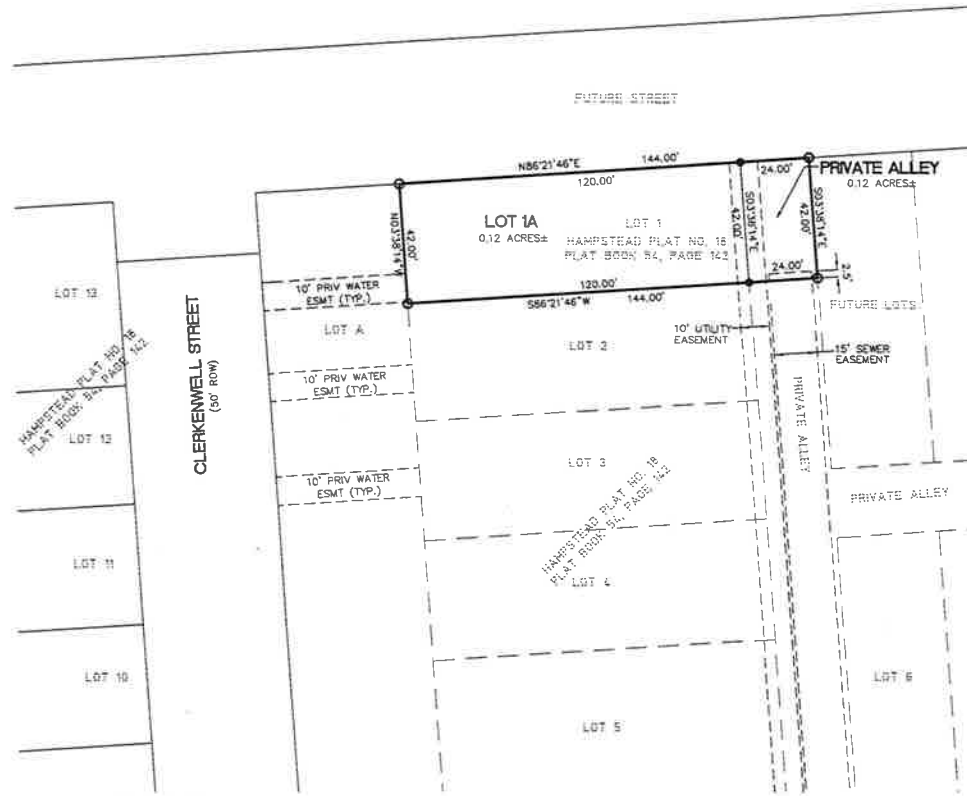
STATE OF ALABAMA)
MONTGOMERY COUNTY)

THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, CERTIFY THAT BILL RENFROE, AS HIS SENIOR VICE PRESIDENT OF RENASANT BANK, A BANKING CORPORATION, HOLDER OF THE MORTGAGE OF THE PROPERTY SHOWN, IS SIGNED TO THE FOREGOING SURVEYOR'S CERTIFICATE, PLAT AND MAP, AND KNOWN TO ME, ACKNOWLEDGED BEFORE ME THIS DAY THAT BEING INFORMED OF THE CONTENTS OF SAID CERTIFICATE, PLAT AND MAP, AS SUCH OWNERS WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY ON THE DAY SAME BEARS DATE.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS THE _____ DAY OF _____, 2017.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____



VICINITY MAP
NO SCALE



PLAT KEY
NO SCALE

STATE OF ALABAMA)
MONTGOMERY COUNTY)

I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

ACCORDING TO MY SURVEY THIS THE _____ DAY OF _____, 2017.

BRADLEY W. FLOWERS, PLS
ALABAMA REG. NO. 31832

APPROVAL OF THE MONTGOMERY CITY PLANNING COMMISSION

THIS PLAT WAS SUBMITTED TO THE CITY PLANNING COMMISSION OF MONTGOMERY, ALABAMA, ON _____ AND IS APPROVED ACCORDING TO THE CODE OF ALABAMA 11-52-32.

BY: THOMAS M. TYSON, JR., EXECUTIVE SECRETARY

APPROVAL OF THE MONTGOMERY COUNTY ENGINEER

THIS PLAT HAS BEEN SUBMITTED TO AND APPROVED BY THE MONTGOMERY COUNTY ENGINEER FOR RECORDING IN THE OFFICE OF THE JUDGE OF PROBATE OF MONTGOMERY COUNTY, ALABAMA.

BY: GEORGE C. SPEAKE DATE _____
MONTGOMERY COUNTY ENGINEER

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

FLOWERS & WHITE
ENGINEERING, L.L.C.

PO BOX 231286 - MONTGOMERY, AL 36123
PH. (334) 356-7600 - FAX (334) 356-1231



PLATS
1 inch = 200 feet

SUBJECT PROPERTY



ITEM NO. 24C