

# **A G E N D A**

## **Architectural Review Board**

**March 28, 2017**

**Council Auditorium, City Hall**

**103 North Perry Street**

### **ARCHITECTURAL REVIEW BOARD MEMBERS**

Mr. Walter L. Bush, Jr., Chairman

Ms. Elizabeth Brown, Vice-Chairman

Mr. David Payne

Mr. Barrett Penney

Rev. Willie Welch

Mr. Cedric Campbell

Mr. John Foshee

Mr. Jon Hayden

Ms. Katie Williams

PLANNING CONTROLS DIVISION

**I. Approval of the Actions from the February 28, 2017 meeting**

**II. Full Review Items**

<b><u>Item</u></b>	<b><u>Petitioner</u></b>	<b><u>Historic District</u></b>	<b><u>Location</u></b>
1.	Midstate Advertising	Lower Commerce	130 Commerce Street
2.	Gwendolyn Perryman	Garden District	1035 South McDonough Street
3.	Russell Estes	Old Cloverdale	1318 Woodward Avenue
4.	Randy & Paula Clark	Old Cloverdale	1960/1964 Ridge Avenue
5.	Lat32 for FUMC	Old Cloverdale	2444 West Cloverdale Park
6.	Lat32 for FUMC	Old Cloverdale	836 Park Avenue

**III. Other Business/Announcements**

**The next meeting of the Architectural Review Board will be on  
Tuesday, April 25, 2017 at 5:30 p.m.**

**OLD BUSINESS**

**1. PRESENTED BY:** Midstate Advertising

**SUBJECT:** Request for approval of a new business sign for the property located at 130 Commerce Street (Lower Commerce).

**REMARKS:** The petitioner is requesting permission to install a 26” high LED illuminated individual channel letters, mounted on a raceway that will mimic the edge of the existing canopy, with a back lit logo as illustrated.

At the February 28, 2107 meeting, the Board voted to delay the request subject to a modified sign being submitted. Recommendations included a smaller sign, a more traditional looking sign since the building is a historic building (versus signs on new construction) with a traditional light source, the sign shown installed in context with the adjacent buildings and signage, and a plan that clearly delineates what is being requested.

**STANDARD OF REVIEW:** Section 15-127 of the City Code states that “The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

**DEPARTMENT COMMENTS**

- The design guidelines state “Proposed signs should not exceed 20 square feet of surface areas. Designs for the mounting, framing, etc. must be approved. The material for the mounting should be compatible with the materials of the building. Style and color of lettering must be compatible with the building location. Location of sign on lot must be approved. Lighting: top or ground lighting, such as floods or spots. Interior lighting, if shielded. No moved or flashing lights.”
- The wall sign exceeds the recommended 20 square feet at approximately 46 Square feet (it falls under the Smart Code band sign guidelines of 3’ tall at any length, and is 10 inches shorter than Mellow Mushroom). The Board needs to determine if the scale of the sign as proposed can be accommodated by the scale of the building.
- No revised sign was submitted prior to the preparation of the March agenda.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_



130 Commerce Street



130 Commerce Street

**2. PRESENTED BY:** Gwendolyn Perryman

**SUBJECT:** Request for approval of a rear yard fence and sidewalk widening for the property located at 1035 South McDonough Street (Garden District).

**REMARKS:** The petitioner is requesting permission to install a 6' tall dog eared privacy fence with matching gates to replace an existing chain link fence in the same location. The fence will be left to weather.

The petitioner would also like permission to widen the front sidewalk (approx. 30") to match the width of the steps (approx. 48"-60") so that two people can walk side by side. The sidewalk would be the same material, concrete, as the existing sidewalk.

**STANDARD OF REVIEW:** Section 15-127 of the City Code states that "The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

**DEPARTMENT COMMENTS**

- The Board has generally approved privacy fences for rear yards, especially when the return to enclose the yard is recessed from the front corner of the house.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_



1035 South McDonough Street

2A



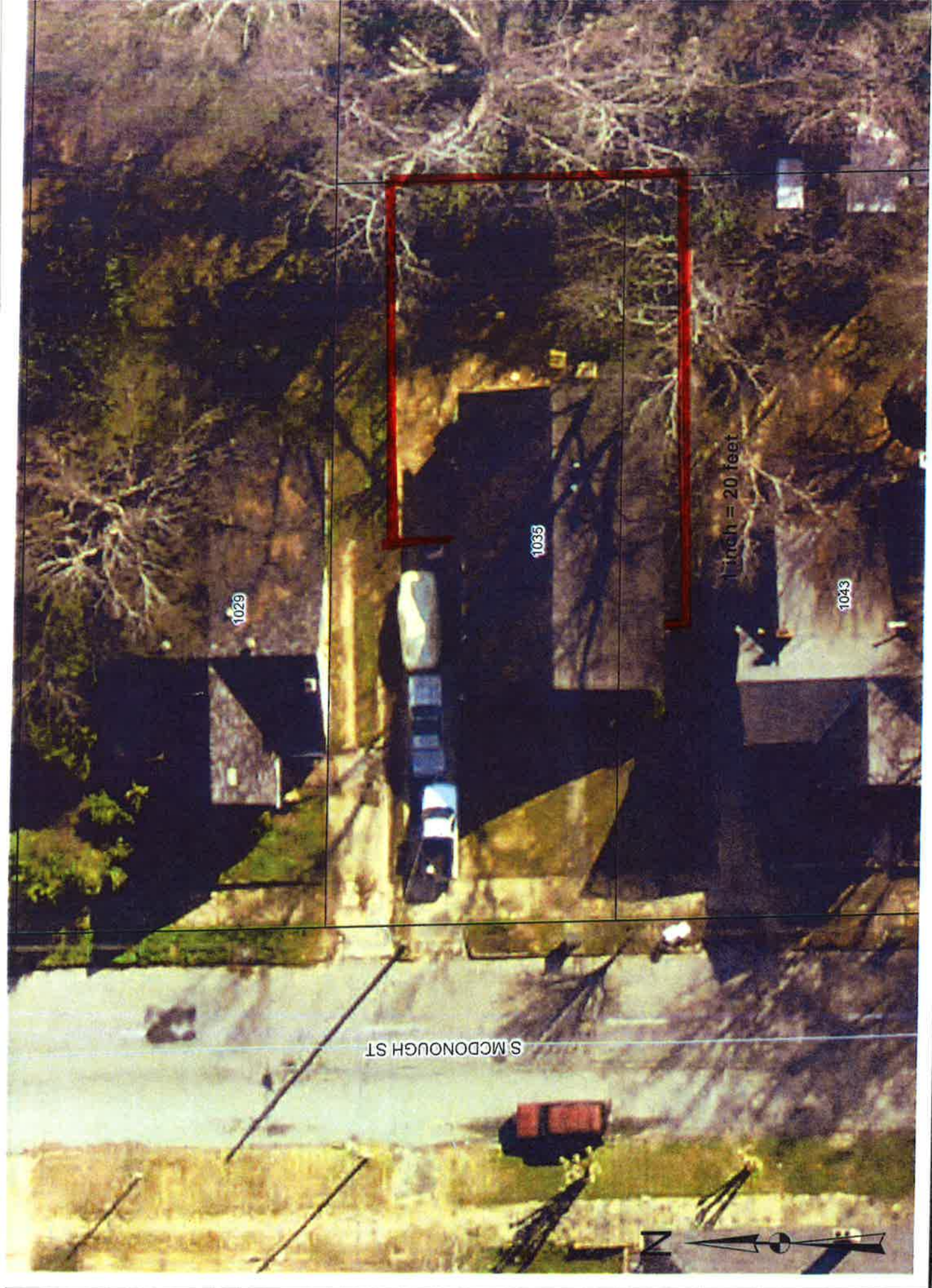
1035 South McDonough Street





1035 South McDonough Street

20



1 inch = 20 feet

**3. PRESENTED BY:** Russell Estes

**SUBJECT:** Request for approval of a rear yard fence for the property located at 1318 Woodward Avenue (Old Cloverdale).

**REMARKS:** The petitioner is requesting permission to build a 6' tall dog eared pressure treated privacy fence around the rear yard where illustrated.

**STANDARD OF REVIEW:** Section 15-127 of the City Code states that "The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

**DEPARTMENT COMMENTS**

- The Board has generally approved privacy fences for rear yards, especially when the return to enclose the yard is recessed from the front corner of the house.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_



1318 Woodward Avenue

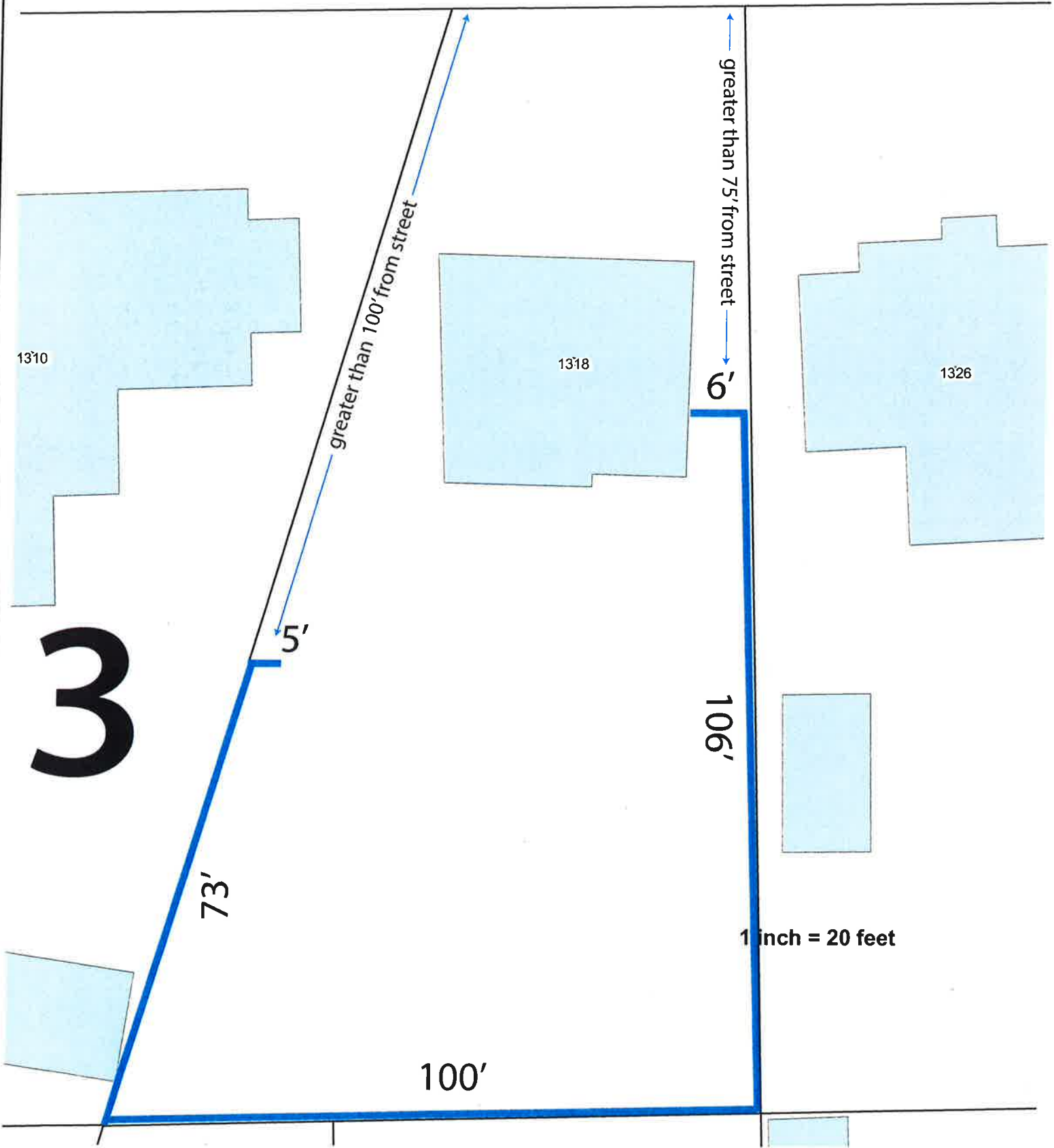
3A





37





1 inch = 20 feet



**4. PRESENTED BY:** Randy & Paula Clark

**SUBJECT:** Request for approval of garage doors for the property located at 1960/1964 Ridge Avenue (Old Cloverdale).

**REMARKS:** The petitioner is requesting permission to install two garage doors on an existing garage that currently has no doors. The proposed doors are 16 panel (no windows) steel doors in white.

**STANDARD OF REVIEW:** Section 15-127 of the City Code states that “The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

**DEPARTMENT COMMENTS**

- The Board has approved the use of steel doors on accessory structures.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_



1960/1964 Ridge Avenue



View from Thorn



Propose installing 2x garage doors.

1. Garage does not face Ridge avenue.
2. White toned - panelled - 1 layer raised panel steel construction.
3. Eg. Home depot Clopay Value Series 16 Panel Garage door. - traditional overhead door.

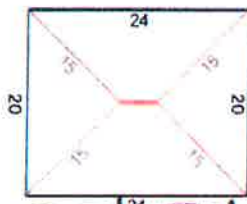
<http://m.homedepot.com/p/clopay-value-series-8-ft-x-7-ft-non-insulated-garage-door-HDB/100045413>. (or similar).

# LENGTH DIAGRAM

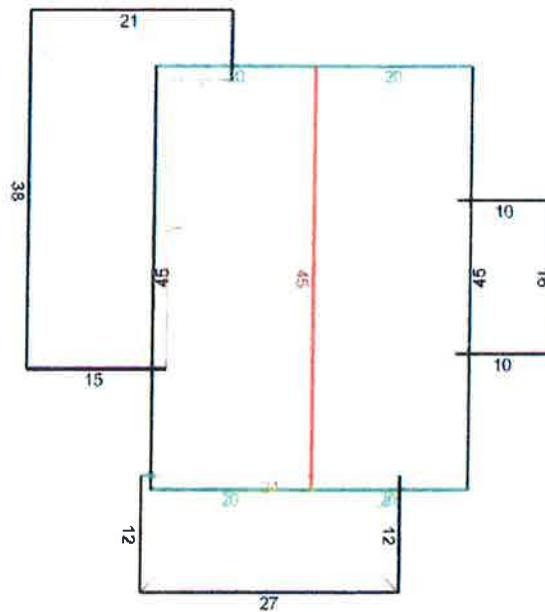
Total Line Lengths:

 Ridges = 50 ft  
 Hips = 70 ft

 Valleys = 0 ft  
 Rakes = 83 ft  
 Eaves = 351 ft

 Flashing = 77 ft  
 Step flashing = 5 ft  
 Eavelets = 0 ft


*Doors to be installed.*



*Ridge Ave*

*Thorn.*

**Note:** This diagram contains segment lengths (rounded to the nearest whole number) over 5 feet. In some cases, segment labels have been removed for readability. Plus signs preface some numbers to avoid confusion when rotated (e.g. +6 and +9).

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# IMAGES

*Thorn* . North Side

*Ridge*



*garage*

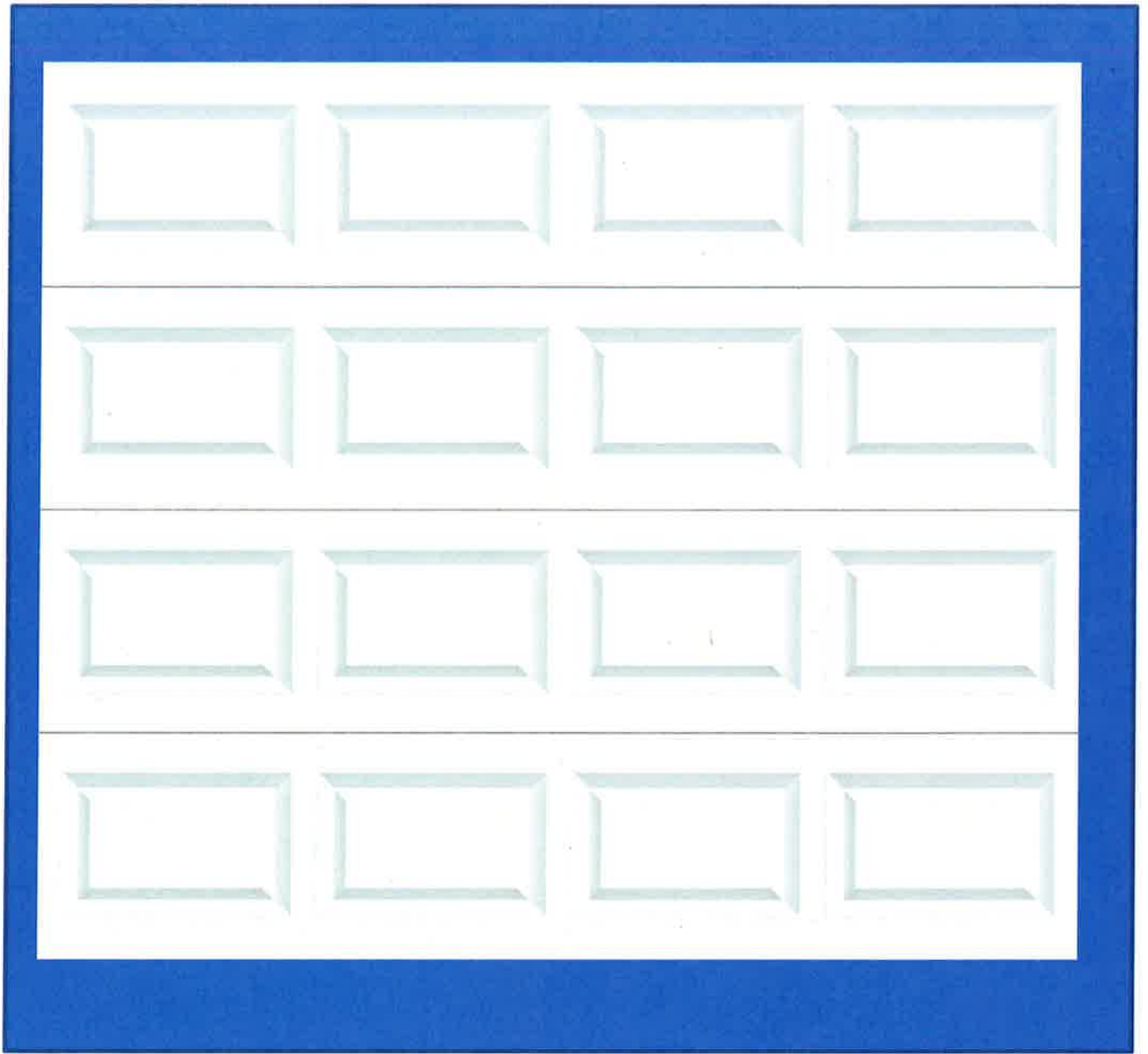
South Side



*garage*

*Ridge*

*Thorn* .



**5. PRESENTED BY:** Lat32 for First United Methodist Church

**SUBJECT:** Request for approval of demolition of a structure for the property located at 2444 West Cloverdale Park (Old Cloverdale).

**REMARKS:** The petitioner is requesting permission to demolish the main dwelling and all attachments at 2444 West Cloverdale Park. According to the petition, a previous owner relocated and while the property was vacant, indoor pipes burst and was not discovered for several weeks. With the water damage, mold, and other deferred maintenance issues, the owner found it was not feasible to do the work. The owner sold the property to First United Methodist Church, but prior to the deal transacting, the fixtures and appurtenances were stripped from the structure. The church acquired the property in August, 2015.

The proposed work includes temporary erosion and sedimentation control measures. Demolition and removal of the existing structure, foundation, unattached garage, breezeway, concrete patios, concrete walls, walkways, driveway, utility service (above and below ground) serving the subject property, undesirable trees less than 8" caliper and overgrown vegetation. The disturbed surface area shall be permeable, and graded in a manner that directs all storm water toward the street right of way or storm easements. The property will be incorporated into the master plan of First Methodist Church, currently the desired use of this property has not been determined.

**STANDARD OF REVIEW:** Section 15-127 of the City Code states that "The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

Further, "Before the board approves the proposed demolition of an existing building within a historic district, the board must find that the removal of such building will not be detrimental to the historic or architectural character of that historic district or the board must find that, after balancing the interest of the city in preserving the integrity of the district against the interests of the property owner in the use and benefits of his property, approval of the plans for demolition is required by consideration of reasonable justice and equity."

#### **DEPARTMENT COMMENTS**

- Staff has requested the owner consider retaining the concrete wall on Cottage Place to retain a visual barrier between the church property and those properties that back up to Cottage Place.
- No structural report was submitted.
- Per the design guidelines: "It is the policy of the ARB to require the submission of plans for any building or any other project which will be constructed on the site, before the issuance of a demolition permit. The applicant shall present evidence on the present condition of the building and the cost of rehabilitating and maintaining it. If the ARB determines the building to be of architectural or historic value it may delay demolition for 6



months while alternatives such as moving the building are explored.”

- The Board needs to consider if reintroducing grass is appropriate replacement in this setting.
- When demolition has been approved and the structure has been deemed significant or unusual, the ARB has required that measured drawings of the floorplan and elevations, as well as detailed photography be submitted prior to the demolition being permitted.
- If work is done as called for on the demolition plan with regard to trees, as long as the contractor pays attention the trees should be ok, especially if protection fencing is installed.
- Oversized site plans will be available at the meeting.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_



2444 West Cloverdale Park

SA



2444 West Cloverdale Park

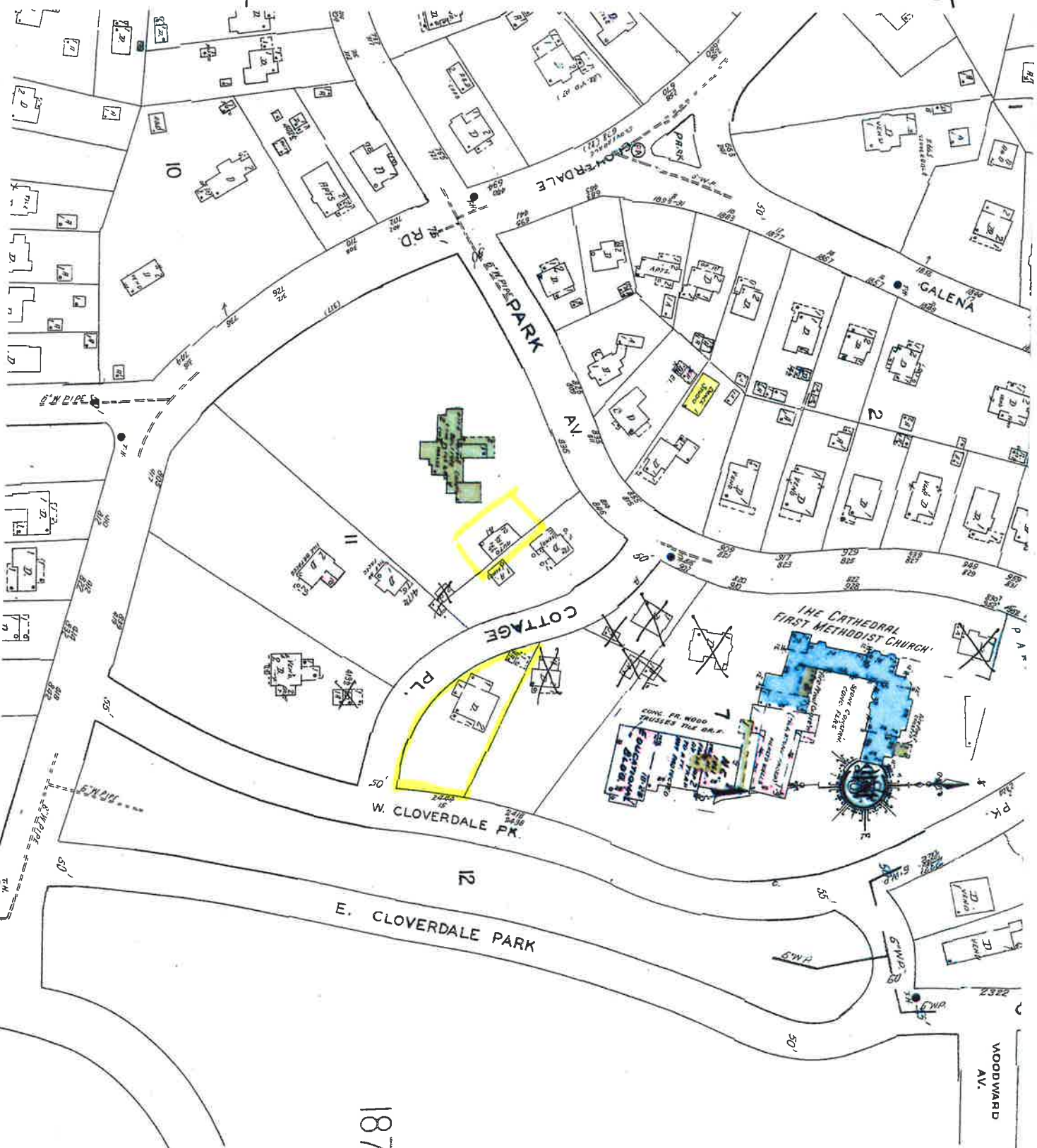
5B



2444 West Cloverdale Park

50

P 178 Sanborn Fire Insurance Map 1953 w/ Updates



187

50

# EXHIBIT "A"

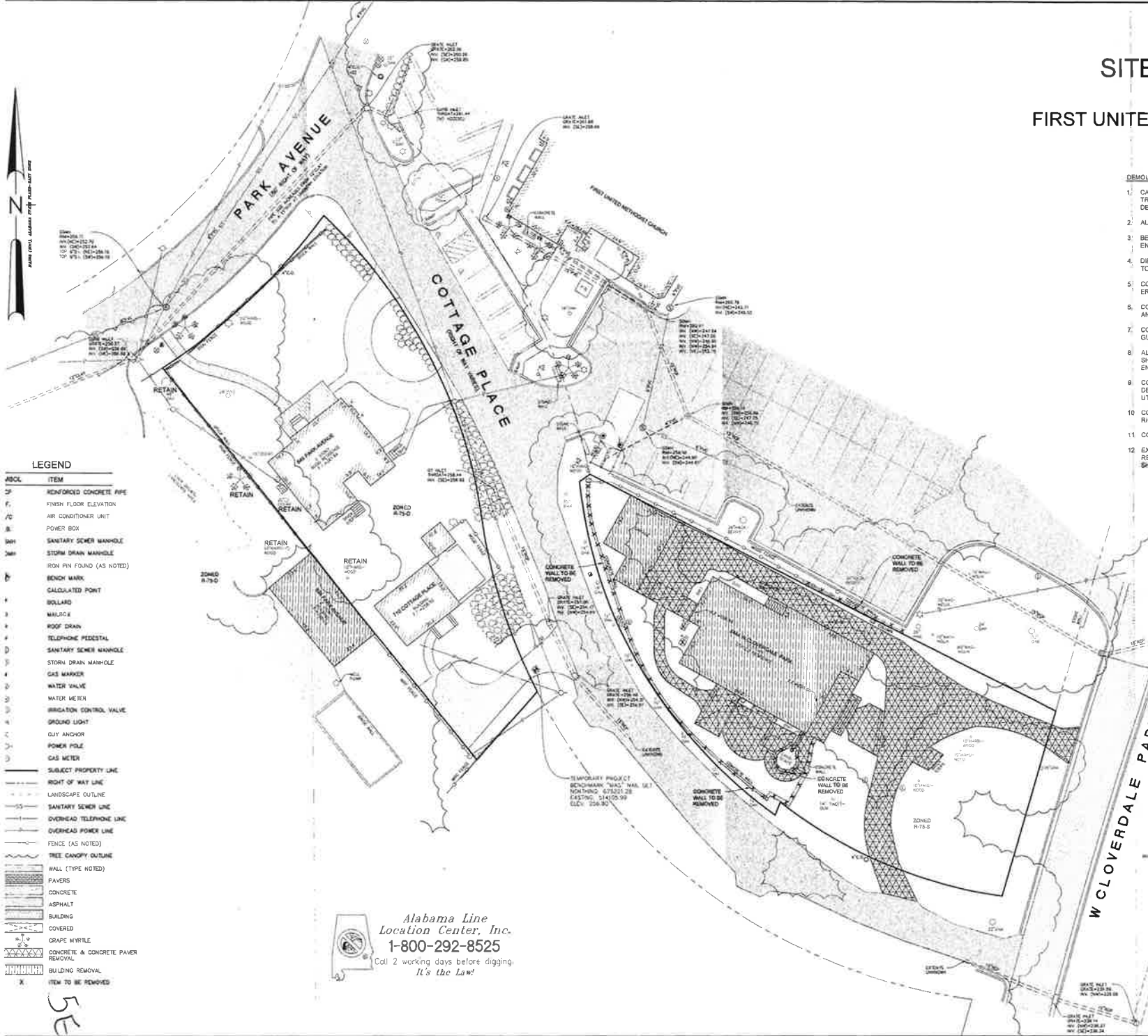
## SITE DEMOLITION PLAN

OF A PORTION OF  
FIRST UNITED METHODIST CHURCH PROPE  
MONTGOMERY, ALABAMA



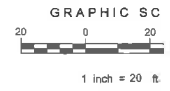
**LEGEND**

ABOL	ITEM
CP	REINFORCED CONCRETE PIPE
F	FINISH FLOOR ELEVATION
AC	AIR CONDITIONER UNIT
PB	POWER BOX
SM	SANITARY SEWER MANHOLE
SDM	STORM DRAIN MANHOLE
IF	IRON PIN FOUND (AS NOTED)
B	BENCH MARK
CP	CALCULATED POINT
BOLL	BOLLARD
M	MANSION
RD	ROOF DRAIN
TE	TELEPHONE PEDESTAL
SSM	SANITARY SEWER MANHOLE
SDM	STORM DRAIN MANHOLE
GM	GAS MARKER
WV	WATER VALVE
WM	WATER METER
ICV	IRRIGATION CONTROL VALVE
GL	GROUND LIGHT
GA	GLY ANCHOR
PP	POWER POLE
GM	GAS METER
---	SUBJECT PROPERTY LINE
---	RIGHT OF WAY LINE
---	LANDSCAPE OUTLINE
---	SANITARY SEWER LINE
---	OVERHEAD TELEPHONE LINE
---	OVERHEAD POWER LINE
---	FENCE (AS NOTED)
---	TREE CANOPY OUTLINE
---	WALL (TYPE NOTED)
---	PAVERS
---	CONCRETE
---	ASPHALT
---	BUILDING
---	COVERED
---	GRAPE MYRTLE
---	CONCRETE & CONCRETE PAVEMENT REMOVAL
---	BUILDING REMOVAL
X	ITEM TO BE REMOVED



- DEMOLITION NOTES**
- 1) CAUTION CONTRACTOR TO USE EXTREME MEASURES IN ORDER TO PROTECT ALL TREES OVER 4" DIAMETER SHOULD ONE OF THESE TREES BE IN CONFLICT WITH DEMOLITION, CONTRACTOR SHALL NOTIFY OWNER PRIOR TO REMOVING THE TREE
  - 2) ALL YARD AND LANDSCAPE IRRIGATION SYSTEMS ARE TO BE REMOVED
  - 3) BEFORE WORKING BEGINS WITHIN PUBLIC RIGHT OF WAY, CONTACT THE CITY ENGINEERING CHIEF INSPECTOR 334-625-2803 OR 334-354-6181
  - 4) DIRECT ALL STORM WATER, INCLUDING ROOF DRAINS TO STREET RIGHT OF WAY, OR TO DRAINAGE EASEMENT.
  - 5) CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ADEQUATE EROSION/SEDIMENTATION CONTROL DURING ALL PHASES OF PROJECT.
  - 6) CONTRACTOR IS RESPONSIBLE FOR KEEPING MUD AND DEBRIS OFF CITY STREETS AND RIGHT OF WAY CLEANUP IS REQUIRED DAILY.
  - 7) CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF SIDEWALK AND/OR CURB AND GUTTER DAMAGED WHILE WORK IS BEING PERFORMED
  - 8) ALL AREAS OF PUBLIC RIGHT OF WAY WHICH ARE DISTURBED DURING DEMOLITION SHALL BE REPLACED WITH SOG, ASPHALT, OR CONCRETE, AS DIRECTED BY CITY ENGINEERING DEPT.
  - 9) CONTRACTOR SHALL LOCATE AND REMOVE UNDERGROUND UTILITIES WITHIN DEMOLITION LIMITS, WHICH SERVE BUILDINGS TO BE DEMOLISHED. DO NOT REMOVE UTILITIES WHICH SERVE ADJOINING PROPERTIES
  - 10) CONTRACTOR TO COORDINATE WITH UTILITY COMPANY TO DISCONNECT POWER AT RIGHT-OF-WAY. ALL POLES AND WIRE ON SITE TO BE REMOVED BY CONTRACTOR.
  - 11) CONTRACTORS SHALL REMOVE ALL FENCES WITHIN DEMOLITION LIMITS
  - 12) EXISTING CURB, SIDEWALK AND PAVING OUTSIDE LIMITS OF DEMOLITION LIMITS SHALL REMAIN IN PLACE. IF DEMOLITION IS REQUIRED TO REMOVE UTILITIES, CONTRACTOR SHALL PATCH SURFACE WITH LIKE MATERIAL.

Alabama Line  
Location Center, Inc.  
1-800-292-8525  
Call 2 working days before digging.  
*It's the Law!*



**PROFESSIONAL SEAL**  
LCS 152  
REGISTERED PROFESSIONAL SURVEYOR

312 GATOR SUITE 101 MONTGOMERY 36104  
(334) 271-7777 www.LCS-152.com

DRAWN: EWA	CHECKED: WSM	PROJECT NO: 1751
DATE: 03/02/17	DATE: 03/02/17	REFERENCE DATE: VERTICAL: N/A

SE

**EXHIBIT "B"**  
**AERIAL VIEW**  
 OF A PORTION OF  
**FIRST UNITED METHODIST CHURCH PROPERTY**  
 MONTGOMERY, ALABAMA



**DEMOLITION NOTES**

- 1 CAUTION CONTRACTOR TO USE EXTREME MEASURES IN ORDER TO PROTECT ALL TREES OVER 4" DIAMETER SHOULD ONE OF THESE TREES BE IN CONTACT WITH DEMOLITION, CONTRACTOR SHALL NOTIFY OWNER PRIOR TO REMOVING THE TREE
- 2 ALL YARD AND LANDSCAPE IRRIGATION SYSTEMS ARE TO BE REMOVED
- 3 BEFORE WORKING BEGINS WITHIN PUBLIC RIGHT OF WAY CONTACT THE CITY ENGINEERING CHIEF INSPECTOR 334-835-2823 OR 334-364-8181
- 4 DIRECT ALL STORM WATER, INCLUDING ROOF DRAINS TO STREET RIGHT OF WAY OR TO DRAINAGE EASEMENT
- 5 CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ADEQUATE EROSION/SEDIMENTATION CONTROL DURING ALL PHASES OF PROJECT
- 6 CONTRACTOR IS RESPONSIBLE FOR KEEPING MUD AND DEBRIS OFF CITY STREETS AND RIGHT OF WAY CLEANUP IS REQUIRED DAILY
- 7 CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF SIDEWALK AND/OR CURB AND GUTTER DAMAGED WHILE WORK IS BEING PERFORMED
- 8 ALL AREAS OF PUBLIC RIGHT OF WAY WHICH ARE DISTURBED DURING DEMOLITION SHALL BE REPLACED WITH SOIL, ASPHALT OR CONCRETE, AS DIRECTED BY CITY ENGINEERING DEPT.
- 9 CONTRACTOR SHALL LOCATE AND REMOVE UNDERGROUND UTILITIES WITHIN DEMOLITION LIMITS, WHICH SERVE BUILDINGS TO BE DEMOLISHED. DO NOT REMOVE UTILITIES WHICH SERVE ADJOINING PROPERTIES
- 10 CONTRACTOR TO COORDINATE WITH UTILITY COMPANY TO DISCONNECT POWER AT RIGHT-OF-WAY. ALL POLES AND WIRE ON SITE TO BE REMOVED BY CONTRACTOR
- 11 CONTRACTORS SHALL REMOVE ALL FENCES WITHIN DEMOLITION LIMITS
- 12 EXISTING CURB, SIDEWALK AND PAVED OUTSIDE LIMITS OF DEMOLITION LIMITS SHALL REMAIN IN PLACE. IF DEMOLITION IS REQUIRED TO REMOVE UTILITIES, CONTRACTOR SHALL PATCH SURFACES WITH LIKE MATERIAL.

**LEGEND**

SYMBOL	ITEM
10'	10' TYPICAL CONC. DIM.
12'	12' TYPICAL CONC. DIM.
15'	15' TYPICAL CONC. DIM.
18'	18' TYPICAL CONC. DIM.
24"	24" TYPICAL CONC. DIM.
30"	30" TYPICAL CONC. DIM.
36"	36" TYPICAL CONC. DIM.
42"	42" TYPICAL CONC. DIM.
48"	48" TYPICAL CONC. DIM.
54"	54" TYPICAL CONC. DIM.
60"	60" TYPICAL CONC. DIM.
66"	66" TYPICAL CONC. DIM.
72"	72" TYPICAL CONC. DIM.
78"	78" TYPICAL CONC. DIM.
84"	84" TYPICAL CONC. DIM.
90"	90" TYPICAL CONC. DIM.
96"	96" TYPICAL CONC. DIM.
102"	102" TYPICAL CONC. DIM.
108"	108" TYPICAL CONC. DIM.
114"	114" TYPICAL CONC. DIM.
120"	120" TYPICAL CONC. DIM.
126"	126" TYPICAL CONC. DIM.
132"	132" TYPICAL CONC. DIM.
138"	138" TYPICAL CONC. DIM.
144"	144" TYPICAL CONC. DIM.
150"	150" TYPICAL CONC. DIM.
156"	156" TYPICAL CONC. DIM.
162"	162" TYPICAL CONC. DIM.
168"	168" TYPICAL CONC. DIM.
174"	174" TYPICAL CONC. DIM.
180"	180" TYPICAL CONC. DIM.
186"	186" TYPICAL CONC. DIM.
192"	192" TYPICAL CONC. DIM.
198"	198" TYPICAL CONC. DIM.
204"	204" TYPICAL CONC. DIM.
210"	210" TYPICAL CONC. DIM.
216"	216" TYPICAL CONC. DIM.
222"	222" TYPICAL CONC. DIM.
228"	228" TYPICAL CONC. DIM.
234"	234" TYPICAL CONC. DIM.
240"	240" TYPICAL CONC. DIM.
246"	246" TYPICAL CONC. DIM.
252"	252" TYPICAL CONC. DIM.
258"	258" TYPICAL CONC. DIM.
264"	264" TYPICAL CONC. DIM.
270"	270" TYPICAL CONC. DIM.
276"	276" TYPICAL CONC. DIM.
282"	282" TYPICAL CONC. DIM.
288"	288" TYPICAL CONC. DIM.
294"	294" TYPICAL CONC. DIM.
300"	300" TYPICAL CONC. DIM.
306"	306" TYPICAL CONC. DIM.
312"	312" TYPICAL CONC. DIM.
318"	318" TYPICAL CONC. DIM.
324"	324" TYPICAL CONC. DIM.
330"	330" TYPICAL CONC. DIM.
336"	336" TYPICAL CONC. DIM.
342"	342" TYPICAL CONC. DIM.
348"	348" TYPICAL CONC. DIM.
354"	354" TYPICAL CONC. DIM.
360"	360" TYPICAL CONC. DIM.
366"	366" TYPICAL CONC. DIM.
372"	372" TYPICAL CONC. DIM.
378"	378" TYPICAL CONC. DIM.
384"	384" TYPICAL CONC. DIM.
390"	390" TYPICAL CONC. DIM.
396"	396" TYPICAL CONC. DIM.
402"	402" TYPICAL CONC. DIM.
408"	408" TYPICAL CONC. DIM.
414"	414" TYPICAL CONC. DIM.
420"	420" TYPICAL CONC. DIM.
426"	426" TYPICAL CONC. DIM.
432"	432" TYPICAL CONC. DIM.
438"	438" TYPICAL CONC. DIM.
444"	444" TYPICAL CONC. DIM.
450"	450" TYPICAL CONC. DIM.
456"	456" TYPICAL CONC. DIM.
462"	462" TYPICAL CONC. DIM.
468"	468" TYPICAL CONC. DIM.
474"	474" TYPICAL CONC. DIM.
480"	480" TYPICAL CONC. DIM.
486"	486" TYPICAL CONC. DIM.
492"	492" TYPICAL CONC. DIM.
498"	498" TYPICAL CONC. DIM.
504"	504" TYPICAL CONC. DIM.
510"	510" TYPICAL CONC. DIM.
516"	516" TYPICAL CONC. DIM.
522"	522" TYPICAL CONC. DIM.
528"	528" TYPICAL CONC. DIM.
534"	534" TYPICAL CONC. DIM.
540"	540" TYPICAL CONC. DIM.
546"	546" TYPICAL CONC. DIM.
552"	552" TYPICAL CONC. DIM.
558"	558" TYPICAL CONC. DIM.
564"	564" TYPICAL CONC. DIM.
570"	570" TYPICAL CONC. DIM.
576"	576" TYPICAL CONC. DIM.
582"	582" TYPICAL CONC. DIM.
588"	588" TYPICAL CONC. DIM.
594"	594" TYPICAL CONC. DIM.
600"	600" TYPICAL CONC. DIM.



313 GILFORD STREET  
 SUITE 101  
 MONTGOMERY, ALABAMA  
 36104  
 (205) 271-1122  
 WWW.LARSEN.COM

FROM	PROJECT	PROJECT NO.
BY	WOM	1701
DATE	DATE	DATE
REVISION	REVISION	REVISION

56

Demolition Application  
Attachment No. 1

**Current Condition of Site:**

Poor / unsafe condition.

The previous owner of the property located at 2444 West Cloverdale Park relocated out of town, and left the home vacant and unattended. While unattended, a hard winter freeze caused the indoor water pipes to burst, causing significant flooding that was not discovered for several weeks. When discovered, the previous owner attempted to make repairs, but because of mold, rotten wood and years of neglect soon realized the repairs required to return the structure to an acceptable, and safe condition were not economically feasible. The previous owner then offered to sell the property to First United Methodist Church (F.U.M.C.). Once the purchase amount was agreed upon between the previous owner and F.U.M.C, the fixtures and appurtenances inside the structure were mysteriously stripped from the structure. What remains is a shell of structure that is riddled with decay, mold, and exposed plumbing, wiring, and ventilation ducts.

**Description of Proposed Work:**

Implementation of temporary erosion and sedimentation control measures. Demolition and removal of existing structure, foundation, unattached garage, breezeway, concrete patios, concrete walls, walkways, driveway, utility services (above and below ground) serving the subject property, undesirable trees less than 8" caliper, along with overgrown vegetation. Once the demolition is complete, and the debris is removed, the disturbed surface area shall be permeable, and graded in a manner that directs all storm water to street right of way or storm drain easements. The subject property will be incorporated into the master plan of First Methodist Church. Currently, the desired use of this parcel has not been determined.





**Street view from West Cloverdale Park**



**Front of house**



Rear Breezeway



Rear of house looking south toward Cottage Place (behind wall)



**Driveway, looking east toward West Cloverdale Park**



**Looking east, toward Cloverdale Park**



Side of house, looking southeast



Garage / out building behind house, looking West

SK



**Southerly side of house and wall, looking northerly from Cottage Place**



**Wall along southerly side of property, looking east of Cottage Place**



**Adjacent house (710 Cottage Place), looking south from Cottage Place**



**Adjacent house (805 Cloverdale Road), looking south from Cottage Place**

SM



**Adjacent house (839 Cloverdale Road), looking south from Cottage Place**



**Looking west along Cottage Place, from West Cloverdale Park**

5N



**First Methodist Church south parking lot entrance, from West Cloverdale Park, looking west**



**Exterior wall**





**Rotten wood on exterior of structure**



**Extensive water damage with mold throughout structure**



**Interior fixtures and appurtenances have been removed. Extensive water damage with mold throughout structure.**



**Interior fixtures and appurtenances have been removed. Extensive water damage with mold throughout structure.**



**Interior fixtures and appurtenances have been removed. Extensive water damage with mold throughout structure.**



**Interior fixtures and appurtenances have been removed. Extensive water damage with mold throughout structure.**



Aerial view looking northwesterly

**6. PRESENTED BY:** Lat32 for First United Methodist Church

**SUBJECT:** Request for approval of demolition of a structure for the property located at 836 Park Avenue (Old Cloverdale).

**REMARKS:** The petitioner is requesting permission to demolish a two story carriage house located behind a circa 1950 house at 836 Park Avenue. According to the application, the structure is in poor condition and unsafe to occupy. Neglect of maintenance has resulting in structural damage, including termite damage (termite report being prepared), mold, rotted wood, and shifting walls and ceilings. The church acquired the property in August, 2015.

The proposed work includes temporary erosion and sedimentation control measures. Demolition and removal of the existing structure, foundation, unattached garage, breezeway, concrete patios, concrete walls, walkways, driveway, utility service (above and below ground) serving the subject property, undesirable trees less than 8" caliper and overgrown vegetation. The disturbed surface area shall be permeable, and graded in a manner that directs all storm water toward the street right of way or storm easements. The property will be incorporated into the master plan of First Methodist Church, currently the desired use of this property has not been determined.

**STANDARD OF REVIEW:** Section 15-127 of the City Code states that "The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

Further, "Before the board approves the proposed demolition of an existing building within a historic district, the board must find that the removal of such building will not be detrimental to the historic or architectural character of that historic district or the board must find that, after balancing the interest of the city in preserving the integrity of the district against the interests of the property owner in the use and benefits of his property, approval of the plans for demolition is required by consideration of reasonable justice and equity."

**DEPARTMENT COMMENTS**

- No structural report was submitted.
- Per the design guidelines: "It is the policy of the ARB to require the submission of plans for any building or any other project which will be constructed on the site, before the issuance of a demolition permit. The applicant shall present evidence on the present condition of the building and the cost of rehabilitating and maintaining it. If the ARB determines the building to be of architectural or historic value it may delay demolition for 6 months while alternatives such as moving the building are explored."
- The Board needs to consider if reintroducing grass is appropriate replacement in this setting.
- When demolition has been approved and the structure has been deemed significant or unusual, the ARB has required that measured drawings of the floorplan and elevations, as well as detailed photography be submitted prior to the demolition being permitted.

- If work is done as called for on the demolition plan with regard to trees, as long as the contractor pays attention the trees should be ok, especially if protection fencing is installed.
- Oversized site plans will be available at the meeting.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_



View from Park Ave





836 Park Avenue

6B



P 178 Sanborn Fire Insurance Map 1953 w/ Updates



187

6c

# EXHIBIT "A"

## SITE DEMOLITION PLAN

OF A PORTION OF  
FIRST UNITED METHODIST CHURCH PROPE  
MONTGOMERY, ALABAMA

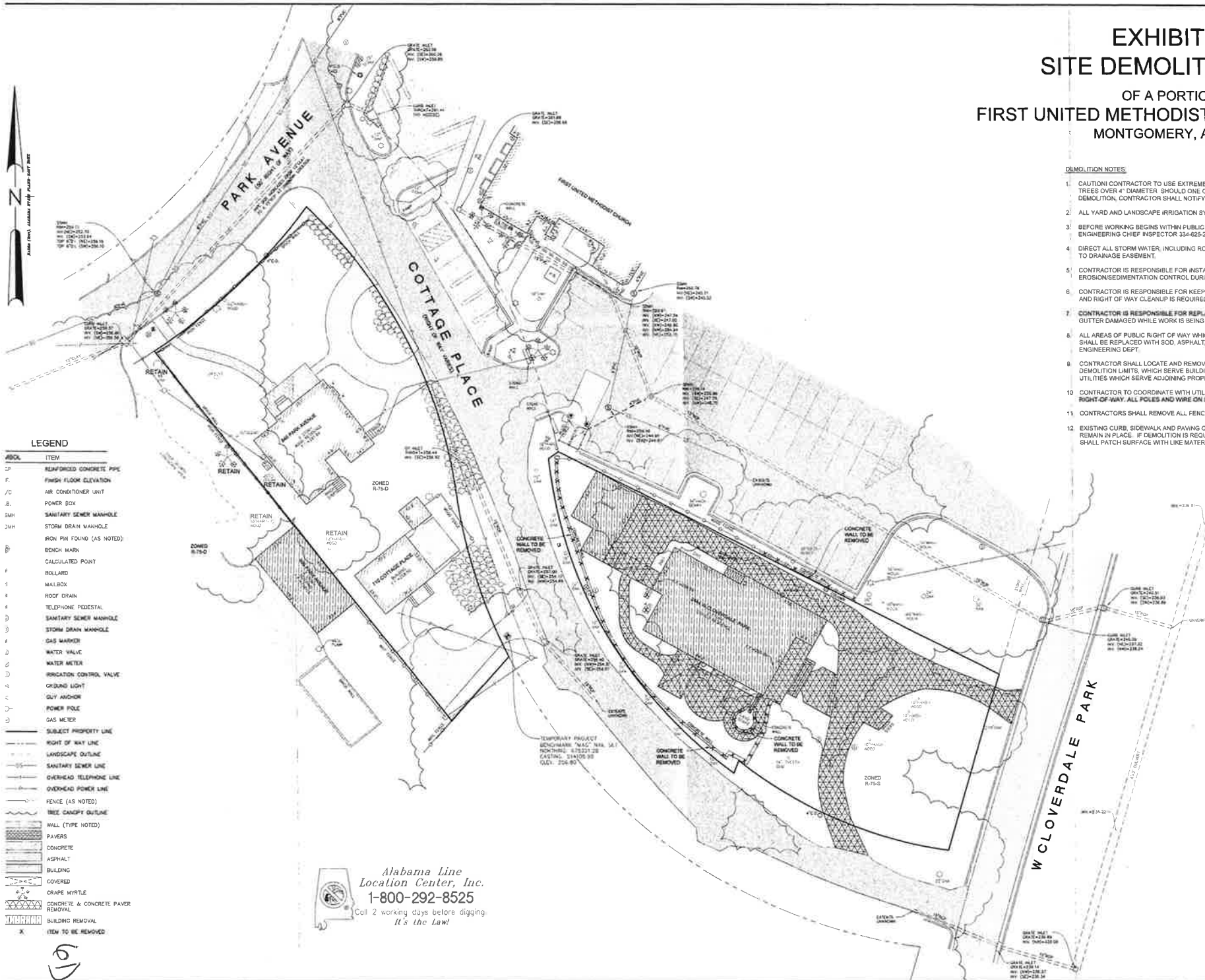
**DEMOLITION NOTES**

1. CAUTION! CONTRACTOR TO USE EXTREME MEASURES IN ORDER TO PROTECT ALL TREES OVER 4" DIAMETER. SHOULD ONE OF THESE TREES BE IN CONFLICT WITH DEMOLITION, CONTRACTOR SHALL NOTIFY OWNER PRIOR TO REMOVING THE TREE.
2. ALL YARD AND LANDSCAPE IRRIGATION SYSTEMS ARE TO BE REMOVED.
3. BEFORE WORKING BEGINS WITHIN PUBLIC RIGHT OF WAY, CONTACT THE CITY ENGINEERING CHIEF INSPECTOR 334-625-2803 OR 334-354-8191.
4. DIRECT ALL STORM WATER, INCLUDING ROOF DRAINS TO STREET RIGHT OF WAY, OR TO DRAINAGE EASEMENT.
5. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ADEQUATE EROSION/SEDIMENTATION CONTROL DURING ALL PHASES OF PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR KEEPING MUD AND DEBRIS OFF CITY STREETS AND RIGHT OF WAY. CLEANUP IS REQUIRED DAILY.
7. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF SIDEWALK AND/OR CURB AND GUTTER DAMAGED WHILE WORK IS BEING PERFORMED.
8. ALL AREAS OF PUBLIC RIGHT OF WAY WHICH ARE DISTURBED DURING DEMOLITION, SHALL BE REPLACED WITH SOG, ASPHALT, OR CONCRETE, AS DIRECTED BY CITY ENGINEERING DEPT.
9. CONTRACTOR SHALL LOCATE AND REMOVE UNDERGROUND UTILITIES WITHIN DEMOLITION LIMITS, WHICH SERVE BUILDINGS TO BE DEMOLISHED. DO NOT REMOVE UTILITIES WHICH SERVE ADJOINING PROPERTIES.
10. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY TO DISCONNECT POWER AT RIGHT-OF-WAY. ALL POLES AND WIRE ON SITE TO BE REMOVED BY CONTRACTOR.
11. CONTRACTORS SHALL REMOVE ALL FENCES WITHIN DEMOLITION LIMITS.
12. EXISTING CURB, SIDEWALK AND PAVING OUTSIDE LIMITS OF DEMOLITION LIMITS SHALL REMAIN IN PLACE. IF DEMOLITION IS REQUIRED TO REMOVE UTILITIES, CONTRACTOR SHALL PATCH SURFACE WITH LIKE MATERIAL.

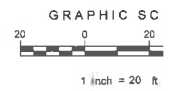


**LEGEND**

#/BOX	ITEM
CP	REINFORCED CONCRETE PAVE
F.	FRESH FLOOR ELEVATION
/C	AIR CONDITIONER UNIT
B.	POWER BOX
S	SANITARY SEWER MANHOLE
SMH	STORM DRAIN MANHOLE
IP	IRON PIN FOUND (AS NOTED)
B.	BENCH MARK
CP	CALCULATED POINT
B.	BOLLARD
M.	MAILBOX
R.	ROOF DRAIN
T.	TELEPHONE PEDESTAL
S	SANITARY SEWER MANHOLE
SD	STORM DRAIN MANHOLE
G.	GAS MANHOLE
V.	WATER VALVE
M.	WATER METER
I.	IRRIGATION CONTROL VALVE
L.	GROUND LIGHT
A.	GUY ANCHOR
P.	POWER POLE
G.	GAS METER
S	SUBJECT PROPERTY LINE
R	RIGHT OF WAY LINE
L	LANDSCAPE OUTLINE
S	SANITARY SEWER LINE
T	OVERHEAD TELEPHONE LINE
P	OVERHEAD POWER LINE
F	FENCE (AS NOTED)
T	TREE CANOPY OUTLINE
W	WALL (TYPE NOTED)
P	PAVERS
C	CONCRETE
A	ASPHALT
B	BUILDING
C	COVERED
M	ORANGE MYRTLE
X	CONCRETE & CONCRETE PAVER REMOVAL
X	BUILDING REMOVAL
X	ITEM TO BE REMOVED



Alabama Line  
Location Center, Inc.  
1-800-292-8525  
Call 2 working days before digging  
*It's the Law!*



312 CAYTON  
SUITE 101  
MONTGOMERY  
36104

(334) 271-7  
www.Lal-35

DRAWN Edwa	CHECKED WGM	PROJECT NO 17871	DATE 03/05/2017
EREW CHEF SST	DATE 03/05/2017	REFERENCE DWT VERTICAL - REV05	

**EXHIBIT "B"**  
**AERIAL VIEW**  
OF A PORTION OF  
**FIRST UNITED METHODIST CHURCH PROPERTY**  
**MONTGOMERY, ALABAMA**

**DEMOLITION NOTES**

- 1 CAUTION- CONTRACTOR TO USE EXTREME MEASURES IN ORDER TO PROTECT ALL TREES OVER 4" DIAMETER. SHOULD ONE OF THESE TREES BE IN CONFLICT WITH DEMOLITION, CONTRACTOR SHALL NOTIFY OWNER PRIOR TO REMOVING THE TREE
- 2 ALL YARD AND LANDSCAPE IRRIGATION SYSTEMS ARE TO BE REMOVED
- 3 BEFORE WORKING BEGINS WITHIN PUBLIC RIGHT OF WAY, CONTACT THE CITY ENGINEERING CHIEF INSPECTOR 54-822-2822 OR 334-264-4544
- 4 DIRECT ALL STORM WATER INCLUDING ROOF DRAINS TO STREET RIGHT OF WAY OR TO DRAINAGE BASIN
- 5 CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ADEQUATE EROSION/SEDIMENTATION CONTROL DURING ALL PHASES OF PROJECT
- 6 CONTRACTOR IS RESPONSIBLE FOR KEEPING MUD AND DEBRIS OFF CITY STREETS AND RIGHT OF WAY. CLEANUP IS REQUIRED DAILY
- 7 CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF SIDEWALK AND/OR CURB AND GUTTER DAMAGED WHILE WORK IS BEING PERFORMED
- 8 ALL AREAS OF PUBLIC RIGHT OF WAY WHICH ARE DISTURBED DURING DEMOLITION SHALL BE REPLACED WITH 100% ASPHALT OR CONCRETE AS DIRECTED BY CITY ENGINEERING DEPT.
- 9 CONTRACTOR SHALL LOCATE AND REMOVE UNDERGROUND UTILITIES WITHIN DEMOLITION LIMITS WHICH SERVE BUILDINGS TO BE DEMOLISHED. DO NOT REMOVE UTILITIES WHICH SERVE ADJOINING PROPERTIES
- 10 CONTRACTOR TO COORDINATE WITH UTILITY COMPANY TO DISCONNECT POWER AT RIGHT OF WAY. ALL POLES AND WIRING ON SITE TO BE REMOVED BY CONTRACTOR
- 11 CONTRACTORS SHALL REMOVE ALL FENCES WITHIN DEMOLITION LIMITS
- 12 EXISTING CURB, SIDEWALK AND PAVING OUTSIDE LIMITS OF DEMOLITION LIMITS SHALL REMAIN IN PLACE. IF DEMOLITION IS REQUIRED TO REMOVE UTILITIES, CONTRACTOR SHALL PATCH SURFACE WITH LIKE MATERIAL



**LEGEND**

SYMBOL	ITEM
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213 GATSON STREET  
SUITE 101  
MONTGOMERY, ALABAMA  
36104

256.331.7173  
www.Lof32.com

OWNER: FIRST UNITED METHODIST CHURCH  
PROJECT NO: 2015001  
DATE: 10/20/2015

bE

## **Demolition Application Attachment No. 1**

### **Current Condition of Site:**

The structure is in poor condition and unsafe to occupy. Neglect of maintenance has resulted in structure damage, including termite damage (termite report being prepared), mold, rotted wood, along with shifting walls and ceilings. Please see photographs shown in Exhibit "C".

### **Description of Proposed Work:**

Implementation of temporary erosion and sedimentation control measures. Demolition and removal of existing structure, foundation, concrete patios, utility services (above and below ground) serving the subject property, undesirable trees less than 8" caliper, along with overgrown vegetation. Once the demolition is complete, and the debris is removed, the disturbed surface area shall remain permeable, and graded in a manner that directs all storm water to street right of way or storm drain easements. The subject property will be incorporated into the master plan of First Methodist Church. Currently, the desired use of this parcel has not been determined.

**Exhibit "C", photographs of subject structure**



**Front (south) side of structure, looking north**



**Northeasterly corner of subject structure (left), and adjoining structure (right), looking west toward Park Avenue**



**West side of subject structure looking south**

66



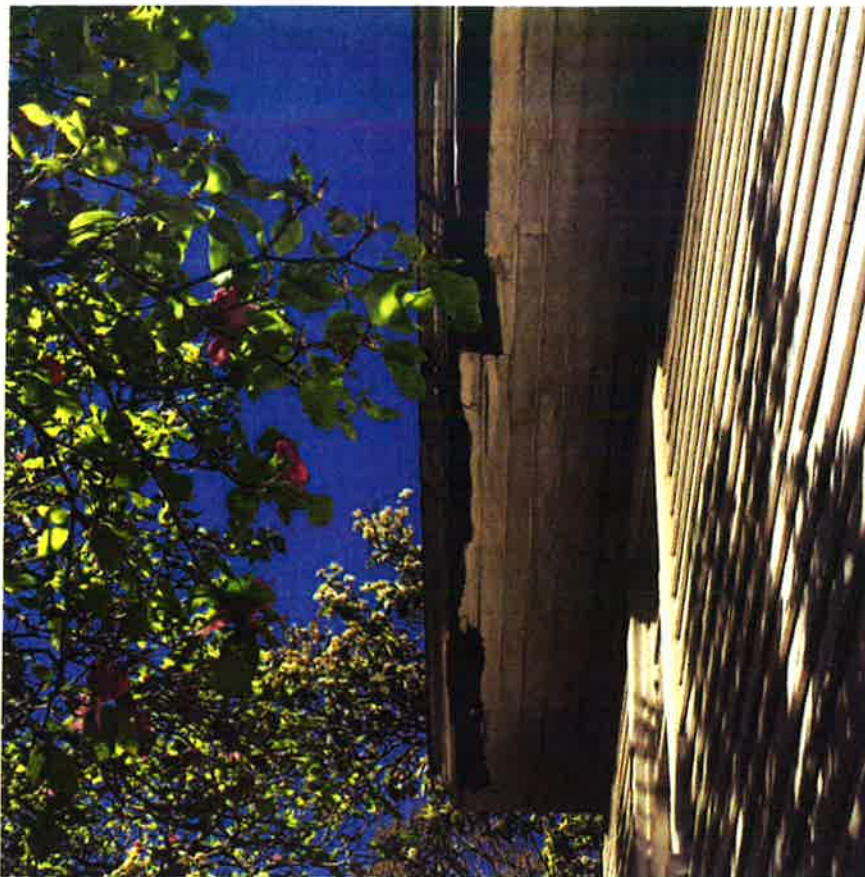
**Southwest corner of subject structure, looking easterly**



**Southeast corner of subject structure, looking northerly**



**Looking southeasterly from adjoining structure, subject structure is the distance beyond tree**



Wooden eaves are rotten



Wooden eaves are rotten



Cracks throughout interior ceiling

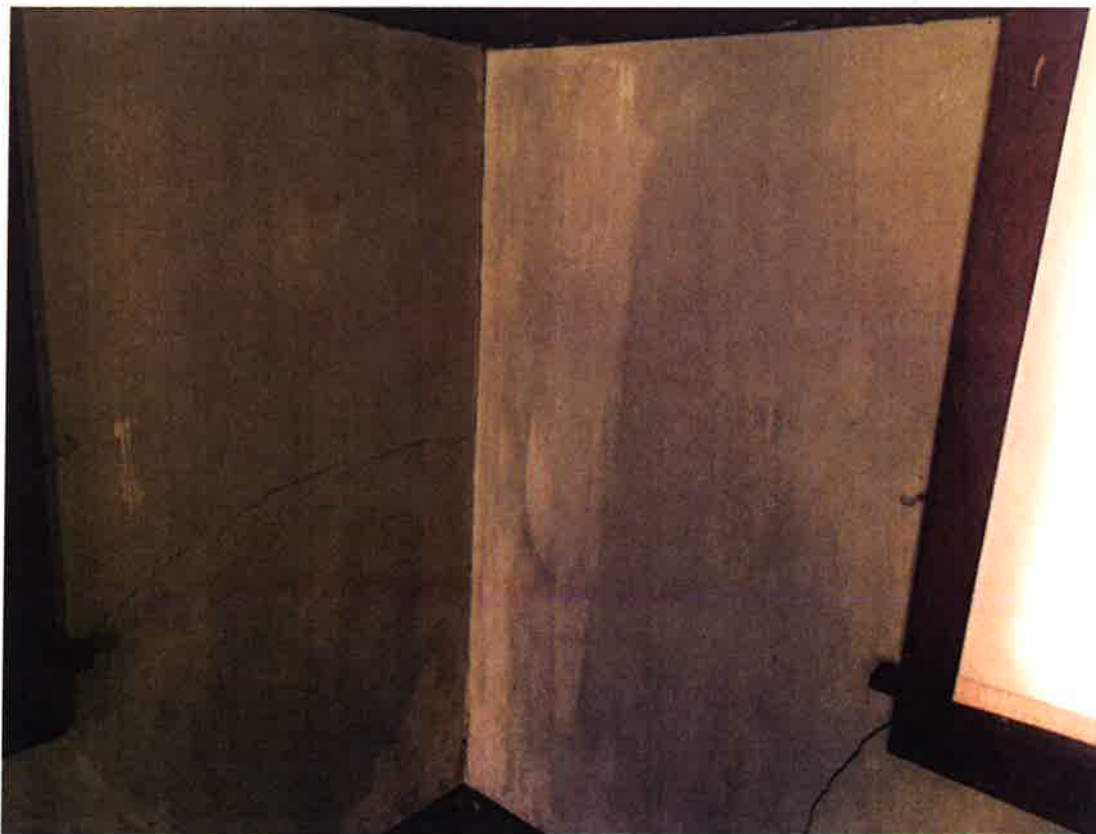


Cracks throughout interior ceiling





Cracks throughout interior ceiling



Cracks in interior walls caused by shifting



Cracks in interior walls and ceilings caused by shifting



Aerial view looking northwesterly