

# PLANNING COMMISSION MEETING AGENDA

**July 25, 2024 – 5:00 p.m.**

Council Auditorium, 103 N. Perry St., Montgomery, AL

## **MEMBERS**

Garrett Smith, Chairman

Leslie Stone, Vice-Chairman

Ann Clemons

Frank Cook

Reggie Dunn

Buddy Hardwich

Reginald Hawkins

Crews Reaves

James Reid

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**Warren Adams**  
**Executive Secretary**



CITY OF *MONTGOMERY*, ALABAMA

- I. Chairman's Message
- II. Approval of Minutes from the June 27, 2024 meeting

**July 25, 2024**

<b><u>Item</u></b>	<b><u>File No.</u></b>	<b><u>Petitioner</u></b>	<b><u>Location</u></b>	<b><u>Request</u></b>	<b><u>Page</u></b>
1.	DP-2024-013	Old Hayneville Solar, LLC	Old Hayneville Road	DP	1
2.	DP-1985-068	Pilgreen & Bostick Engineering	222 Eastern Boulevard	DP	2
3.	DP-1986-104	Valvoline Instant Oil Change	4131 Atlanta Highway	DP	3
4.	DP-2023-007	Bailey-Harris Construction	830 Walker Street	DP	4
5.	DP-1973-053	Kadre Engineering	4919 Westport Blvd.	DP	5
6.	DP-2024-014	Graham Company	Mitchell Young Road	DP	6
7.	RZ-2024-012	Norman & Gracie Irvin	3620 Old Selma Road	Rezoning	7
8.	RZ-2024-014	Ashley Flowers, Realtor	Ray Thorington Road	Rezoning	8
9.	DP-1978-125	Larry E. Speaks & Associates	4425 Northern Blvd.	DP	9
10.	RZ-2024-013	“ “	2810 Atlanta Highway	Rezoning	10
11.	DP-1974-008	Goodwyn Mills Cawood	2225 W. Fairview Ave.	DP	11
12.	9308	“ “	Eastern Boulevard	Plat	12
13.	RZ-2024-015	“ “	Atlanta Highway	Rezoning	13

***The next Planning Commission meeting is on  
August 22, 2024***

1. DP-2024-013 **PRESENTED BY:** Old Hayneville Solar, LLC

**REPRESENTING:** Old Hayneville Solar – Power Substation

**SUBJECT:** Public hearing for a development plan for a new power substation to be located on the north side of Old Hayneville Road, approximately 1,000 ft. northeast of Selma Highway, in an M-1 (Light Industry) Zoning District.

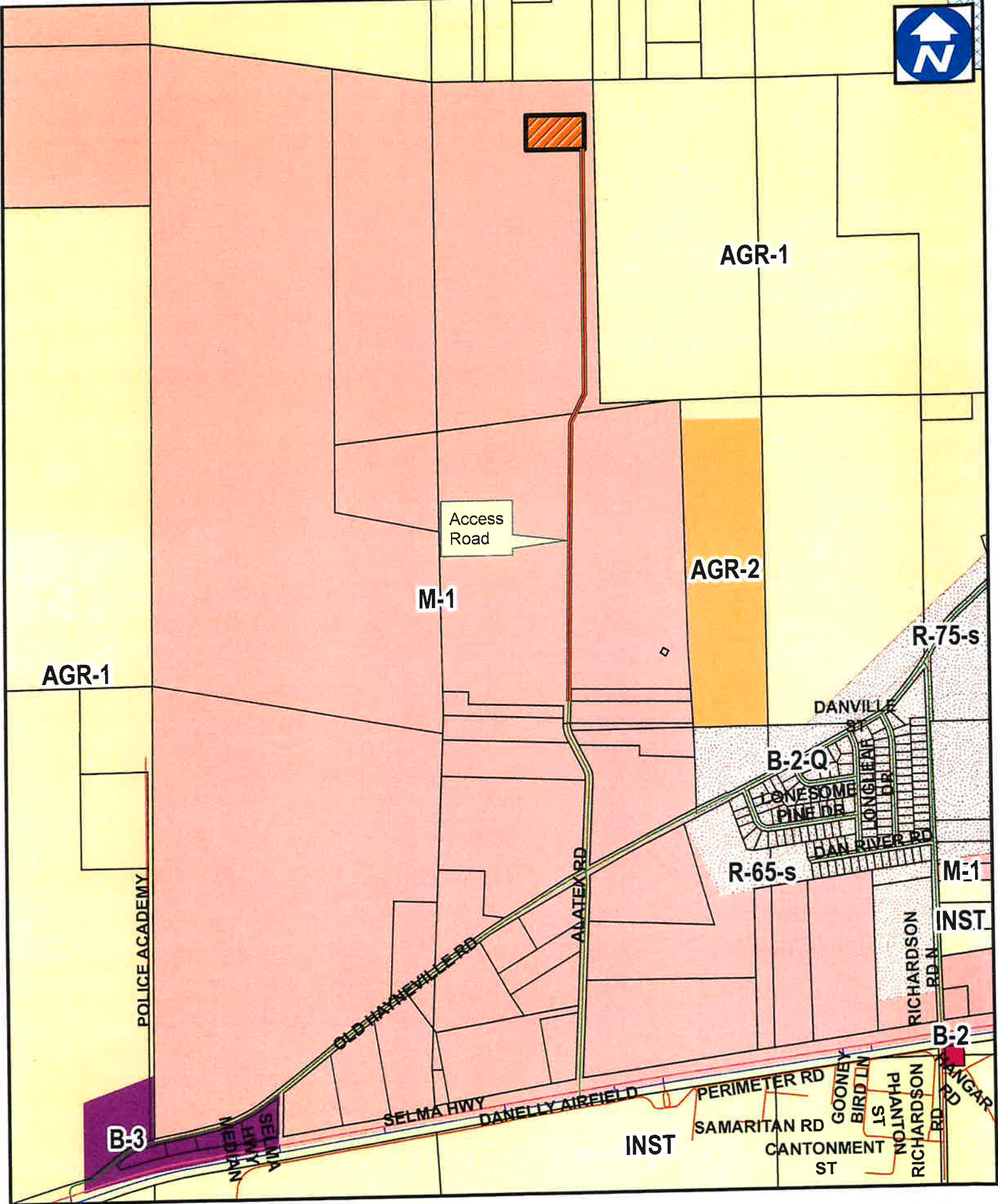
**REMARKS:** The petitioner has submitted plans to construct a power substation on a solar electric manufacturing operation. Security fencing will surround the site, with access gates on the east side of the property. Access to the site will be by a private access road from Alatex Road.

On March 16, 2023, the Board of Adjustment approved a special exception for a solar facility/power substation.

**CITY COUNCIL DISTRICT: 4**

**PLEASE NOTE:**

*All requests are subject to the Zoning Ordinance and/or Subdivision Regulations, and all department comments/requirements must be complied with prior to being released for permitting.*



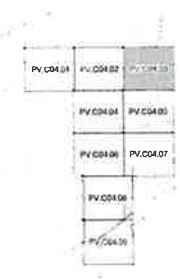
MAP FOR REFERENCE ONLY.  
NOT A LEGAL DOCUMENT.  
MEASUREMENTS ARE APPROXIMATE,  
NOT SURVEY GRADE

SITE 

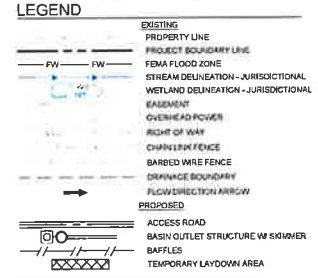
1 inch = 1,000 feet

Item 1A

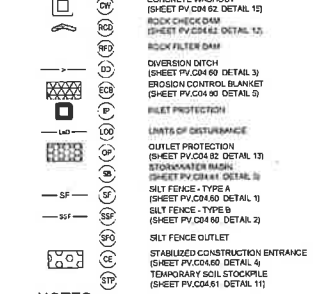
13



KEY PLAN

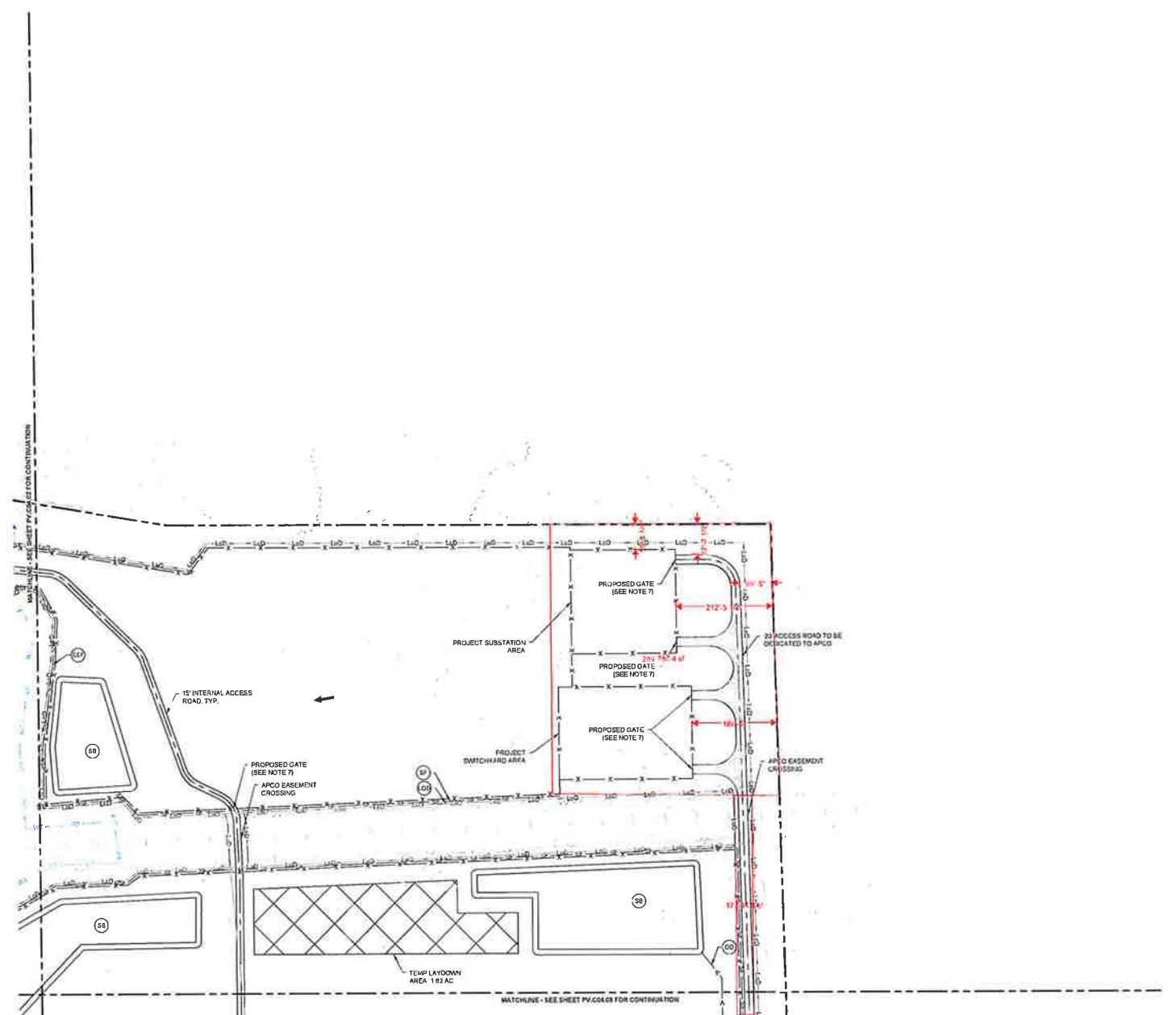
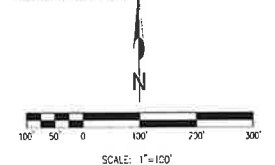


EROSION CONTROL FEATURES



NOTES

1. SEE SHEET PV.C01.01 FOR MORE INFORMATION ON THE PROJECT LEGEND ABBREVIATIONS AND SYMBOLOLOGY.
2. SEE SHEET PV.C01.02 FOR GENERAL AND CONSTRUCTION SEQUENCE NOTES.
3. ALTA SURVEY PERFORMED BY PERCHERON PROFESSIONAL SERVICES, LLC DATED 11/28/23.
4. TOPOGRAPHIC SURVEY PROVIDED BY CHERON PROFESSIONAL SERVICES, LLC DATED 11/28/23. TOPOG INFORMATION SHOWN ON PLANS SUBJECT TO CHANGE AFTER SITE TREE CLEARING.
5. PROJECT SITE IS LOCATED USING NAD 83 ALABAMA STATE PLANES EAST ZONE, US FOOT.
6. MAJOR CONTOUR INTERVAL 10 FEET. MINOR CONTOUR INTERVAL 2 FEET.
7. FENCING & GATE DETAILS TO BE PROVIDED IN PV STRUCTURAL PACKAGE AT 80% DESIGN.



REV	DATE	BY	CHK	DESCRIPTION
1	06/10/2024	JT	JT	ISSUED FOR PERMIT
2	06/10/2024	JT	JT	ISSUED FOR PERMIT

OLD HAYNEVILLE SOLAR  
MONTGOMERY, AL  
CIVIL DESIGN  
EROSION CONTROL PHASE I PLAN



PINEAPPLE CONSULTANTS

PRELIMINARY

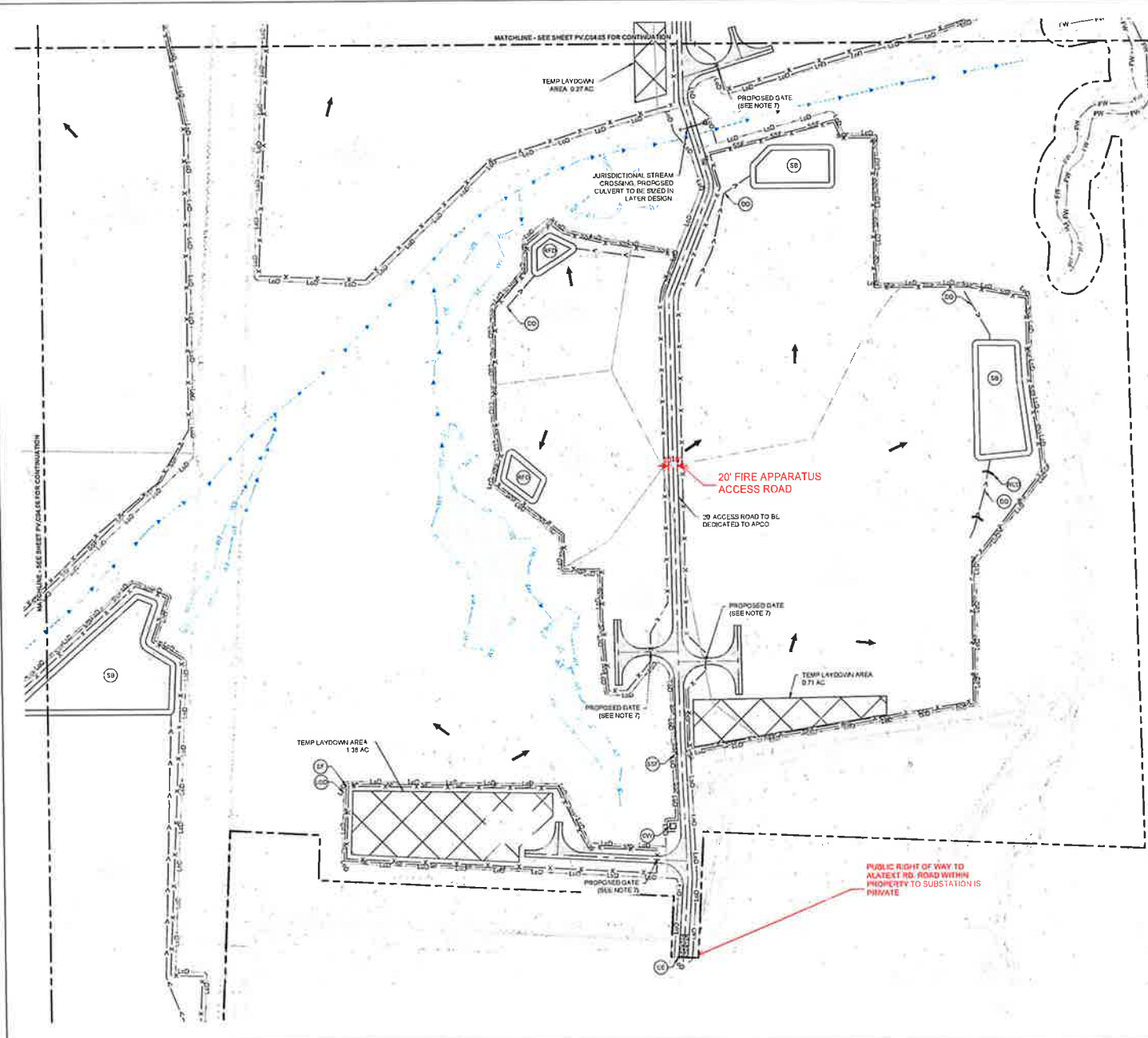
DATE: 06/10/2024  
SHEET: 1 OF 100  
JOB NO.: 4375 001

PV.C04.03

H:\Projects\2024\01 Old Hayneville Solar\PV\KOL\_DWG\03\_EROSION CONTROL PHASE I PLANS.dwg

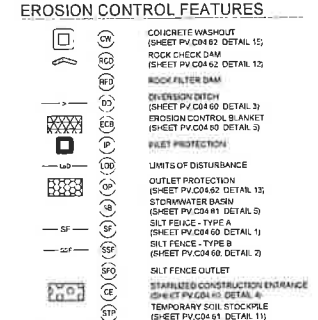
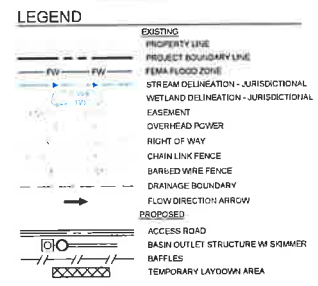


10



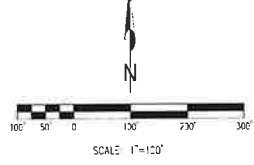
PV.C04.01	PV.C04.02	PV.C04.03
PV.C04.04	PV.C04.05	
PV.C04.06	PV.C04.07	
PV.C04.08		
PV.C04.09		

KEY PLAN



NOTES

- SEE SHEET PV.C01.01 FOR MORE INFORMATION ON THE PROJECT LEGEND ABBREVIATIONS AND SYMBOLOLOGY.
- SEE SHEET PV.C01.02 FOR GENERAL AND CONSTRUCTION SEQUENCE NOTES.
- ALTA SURVEY PERFORMED BY PERCHERON PROFESSIONAL SERVICES, LLC DATED 11/29/23.
- TOPOGRAPHIC SURVEY PROVIDED BY CHERON PROFESSIONAL SERVICES, LLC DATED 11/29/23. TOPOG INFORMATION SHOWN ON PLANS SUBJECT TO CHANGE AFTER SITE TREE CLEARING.
- PROJECT SITE IS LOCATED USING NAD 83 ALABAMA STATE PLAINS EAST ZONE, US FOOT.
- MAJOR CONTOUR INTERVAL 10 FEET. MINOR CONTOUR INTERVAL 2 FEET.
- FENCING & GATE DETAILS TO BE PROVIDED IN PV STRUCTURAL PACKAGE AT 80% DESIGN.



NO.	DATE	BY	CHK.	DESC.
1	06/10/2024	ADM	PT	ISSUED FOR PER REVIEW
2		ADM	PT	ISSUED FOR PER REVIEW
3		ADM	PT	ISSUED FOR PER REVIEW
4		ADM	PT	ISSUED FOR PER REVIEW
5		ADM	PT	ISSUED FOR PER REVIEW

OLD HAYNEVILLE SOLAR  
 MONTEGOMERY, AL  
 CIVIL DESIGN  
 EROSION CONTROL PHASE I PLAN



PINFLOR & ASSOCIATES  
 PRELIMINARY

DATE: 06/10/2024 SHEET: 1 OF 100  
 JOB NO.: 4375.001

PV.C04.07

I:\Projects\4375\4375\_07 Erosion Control\DWG\24\_06\_10\_PV.C04.07 EROSION CONTROL PHASE I PLAN.dwg





MAP FOR REFERENCE ONLY.  
NOT A LEGAL DOCUMENT.  
MEASUREMENTS ARE APPROXIMATE,  
NOT SURVEY GRADE

SITE 

1 inch = 1,000 feet  
Item   1   ID   1



2. DP-1985-068 **PRESENTED BY:** Pilgreen and Bostick Engineering, Inc.

**REPRESENTING:** Son's Kia of Montgomery

**SUBJECT:** Public hearing for a development plan for a new building to be located at 222 Eastern Boulevard in a B-3 (Commercial) Zoning District.

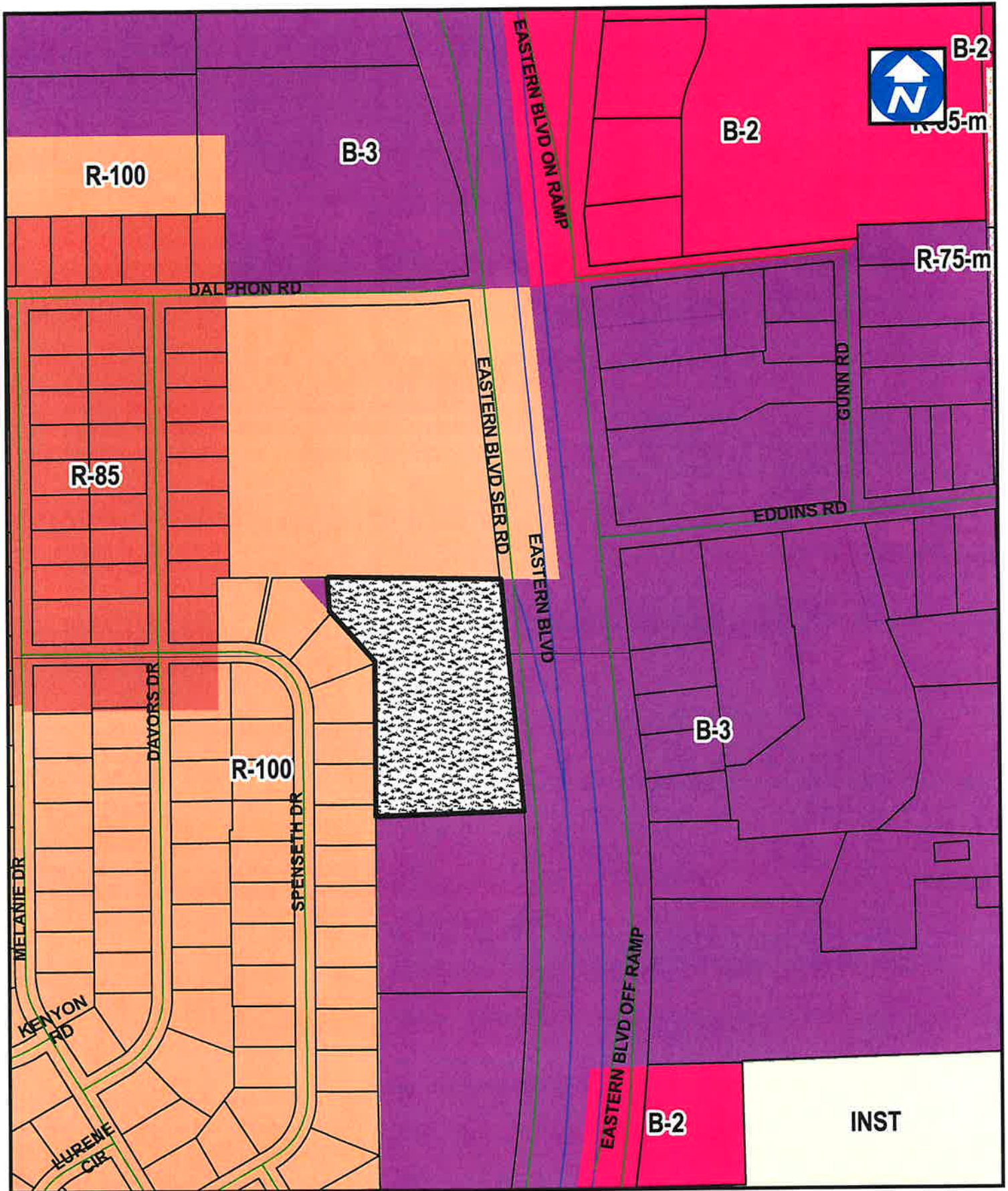
**REMARKS:** The petitioner has submitted plans to construct a new 30,732 sq. ft. building for a new car dealership. This will replace a 24,012 sq. ft. building that will be demolished. There are 174 parking spaces, including two (2) handicap spaces, indicated on the site plan. Access to the new building will be through two (2) existing access drives on Eastern Boulevard Service Road. All applicable requirements will be met.

**CITY COUNCIL DISTRICT: 1**

**PLEASE NOTE:**

All requests are subject to the Zoning Ordinance and/or Subdivision Regulations, and all department comments/requirements must be complied with prior to being released for permitting.





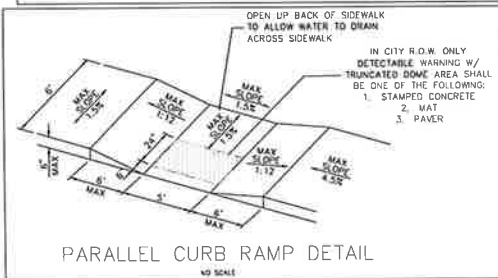
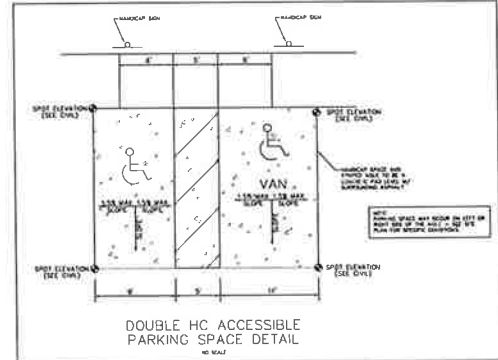
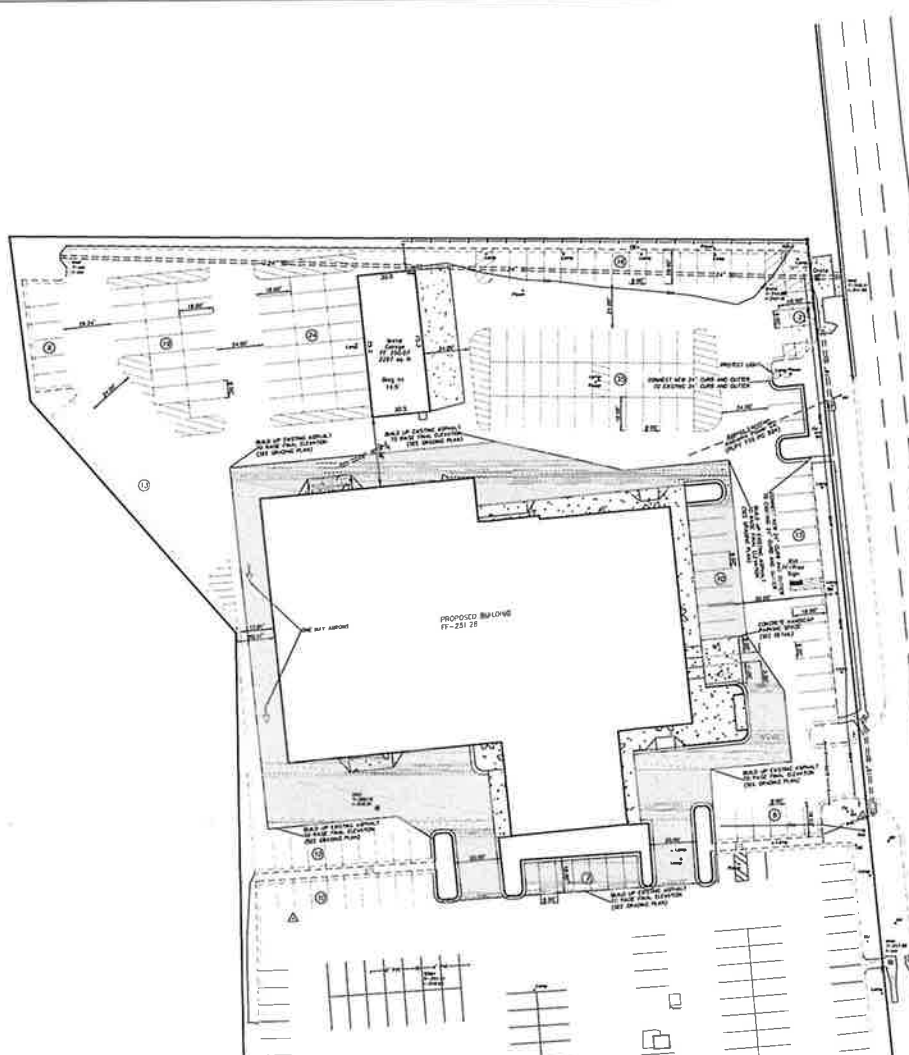
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Site 

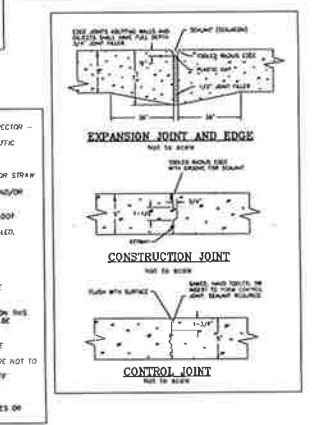
1 inch = 300 feet

Item 2A

20



	NEW	EXISTING	REV
CURB & GUTTER	---	---	---
RIGHT OF WAY	---	---	---
EDGE OF PAVEMENT	---	---	---
STORM DRAIN LINE	---	---	---
GRADE SHEET	---	---	---
CLEARANCE	---	---	---
SANITARY SEWER	---	---	---
WATER LINE	---	---	---
POLE / HYDRAUT	---	---	---
VALVES	---	---	---
GRADE CONTROL	---	---	---
PAVEMENT	---	---	---
DRAINAGE AREA	---	---	---
SEE FINISH	---	---	---
WALK PROTECTION	---	---	---



- NOTES:**
1. NOTIFY ALDOTT DISTRICT OFFICE 48 HOURS PRIOR TO BEGINNING WORK ON STATE ROUTE 3. NO CONTACT - BRYAN ADAMS (334-781-3200) ALDOTT PERMIT INSPECTOR - ALDOTT DISTRICT OFFICE (334-781-3200)
  2. THE CONTRACTOR SHALL DEVELOP AND USE A TRAFFIC CONTROL PLAN ACCORDING TO THE APPLICABLE PROVISIONS OF PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION. A COPY OF THE TRAFFIC CONTROL PLAN SHALL BE AVAILABLE ON THE JOB SITE.
  3. AS REQUIRED BY ALABAMA ACT 84-481, CALL THE ALABAMA LINE LOCATIONS CENTER, INC. (1-800-282-8829) TWO (2) WORKING DAYS BEFORE WORK.
  4. RIGHT-OF-WAY MARKERS AND SIGNAGE SHALL NOT BE DISTURBED.
  5. ALL DISTURBED AREAS WILL BE RE-SOILED OR SEEDED ACCORDING TO ALDOTT SPECIFICATIONS OR AS DIRECTED BY ALDOTT DISTRICT ADMINISTRATOR. ANY MAY OF STRAW USED FOR EROSION CONTROL AND/OR MACHIN FOR SEEDING OPERATIONS SHALL BE COON GRASS FREE.
  6. A BEST MANAGEMENT PRACTICE (BMP) SHALL BE INSTALLED WITHIN ALL DISTURBED AREAS TO PREVENT OR MINIMIZE DISTURBED AREAS FROM BEING CONSIDERED A GOOD STAND OF GRASS AND/OR SOIL. SEE FINISH SHEET FOR DETAILS. ANY OTHER EROSION CONTROL MEASURES SHALL BE USED TO PREVENT EROSION.
  7. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH PART 8 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION.
  8. ALL WORK WILL BE LEFT IN ACCORDANCE WITH THE LATEST EDITION OF ALDOTT SPECIFICATIONS.
  9. ALL WORK WILL BE LEFT IN ACCORDANCE WITH THE LATEST EDITION OF ALDOTT SPECIFICATIONS. ALL WORK ON ALDOTT RIGHT-OF-WAY SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF ALDOTT SPECIFICATIONS.
  10. NO TRUCKS OR EQUIPMENT SHALL BE LEFT OPEN OVERNIGHT OR UNATTENDED ON ROAD UNLESS PROPERLY PROTECTED. TRUCKS AND EQUIPMENT MUST BE FILLED, FENCED, COVERED, OR BARRICADED WHEN UNATTENDED.
  11. NO WORK ON ALDOTT ROW ON WEEKENDS OR ALDOTT HOLIDAYS.
  12. NO WORK ON ALDOTT ROW ON MONDAY - FRIDAY BEFORE 8:30 AM OR AFTER 5:00 PM.
  13. THE CONTRACTOR SHALL AT ALL TIMES HAVE AN APPROVED SET OF PLANS ON THE JOB SITE.
  14. ALL EQUIPMENT LEFT OVERNIGHT SHALL BE NO CLOSER THAN 30 FT FROM THE EDGE OF PAVEMENT (EOP).
  15. NO VEHICLES WILL BE PARKED ON THE EDGE OF THE ROAD FRINGE OR TRUCKING FRINGE AT ANYTIME.
  16. WARNING: DO NOT DISTURB SURVEY MARKERS LOCATED ON ALDOTT RIGHT-OF-WAY (ROW). ANY PROPERTY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE RE-ESTABLISHED BY AN ALABAMA LICENSED PROFESSIONAL LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
  17. THE AMOUNT OF AREA TO BE DISTURBED DURING CONSTRUCTION OF THIS PERMIT IS --- ACRES.
  18. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY SERVICES DIVISION AND DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES ON THIS PROJECT. WHETHER SHOWN ON THE PLANS OR NOT, BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES WHICH MAY BE OCCURRED BY HIS FAILURE TO CAREFULLY LOCATE AND PROTECT ALL UTILITIES.
  19. ALL FILL MATERIAL OR DIRT DEBRIS DEPOSITED ON ALDOTT RIGHT-OF-WAY SHALL BE REMOVED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY. RELOCATION OF THE ALABAMA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (DEM) EQUIPMENT, TRUCKS, DUMPS, WATER OR GAS PIPES, POLES, WALKS, ETC. ARE NOT TO BE DISTURBED UNLESS NOTED AND APPROVED BY DEM, ALDOTT, ASHM, EPA, ETC.
  20. THE CONTRACTOR WILL CLEAN UP STREETS IMMEDIATELY AFTER COMPLETION OF OTHER DELIVERIES. TRUCKS LEAVE THE SITE AND DEBRIS ARE TO BE KEPT OFF STREETS, WHEEL DITCHES, ETC.
  21. FUEL TANKS SHALL NOT BE STORED ON ALDOTT RIGHT-OF-WAY (ROW) OVERNIGHT. VEHICLES MANIPULATING FUELS, CHEMICALS, FERTILIZERS, ETC. OVERNIGHT, RIGHT-OF-WAY (ROW) SHALL NOT BE LEFT UNATTENDED.
  22. PROHIBIT NOISE. THE ENGINEER AND ADOTT OF ANY PERCEIVED COMPLAINTS, ANNOYOUS VIBRATIONS OR INTERFERENCE IN THE PLANS, SPECIFICATIONS, GENERAL NOTES OR RELATED CONTRACT DOCUMENTS.

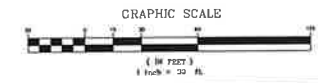
- Permit General Notes:**
1. All meters are to be installed off of ALDOTT right-of-way.
  2. All meters, valve boxes, and meter vaults shall be built with existing ground and be 100% level noted.
  3. Contact the District Permit Manager/Coordinator 48 hours prior to beginning work on ALDOTT right-of-way.
  4. The applicant will contact the District Permit Manager/Coordinator upon completion of the proposed work to re-submit the plan for completion of permit.
  5. The permit shall be in accordance with the ALDOTT specifications and the work shall be in accordance with ALDOTT specifications.
  6. All utility control shall be in accordance with Part 8 of the Manual on Uniform Traffic Control Devices (MUTCD) LATEST EDITION. (If permit requires hand signals, hand signals must be made part of the permit.)
  7. Utility Representatives & Contact Information: Area 3 (334-781-3200)
  8. Utility Representatives shall have on hand: (1) Approved permit and permit stamps by the Region Engineer, District Engineer, or District Supervisor; (2) Safety Control Plans; (3) Erosion Control Plans; (4) Erosion Control Plans; (5) Erosion Control Plans.
  9. An authorized area shall be re-installed or replaced according to the Alabama Department of Transportation's Standards and Specifications for Highway Construction, LATEST EDITION.
  10. All work shall meet or exceed ALDOTT specifications.
  11. All work on the ROW shall be in accordance with the latest edition of ALDOTT Standards and Specifications.
  12. Erosion control and sedimentation facilities shall conform with the current Alabama National Stormwater Quality Code.
  13. A Best Management Practice shall be installed to prevent or reduce or better control a point source of stormwater runoff with a goal of reducing runoff to a level of no more than 25% of the runoff from the site.
  14. All areas shall be restored to original condition or better than original condition.
  15. A Best Management Practice shall be installed to prevent or reduce or better control a point source of stormwater runoff with a goal of reducing runoff to a level of no more than 25% of the runoff from the site.
  16. Do not disturb Survey Markers located on ALDOTT right-of-way. Any property markers disturbed during construction shall be re-established by an Alabama licensed professional land surveyor at the contractor's expense.
  17. The amount of area to be disturbed during construction of this permit is 1.133 acres (1.133 acres) (These figures are approximate).
  18. As required by Alabama Act 84-481, Call the Alabama Line Locations Center 1-800-282-8829, Alabama Line Locations Center, Inc.
  19. It shall be the contractor's responsibility to contact the relevant utility service and determine the exact location of all existing utilities on the project, whether shown on the plans or not, before commencing work. The contractor will be fully responsible for any damages which may be incurred by his failure to carefully locate and protect any and all utilities.
  20. The contractor shall be responsible for any permanent repressive landscaping (Concrete, Masonry, permanent grass, etc.) disturbed during construction and shall be restored, transported, or re-graded according to the Alabama Department of Transportation's Standards and Specifications for Highway Construction, LATEST EDITION.
  21. All for material or waste debris deposited on the right-of-way shall be removed prior to issuance of certificate of occupancy.
  22. The contractor shall be responsible for any and all utility (E, G, S, W, etc.) work done on the site in accordance with appropriate regulations of the Alabama Department of Environmental Management (ADEM).
  23. Property boundaries which are to remain in place, such as boundary structures, trees, ditches, water or gas pipes, poles, walk, etc. are not to be disturbed unless noted and approved by DEM, ALDOTT, ASHM, EPA, ETC.
  24. The contractor shall install up-stream silt traps and other debris traps to prevent the site and storm water to be kept off streets, ditches, etc.
  25. Fuel tanks shall not be stored on the right-of-way (ROW). Vehicles manipulating fuel, chemicals, fertilizers, etc. on the right-of-way shall not be left unattended.
  26. The contractor shall not store any equipment on the right-of-way (ROW) or elsewhere in the project, specifications, general notes, or related contract documents.
  27. All signs and signs to remain shall be from Applicant's property, no signs and no goods from the contractor's right-of-way. Equipment and materials shall not be stored on right-of-way.

NOTE: ALL DIMENSIONS ARE TO EDGE OF PAVEMENT OR BACK OF CURB

HANDICAP ACCESS NOTES

1. ALL HANDICAP PARKING SPACES AND STRIPPED ACCESSIBILITY ANGLES ARE TO HAVE NO MORE THAN A 2% SLOPE IN ALL DIRECTIONS.
2. ALL SIDEWALKS ARE TO HAVE NO MORE THAN A 2% SLOPE FOR THE LENGTH OF THE SIDEWALK AND NO MORE THAN A 2% SLOPE FOR THE WIDTH OF THE SIDEWALK.
3. IF CONTRACTOR NOTICES ANY OBSTRUCTIONS IN ANY OF THESE SPACES, RECORD THEM IN THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER PRIOR TO POURING ANY CONCRETE SO THAT A SOLUTION CAN BE FOUND.

CONTRACTOR SHALL REFER TO SUBS FOR FURTHER DETAILS



**Site Plan**

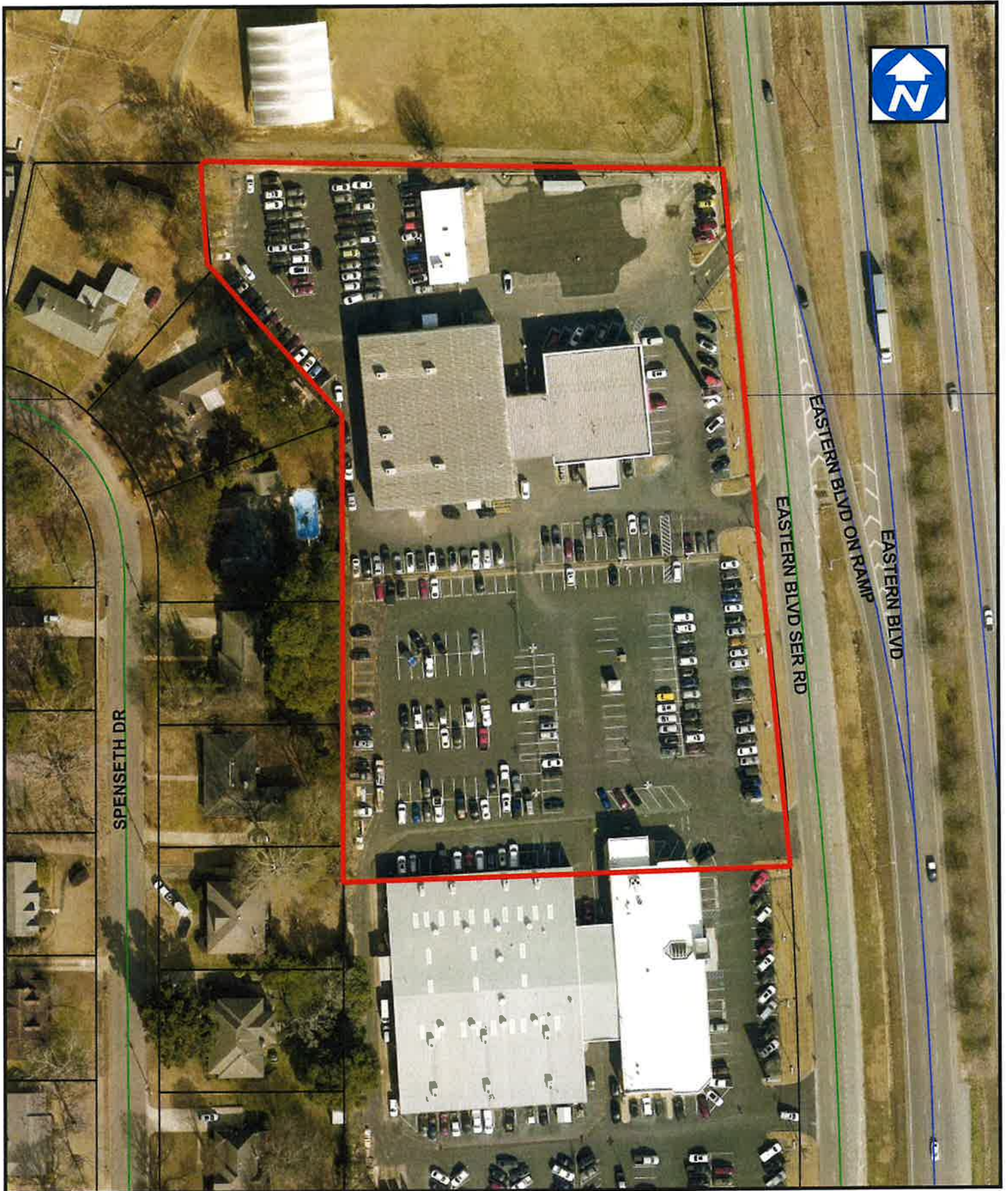
PROJECT: Son's Kia  
222 Eastern Boulevard  
Montgomery, AL 36117

**PBE** PILGREN AND BOSTICK ENGINEERING, INC.  
1075 Highway 80 East, Montgomery, Alabama 36117  
TEL: (334) 247-2887 FAX: (334) 244-8878

DESIGNED BY: TCM	DRAWN BY: TCM	CHECKED BY: CAB
DATE: 6-25-24	SCALE: 1" = 30'	PERMIT: 24-528
REV:		SHEET: 2 OF 4







MAP FOR REFERENCE ONLY.  
NOT A LEGAL DOCUMENT.  
MEASUREMENTS ARE APPROXIMATE,  
NOT SURVEY GRADE

Site 

1 inch = 100 feet

Item 20



3. DP-1986-104 **PRESENTED BY:** Valvoline Instant Oil Change

**REPRESENTING:** Same

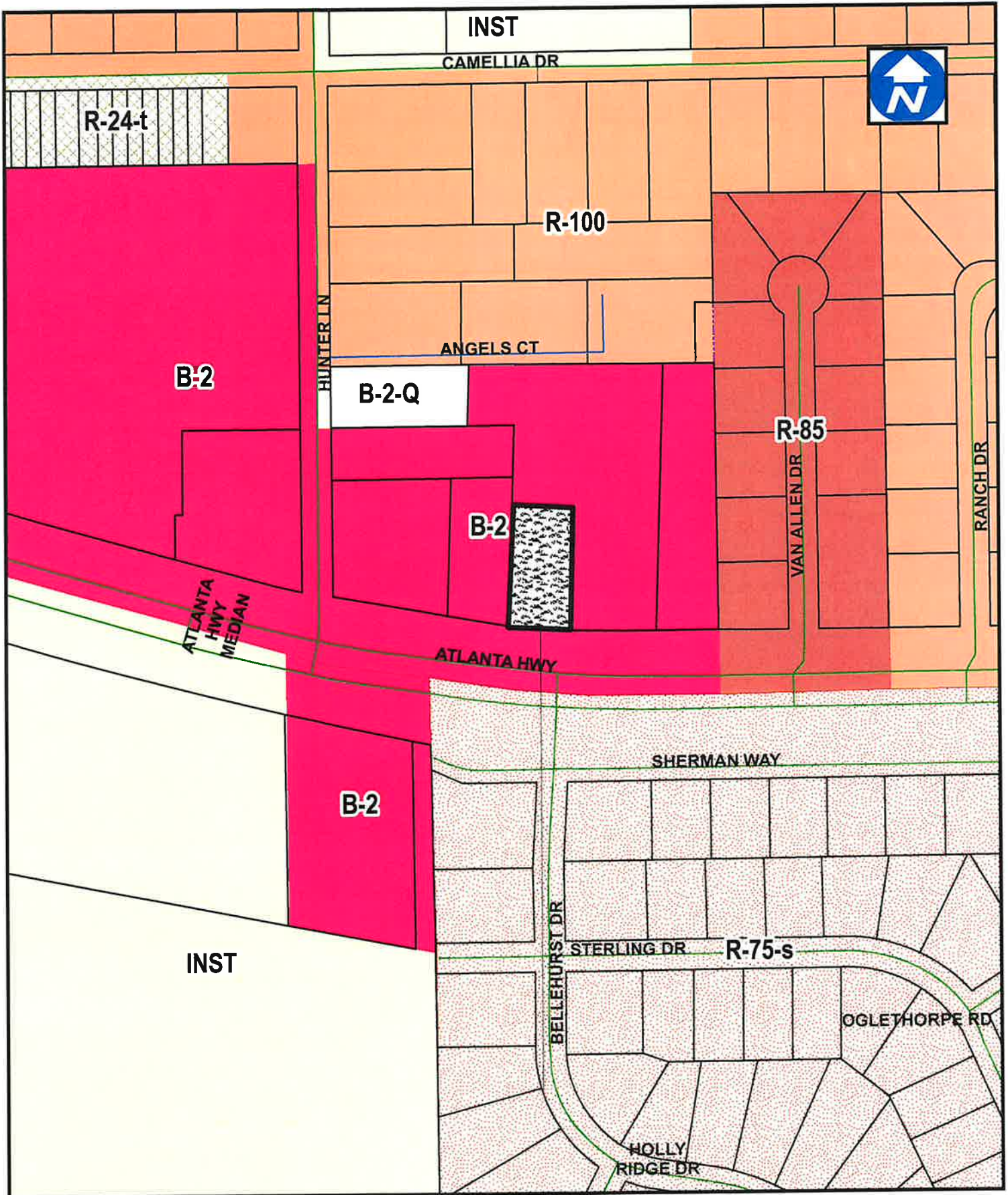
**SUBJECT:** Public hearing for a development plan for a remodel of an existing structure located at 4131 Atlanta Highway in a B-2 (Commercial) Zoning District.

**REMARKS:** The petitioner has submitted plans to remodel the exterior of an existing oil change facility which will include modifications, repaving and restriping of the existing parking lot. There are 10 paved spaces indicated on the plan. The access drive to Atlanta Highway will remain as-is. All applicable requirements will be met.

**CITY COUNCIL DISTRICT: 1**

**PLEASE NOTE:**

*All requests are subject to the Zoning Ordinance and/or Subdivision Regulations, and all department comments/requirements must be complied with prior to being released for permitting.*



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Site 

1 inch = 200 feet

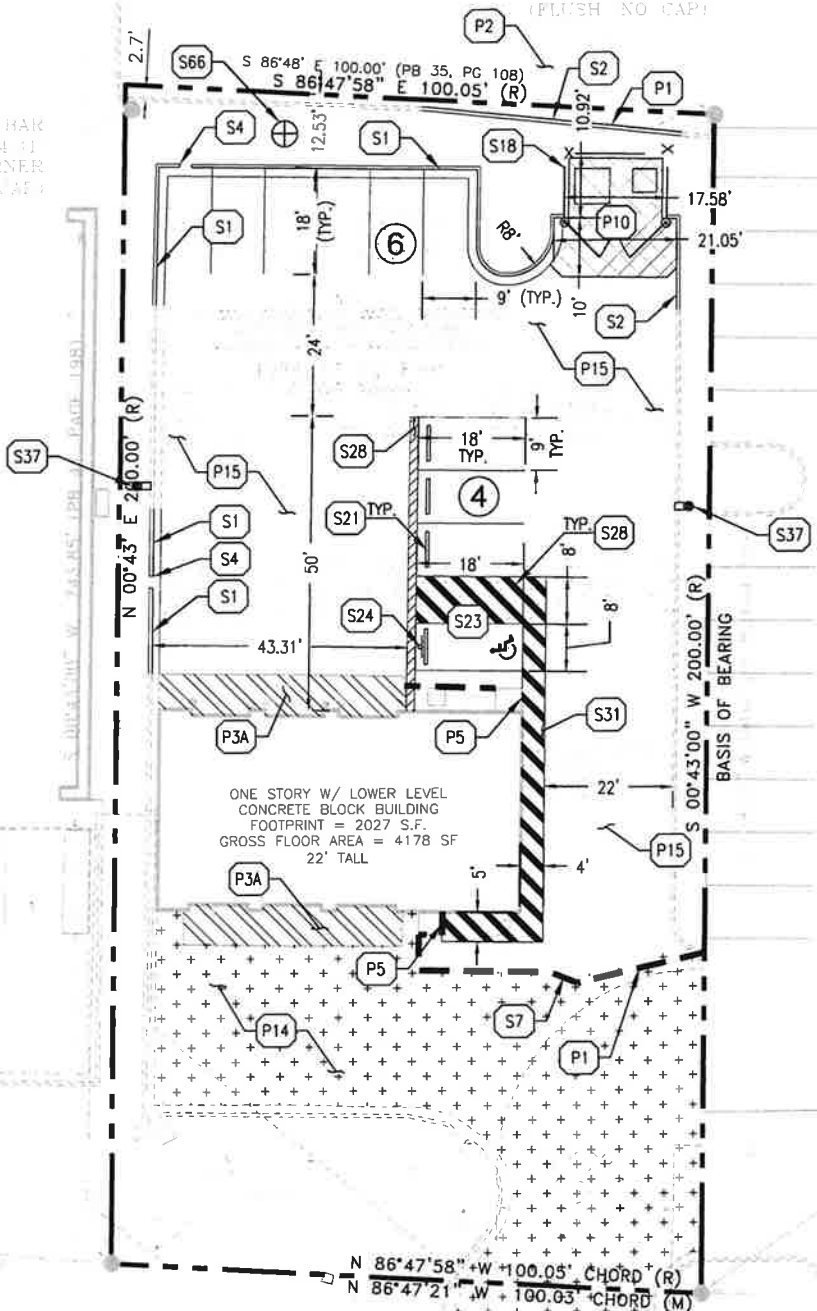
Item 3A

E 100.00'

NA

FOUND 5/8" REBAR (FLUSH NO CAP)

FOUND 5/8" REBAR (FLUSH NO CAP)  
RECORDED CORNER (FLUSH NO CAP)



ONE STORY W/ LOWER LEVEL  
CONCRETE BLOCK BUILDING  
FOOTPRINT = 2027 S.F.  
GROSS FLOOR AREA = 4178 SF  
22' TALL

FOUND 5/8" REBAR (FLUSH NO CAP)

FOUND 5/8" REBAR (FLUSH NO CAP)

EXISTING FIRE HYDRANT

N 86°47'58" W 100.05' CHORD (R)  
N 86°47'21" W 100.03' CHORD (M)

WEST BOUND

ATLANTA HIGHWAY (U.S. HIGHWAY 80)

3B





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MEASUREMENTS ARE APPROXIMATE,  
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Site 

1 inch = 100 feet

Item 30

4. DP-2023-007 **PRESENTED BY:** Bailey-Harris Construction

**REPRESENTING:** Equal Justice Initiative

**SUBJECT:** Public hearing for a development plan for a new parking lot to be located at 830 Walker Street in an M-3 (General Industry) Zoning District.

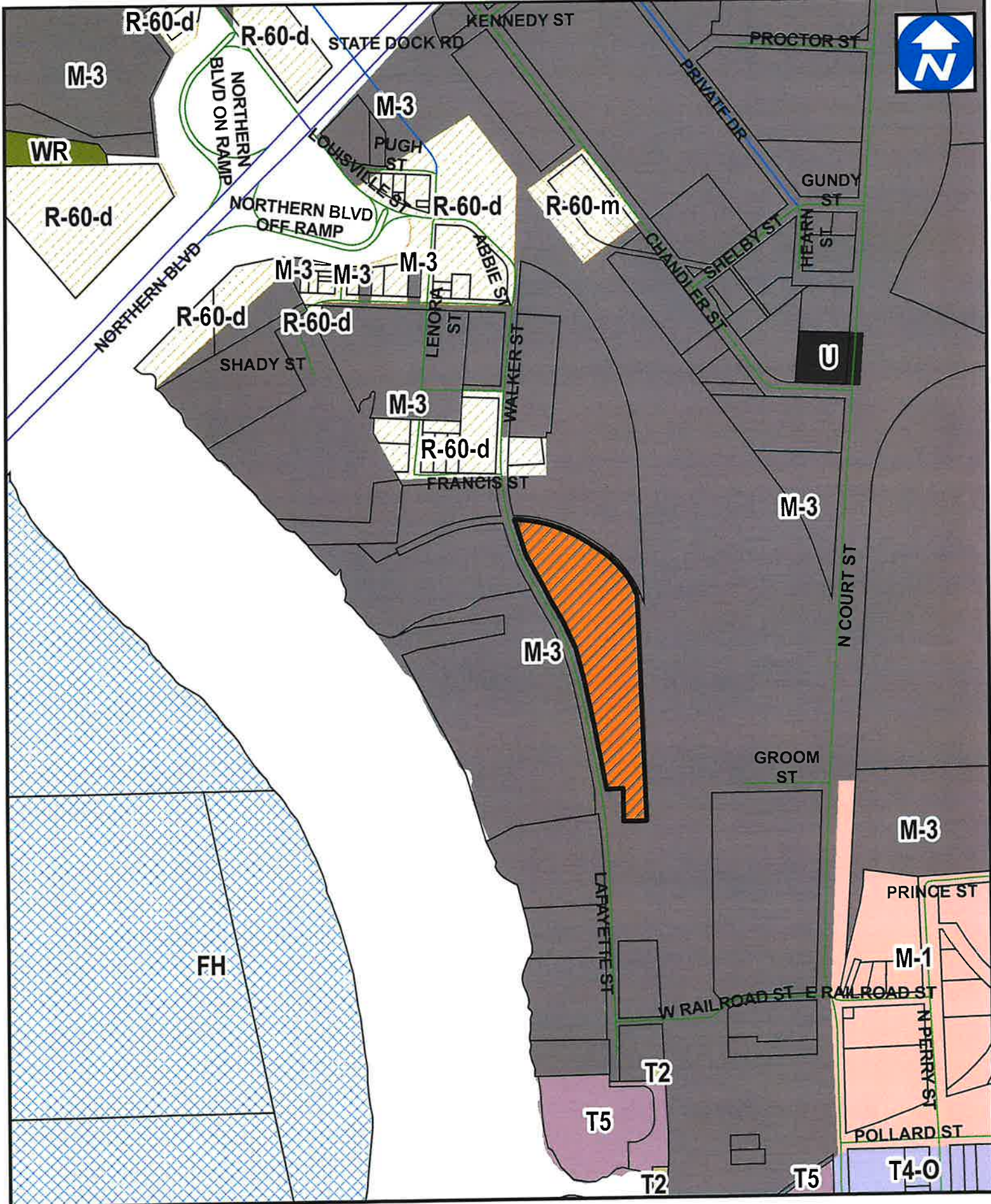
**REMARKS:** The petitioner has submitted plans to construct a new 29-space parking lot for employees. There are 99 parking spaces existing, which brings the total to 128 parking spaces. There is one (1) access drive to Walker Street. All applicable requirements will be met.

**CITY COUNCIL DISTRICT: 3**

**PLEASE NOTE:**

*All requests are subject to the Zoning Ordinance and/or Subdivision Regulations, and all department comments/requirements must be complied with prior to being released for permitting.*





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SITE 

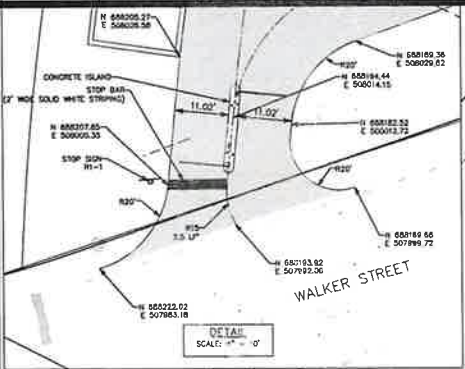
1 inch = 500 feet

Item 4A



CITY OF MONTGOMERY  
DEVELOPMENT PLAN NOTES

1. BEFORE WORK BEGINS WITHIN RIGHT-OF-WAY (ROW), CONTACT CITY ENGINEERING CHIEF CITY INSPECTOR CHARLE HARRIS 48 HOURS PRIOR TO CONSTRUCTION AT (334) 354-9127.
2. ENGINEERING DEPARTMENT SHALL NOT ISSUE A C.O. UNTIL THE AS-BUILT EVALUATION AND CERTIFICATION DOCUMENTATION IS SUBMITTED AND APPROVED BY THE CITY.
3. BEFORE ANY STREET CLOSURE, CONTACT DONALD THOMAS WITH CITY MAINTENANCE AT 650-3127.
4. DETECT ALL STORMWATER, INCLUDING ROOF DRAINS, TO STREET ROW OR TO DRAINAGE EQUIPMENT.
5. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ADEQUATE EROSION/SEDIMENTATION CONTROL DURING ALL PHASES OF CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR KEEPING MUD AND DEBRIS OFF CITY STREETS AND ROW. CLEAN UP IS REQUIRED DAILY.
7. CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT OF DRIVEWAYS, SIDEWALK AND/OR CURB AND GUTTER DAMAGED DURING CONSTRUCTION.
8. ANY CHANGES OR REVISIONS MADE TO SITE PLANS MUST BE SUBMITTED FOR APPROVAL.
9. ALL AREAS OF ROW THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE RETRACTED WITH SOIL, ASPHALT OR CONCRETE, WHICHEVER ENGINEERING DEPARTMENT DEEMS NECESSARY.
10. EXISTING DRIVEWAYS, SIDEWALKS AND/OR CURB AND GUTTER ALONG THE RIGHT-OF-WAY OF THE PROJECT THAT ARE FOUND TO BE IN POOR CONDITIONS, SHALL BE REPLACED AS PART OF THE PROJECT DEVELOPMENT AT THE COST OF THE OWNER AS DETERMINED BY CITY REPRESENTATIVE.
11. CONCRETE ENTRY ISLAND AND ACCESS CONTROLS TO BE A DESIGN BUILD BY THE CONTRACTOR.



DETAIL  
SCALE: 1/4\"/>

48

FREEDOM MONUMENT VISITOR CENTER - EMPLOYEE PARKING



EQUAL JUSTICE INITIATIVE;  
MONTGOMERY, ALABAMA

DAVIS

**OWNER**  
EQUITY JUSTICE INITIATIVE  
100 COMMERCE ST.  
MONTGOMERY, ALABAMA 36102  
ATTN: DONALD THOMAS

**PROJECT**  
EQUITY JUSTICE INITIATIVE, 100 COMMERCE ST. SOUTH  
BY MONTGOMERY, ALABAMA  
PROJECT NO. 2023-001  
ATTN: DONALD THOMAS

**DESIGNER**  
DAVIS ENGINEERING, ARCHITECTS & INTERIORS  
1000 W. WASHINGTON AVE.  
MONTGOMERY, ALABAMA 36102  
ATTN: JAMES W. DAVIS

**DATE**  
06/01/2024

**PROJECT NO.**  
2023-001

**PROJECT NAME**  
EQUITY JUSTICE INITIATIVE, 100 COMMERCE ST. SOUTH

**PROJECT LOCATION**  
100 COMMERCE ST. SOUTH  
MONTGOMERY, ALABAMA 36102

**PROJECT DESCRIPTION**  
EQUITY JUSTICE INITIATIVE, 100 COMMERCE ST. SOUTH  
PROJECT NO. 2023-001

**PROJECT STATUS**  
06/01/2024

**PROJECT TYPE**  
EQUITY JUSTICE INITIATIVE, 100 COMMERCE ST. SOUTH  
PROJECT NO. 2023-001

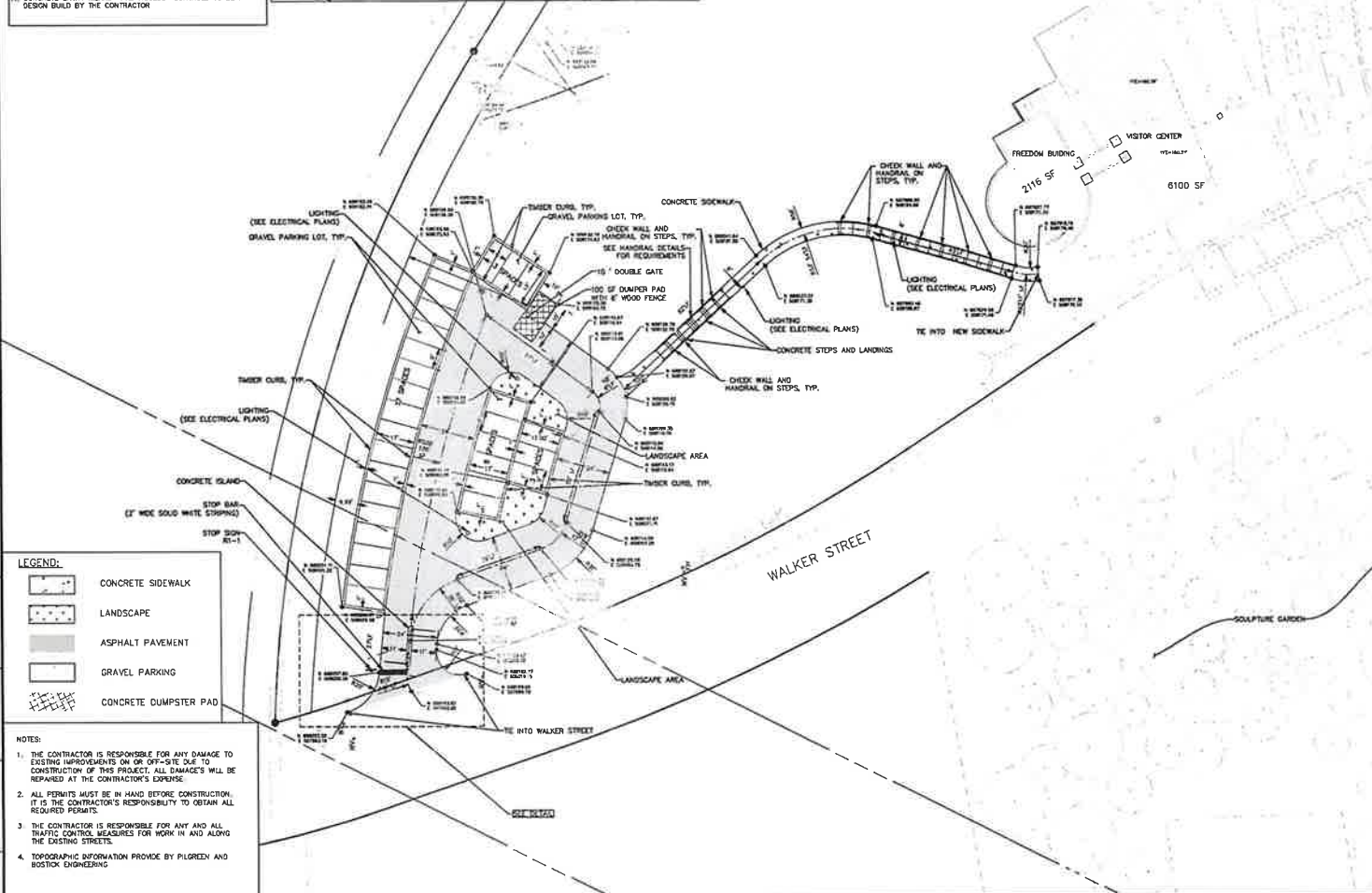
**PROJECT CONTACT**  
EQUITY JUSTICE INITIATIVE, 100 COMMERCE ST. SOUTH  
PROJECT NO. 2023-001

**PROJECT PHONE**  
EQUITY JUSTICE INITIATIVE, 100 COMMERCE ST. SOUTH  
PROJECT NO. 2023-001

**PROJECT FAX**  
EQUITY JUSTICE INITIATIVE, 100 COMMERCE ST. SOUTH  
PROJECT NO. 2023-001

**PROJECT EMAIL**  
EQUITY JUSTICE INITIATIVE, 100 COMMERCE ST. SOUTH  
PROJECT NO. 2023-001

**PROJECT WEBSITE**  
EQUITY JUSTICE INITIATIVE, 100 COMMERCE ST. SOUTH  
PROJECT NO. 2023-001



**LEGEND:**

	CONCRETE SIDEWALK
	LANDSCAPE
	ASPHALT PAVEMENT
	GRAVEL PARKING
	CONCRETE DUMPSTER PAD

- NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS ON OR OFF-SITE DUE TO CONSTRUCTION OF THIS PROJECT. ALL DAMAGES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
  2. ALL PERMITS MUST BE IN HAND BEFORE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL REQUIRED PERMITS.
  3. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL TRAFFIC CONTROL MEASURES FOR WORK IN AND ALONG THE EXISTING STREETS.
  4. TOPOGRAPHIC INFORMATION PROVIDED BY PILGREEN AND BOSTICK ENGINEERING.

0' 10' 20'

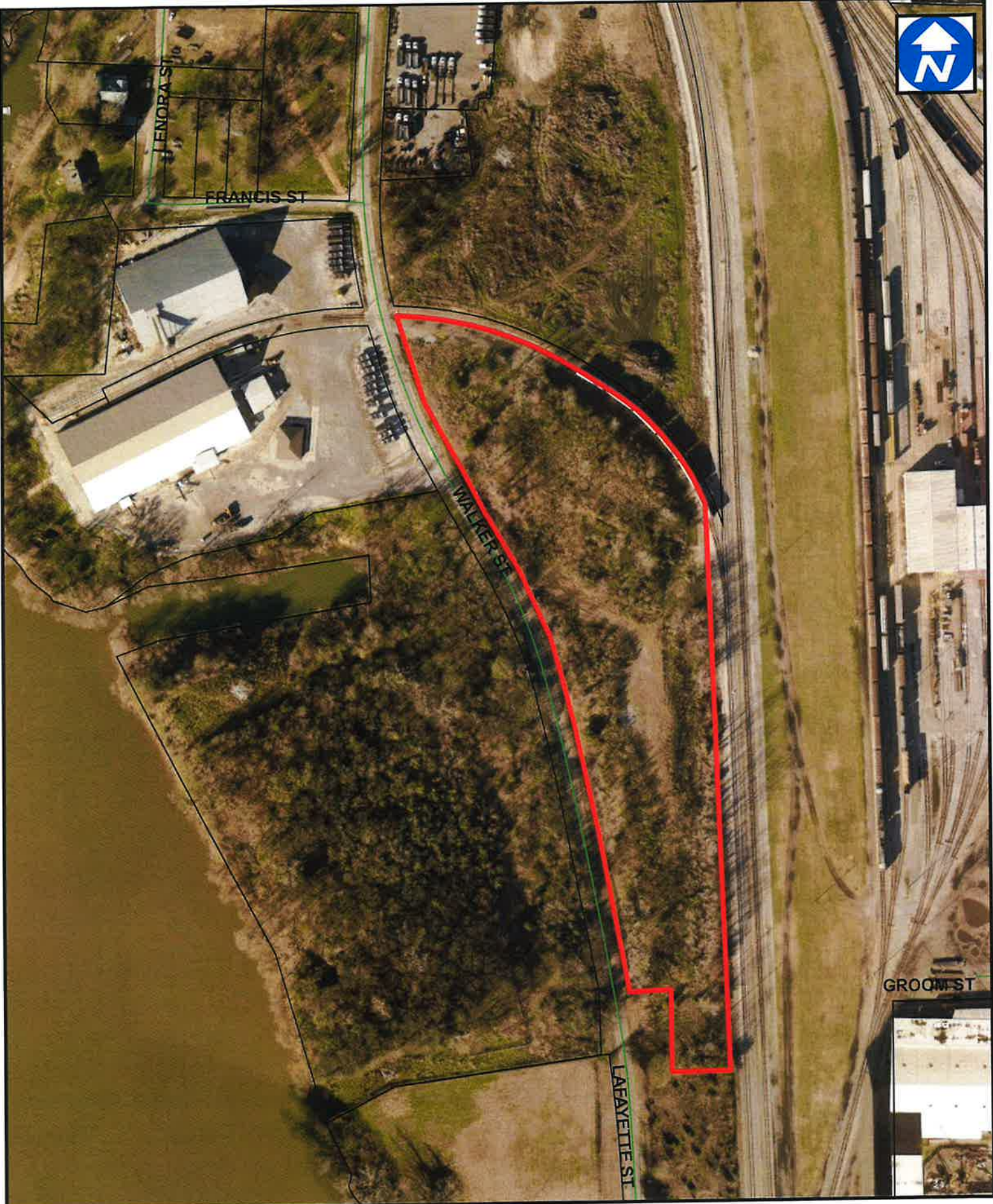
DATE	JUNE 1, 2024
PROJECT	PERMIT SET
OWNER	DAVIS ENGINEERING
PROJECT NO.	3990.01

LAYOUT PLAN

A1 SITE PLAN - ANNOTATION  
SCALE: 1" = 20'

C2





**MAP FOR REFERENCE ONLY.  
NOT A LEGAL DOCUMENT.  
MEASUREMENTS ARE APPROXIMATE,  
NOT SURVEY GRADE**

**SITE** 

1 inch = 200 feet

**Item** 4C



5. DP-1973-053 **PRESENTED BY:** Kadre Engineering

**REPRESENTING:** Coca-Cola Bottling Company

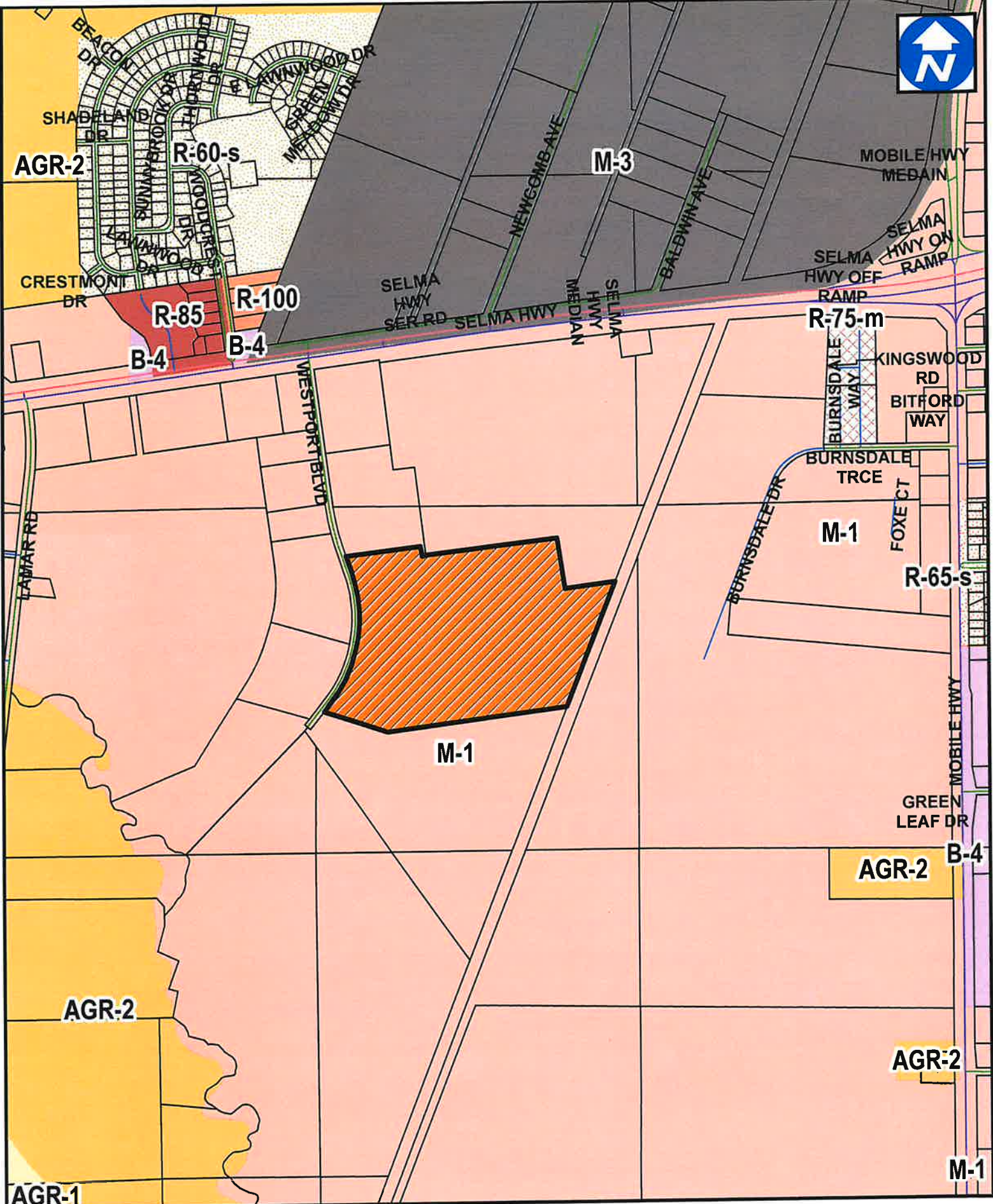
**SUBJECT:** Public hearing for a development plan for an addition to the building located at 4919 Westport Boulevard in an M-1 (Light Industrial) Zoning District.

**REMARKS:** The petitioner has submitted plans to construct a 1,789 sq. ft. addition for a dock expansion on the rear of the building. There are no other changes to the site. All applicable requirements will be met.

**CITY COUNCIL DISTRICT: 4**

**PLEASE NOTE:**

*All requests are subject to the Zoning Ordinance and/or Subdivision Regulations, and all department comments/requirements must be complied with prior to being released for permitting.*



MAP FOR REFERENCE ONLY.  
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MEASUREMENTS ARE APPROXIMATE,  
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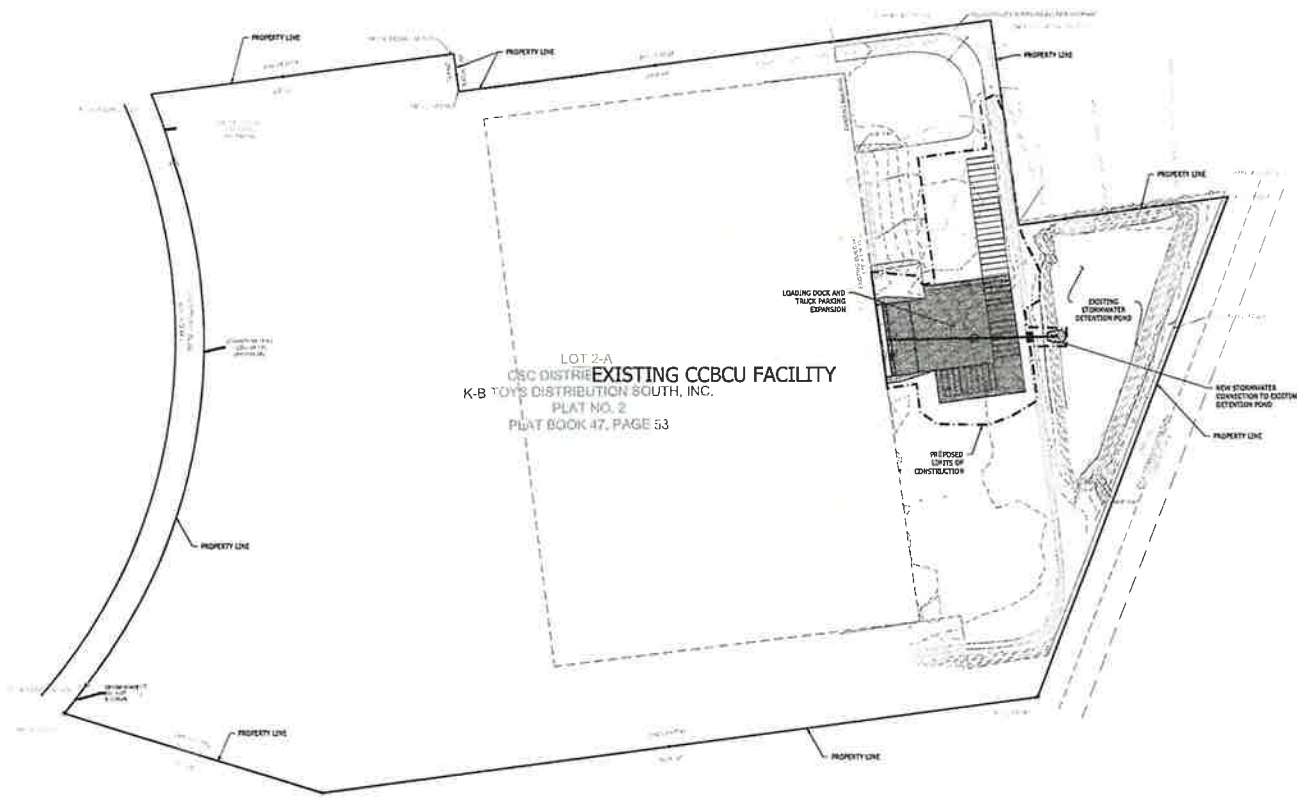
SITE 

1 inch = 1,000 feet

Item 5A



5B



**KADRE ENGINEERING**  
 PROJECT NO. 2300134  
 SHEET NO. 06/07/24  
 DRAWN BY: VLD  
 CHECKED BY: VLD  
 DATE: 06/07/24

**Design Group**  
 101 W. HANCOCK ROAD, SUITE 100, ANNAPOLIS, MD 21403  
 PHONE: (410) 293-8800 FAX: (410) 293-8801

NO.	DATE	BY	REVISION



CLIENT: COCA-COLA BOTTLING COMPANY UNITED, INC.  
 PROJECT: MONTGOMERY SALES CENTER DOCK EXPANSION  
 PACKAGE: OVERALL SITE PLAN

PROJECT NO. 2300134  
 SHEET NO. 06/07/24  
 DRAWN BY: VLD  
 CHECKED BY: VLD  
 DATE: 06/07/24

C0.2





MAP FOR REFERENCE ONLY.  
NOT A LEGAL DOCUMENT.  
MEASUREMENTS ARE APPROXIMATE,  
NOT SURVEY GRADE

SITE 

1 inch = 500 feet

Item 5C



6. DP-2024-014 **PRESENTED BY:** Graham Company

**REPRESENTING:** Hyundai Mobis

**SUBJECT:** Public hearing for a development plan for a new structure to be located on the east side of Mitchell Young Road, approximately 200 ft. south of Well Road, in an M-1 (Light Industry) Zoning District.

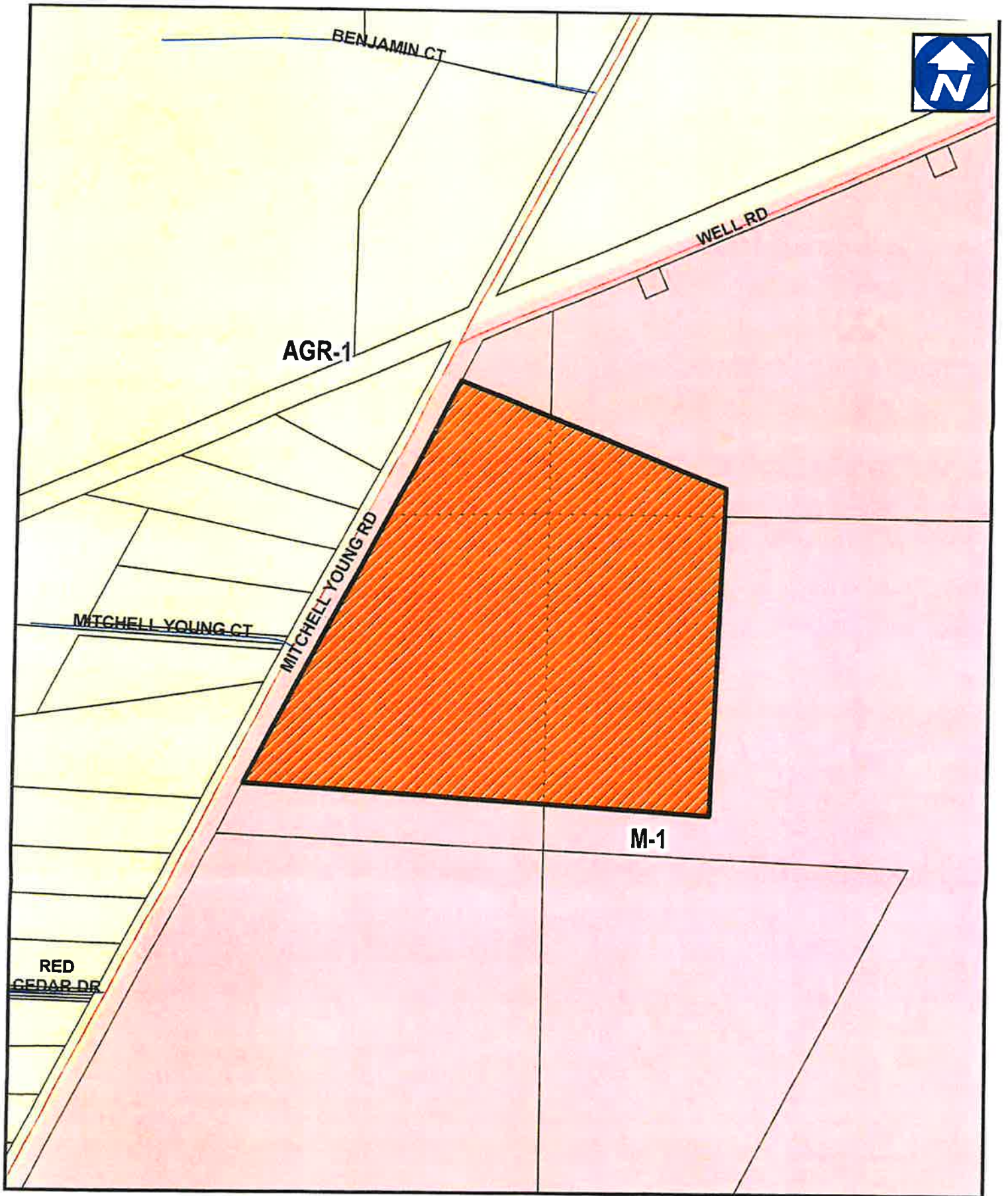
**REMARKS:** The petitioner has submitted plans to construct a 460,000 sq. ft. structure for a warehouse. There are 113 paved parking spaces, including five (5) ADA spaces, indicated on the site plan. There are two (2) full access drives to Mitchell Young Road. All requirements will be met.

**CITY COUNCIL DISTRICT: 4**

**PLEASE NOTE:**

*This request does not require action by the Planning Commission; however, does require a public hearing for the purpose of providing the public an opportunity to express opinions, per Ord. No. 10-2024.*

*All requests are subject to the Zoning Ordinance and/or Subdivision Regulations, and all department comments/requirements must be complied with prior to being released for permitting.*



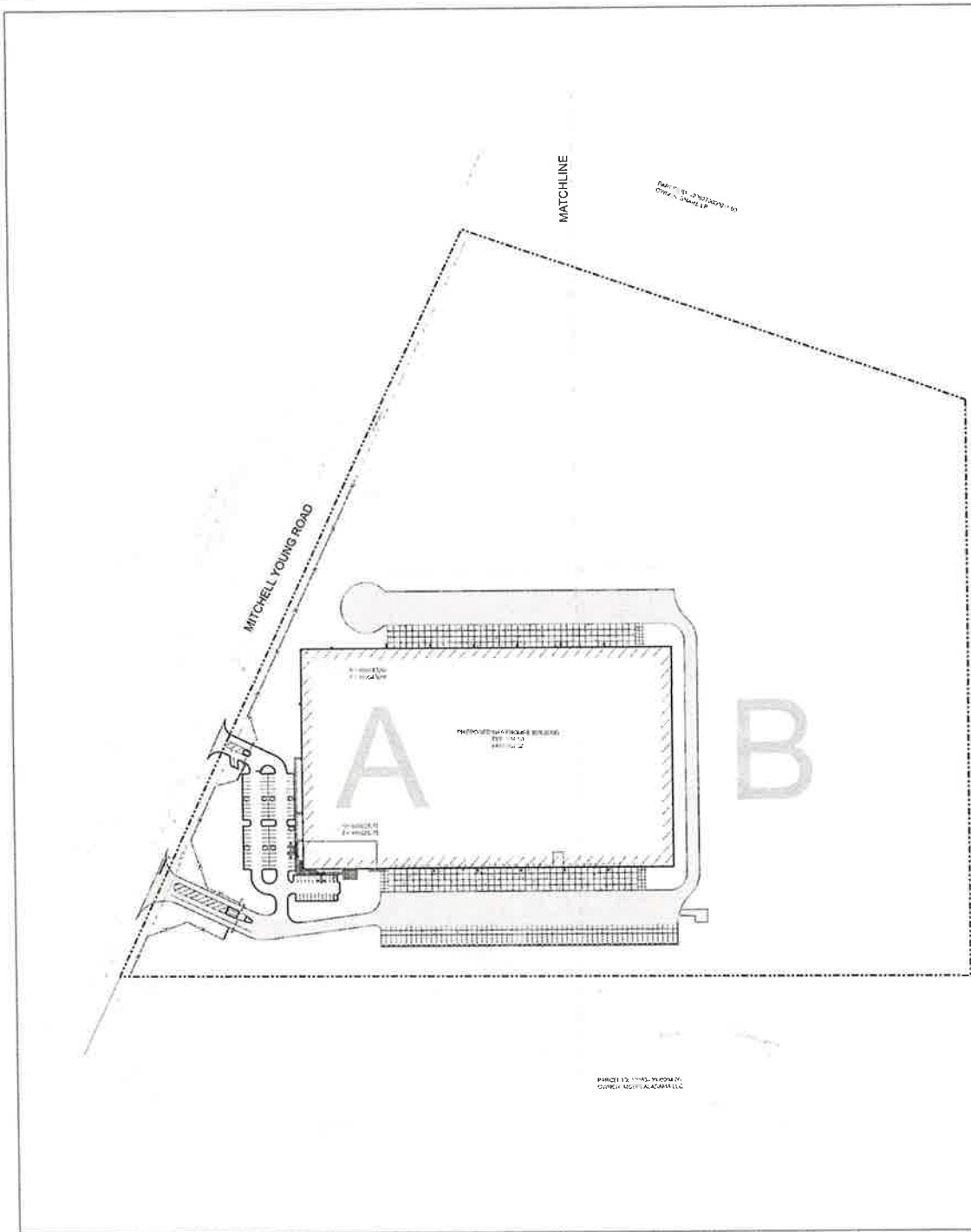
MAP FOR REFERENCE ONLY.  
NOT A LEGAL DOCUMENT.  
MEASUREMENTS ARE APPROXIMATE,  
NOT SURVEY GRADE

SITE 

1 inch = 500 feet

Item 6A





**SITE DATA TABLE**

PROPERTY INFORMATION	DESCRIPTION OF PROPERTY INFORMATION
ZONING	M-1 LIGHT INDUSTRIAL
PLANNING DEPARTMENT	PLANNING DEPARTMENT
TITLE/DEED	CONTRACT NO.
PREVIOUS DEVELOPMENT	PREVIOUS DEVELOPMENT
ADJACENT DEVELOPMENTS	ADJACENT DEVELOPMENTS
ADJACENT ROADS	ADJACENT ROADS
ADJACENT UTILITIES	ADJACENT UTILITIES
ADJACENT ENVIRONMENT	ADJACENT ENVIRONMENT

**LAYOUT LEGEND**

[Symbol]	CONCRETE TO FINISH
[Symbol]	CONCRETE TO FINISH
[Symbol]	HEAVY DUTY ASPHALT PAVEMENT
[Symbol]	STANDARD DUTY ASPHALT PAVEMENT
[Symbol]	GRAVEL
[Symbol]	DEVELOPMENT FOOTPRINT OR ROAD
[Symbol]	DEVELOPMENT
[Symbol]	ADJUTANT AND BUFFER
[Symbol]	PARKING SPACE COMPLET
[Symbol]	PAVEMENT

**CITY ENGINEERING DEPARTMENT**

1. THESE PLANS SHALL BE THE PROPERTY OF THE CITY OF MONTGOMERY, ALABAMA. THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR REPRODUCTION OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF THE CITY OF MONTGOMERY IS STRICTLY PROHIBITED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MONTGOMERY, ALABAMA, AND ALL APPLICABLE AGENCIES.
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**LAYOUT NOTES:**

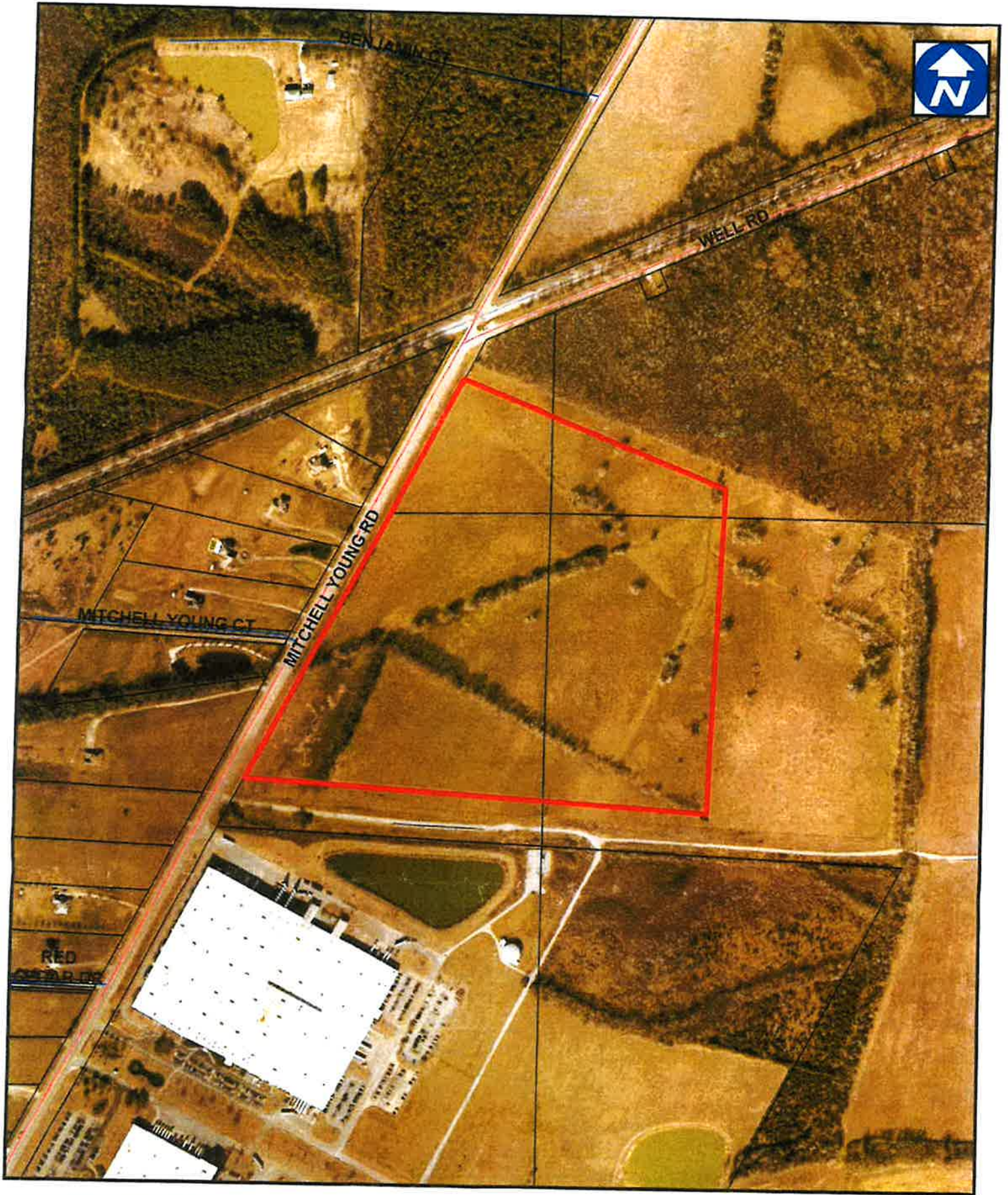
1. SEE GENERAL NOTES.
2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MONTGOMERY, ALABAMA, AND ALL APPLICABLE AGENCIES.
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**CAUTION/NOTICE TO CONTRACTOR**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MONTGOMERY, ALABAMA, AND ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MONTGOMERY, ALABAMA, AND ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MONTGOMERY, ALABAMA, AND ALL APPLICABLE AGENCIES.







MAP FOR REFERENCE ONLY.  
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MEASUREMENTS ARE APPROXIMATE,  
NOT SURVEY GRADE

SITE 

1 inch = 500 feet

Item 6C



7. RZ-2024-012 **PRESENTED BY:** Norman & Gracie Irvin

**REPRESENTING:** Same

**SUBJECT:** Request to rezone one (1) parcel of land containing 1.7 acres (+/-) located on the north side of Old Selma Road, approximately 500 ft. west of Hamilton Circle (aka 3620 Old Selma Road), from an M-3 (General Industry) Zoning District to an R-99-s (Mobile Home Subdivision) Zoning District.

**REMARKS:** The intended use for this property is for one (1) mobile home for living purposes. The existing home has become infested with termites and will be demolished at some point in the future. The adjacent property has M-3 (General Industry) to the north and west; R-85 (Single-Family Residential) to the east; and FH (Flood Hazard) to the south.

The Envision Montgomery 2040 Comprehensive Plan recommends Potential Open Space.

**Department of Planning Comment(s):** The Planning Department does not object to the proposed rezoning request in this rural area of the City of Montgomery.

**CITY COUNCIL DISTRICT: 4**

**PLEASE NOTE:**

*If there are any department comments relevant to the approval by the Planning Commission, they would be included on this agenda.*

*All requests are subject to the Zoning Ordinance and/or Subdivision Regulations, and all department comments/requirements must be complied with prior to being released for permitting.*

7A

## INSTITUTIONAL / CIVIC (IN)

Land and buildings occupied by municipal and other governmental agencies for the exercise of their functions, such as major libraries, airports, public schools and public safety facilities. Semi-public uses such as hospitals and other major institutions such as large church facilities are included. These sites often have a development pattern that is unique to each area and may differ significantly from their surroundings. Small-scale institutional uses may be incorporated into the surrounding context in residential or commercial areas.

### INTENT

- ★ Encourage integration of institutional uses with adjacent neighborhoods, urban areas, commercial corridors, and open spaces.
- ★ Provide appropriate connectivity to nearby uses through sidewalks, paths and streets.



The Juliette Hampton Morgan Memorial Library by Rivers A. Langley

## OPEN SPACE / RECREATION (OS)

Public and private parks, recreational open space or undeveloped natural areas that are permanently protected from development by the city, state, county, or some other authority. This classification also includes golf courses that function as open space.

### INTENT

- ★ Ensure parks and public recreational amenities are available to all neighborhoods.
- ★ Conserve environmentally sensitive land.
- ★ Develop a connected open space system through trail connections between natural areas and designated parks, public or private.



## POTENTIAL OPEN SPACE (PO)

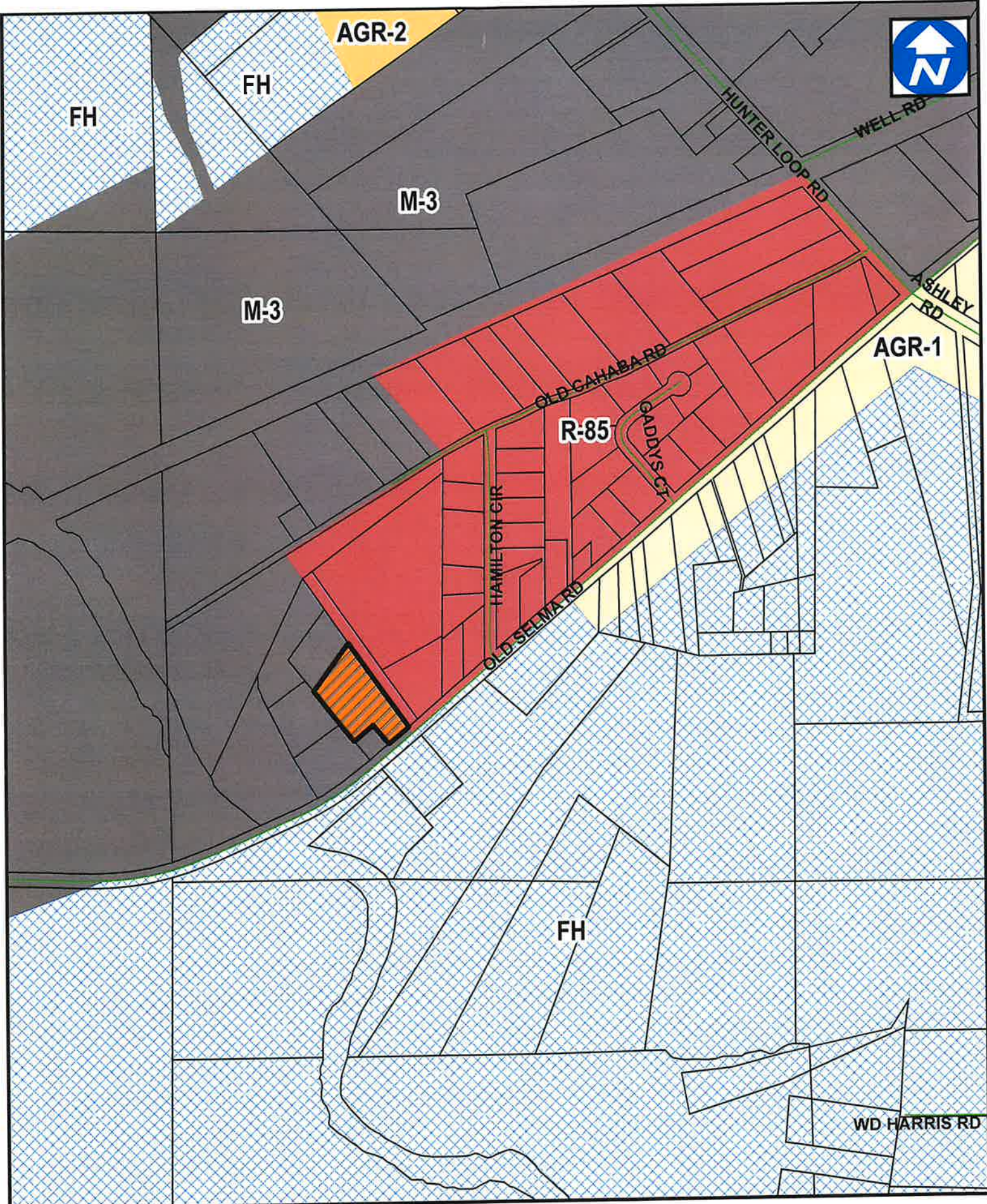
Potential Open Space is undeveloped land that is not currently preserved but should be considered for conservation. These areas often exhibit potential for flooding or are deemed inappropriate for development due to significant physical or environmental limitations. In some cases, these lands also serve as buffers to separate areas that may have the potential to become conflicting land uses.

### INTENT

- ★ Consider formal conservation of environmentally sensitive land through various means.
- ★ Minimize development in designated areas based on existing natural features.
- ★ Develop a connected open space system through trail connections between natural areas and designated parks, public or private.
- ★ Promote buffering of incompatible land uses using natural features such as greenways, waterways, and wooded areas.







MAP FOR REFERENCE ONLY.  
NOT A LEGAL DOCUMENT.  
MEASUREMENTS ARE APPROXIMATE,  
NOT SURVEY GRADE

SITE 

1 inch = 500 feet

Item 7B





MAP FOR REFERENCE ONLY.  
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MEASUREMENTS ARE APPROXIMATE,  
NOT SURVEY GRADE

SITE 

1 inch = 100 feet

Item      *TC*



8. RZ-2024-014 **PRESENTED BY:** Ashley Flowers, Realtor

**REPRESENTING:** Mishbah Udin

**SUBJECT:** Request to rezone three (3) lots containing 4.87 acres (+/-) at the intersection of Ray Thorington Road and Payne Road (aka 110, 180 & 250 Ray Thorington Road) from an AGR-1 (Residential Agriculture) Zoning District to a B-3 (Commercial) Zoning District.

**REMARKS:** The intended use for this property is for marketing purposes. The adjacent property has B-3 (Commercial) to the east; AGR-1 (Residential Agriculture) zoning to the south; O-1 (Office) zoning to the west; and R-100 (Single-Family Residential) to the north.

The Envision Montgomery 2040 Comprehensive Plan recommends Potential Open Space.

**Department of Planning Comment(s):** The Planning Department objects to the proposed rezoning request. We need to know what the petitioner is proposing to use the land for in order to make a determination about the request.

**Traffic Engineering Comment(s):** If this rezoning occurs and the development is proposed, a Traffic Impact Study will most likely be required due to heavy congestion in the area and a potential need to re-route traffic flow around Payne Road.

**CITY COUNCIL DISTRICT: Police Jurisdiction**

**COUNTY COMMISSION DISTRICT: 5**

**PLEASE NOTE:**

*If there are any department comments relevant to the approval by the Planning Commission, they would be included on this agenda.*

*All requests are subject to the Zoning Ordinance and/or Subdivision Regulations, and all department comments/requirements must be complied with prior to being released for permitting.*

## INSTITUTIONAL / CIVIC (IN)

Land and buildings occupied by municipal and other governmental agencies for the exercise of their functions, such as major libraries, airports, public schools and public safety facilities. Semi-public uses such as hospitals and other major institutions such as large church facilities are included. These sites often have a development pattern that is unique to each area and may differ significantly from their surroundings. Small-scale institutional uses may be incorporated into the surrounding context in residential or commercial areas.

### INTENT

- ★ Encourage integration of institutional uses with adjacent neighborhoods, urban areas, commercial corridors, and open spaces.
- ★ Provide appropriate connectivity to nearby uses through sidewalks, paths and streets.

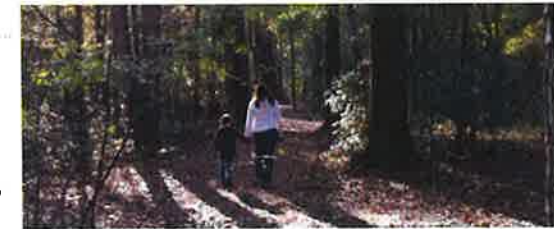


## OPEN SPACE / RECREATION (OS)

Public and private parks, recreational open space or undeveloped natural areas that are permanently protected from development by the city, state, county, or some other authority. This classification also includes golf courses that function as open space.

### INTENT

- ★ Ensure parks and public recreational amenities are available to all neighborhoods.
- ★ Conserve environmentally sensitive land.
- ★ Develop a connected open space system through trail connections between natural areas and designated parks, public or private.



## POTENTIAL OPEN SPACE (PO)

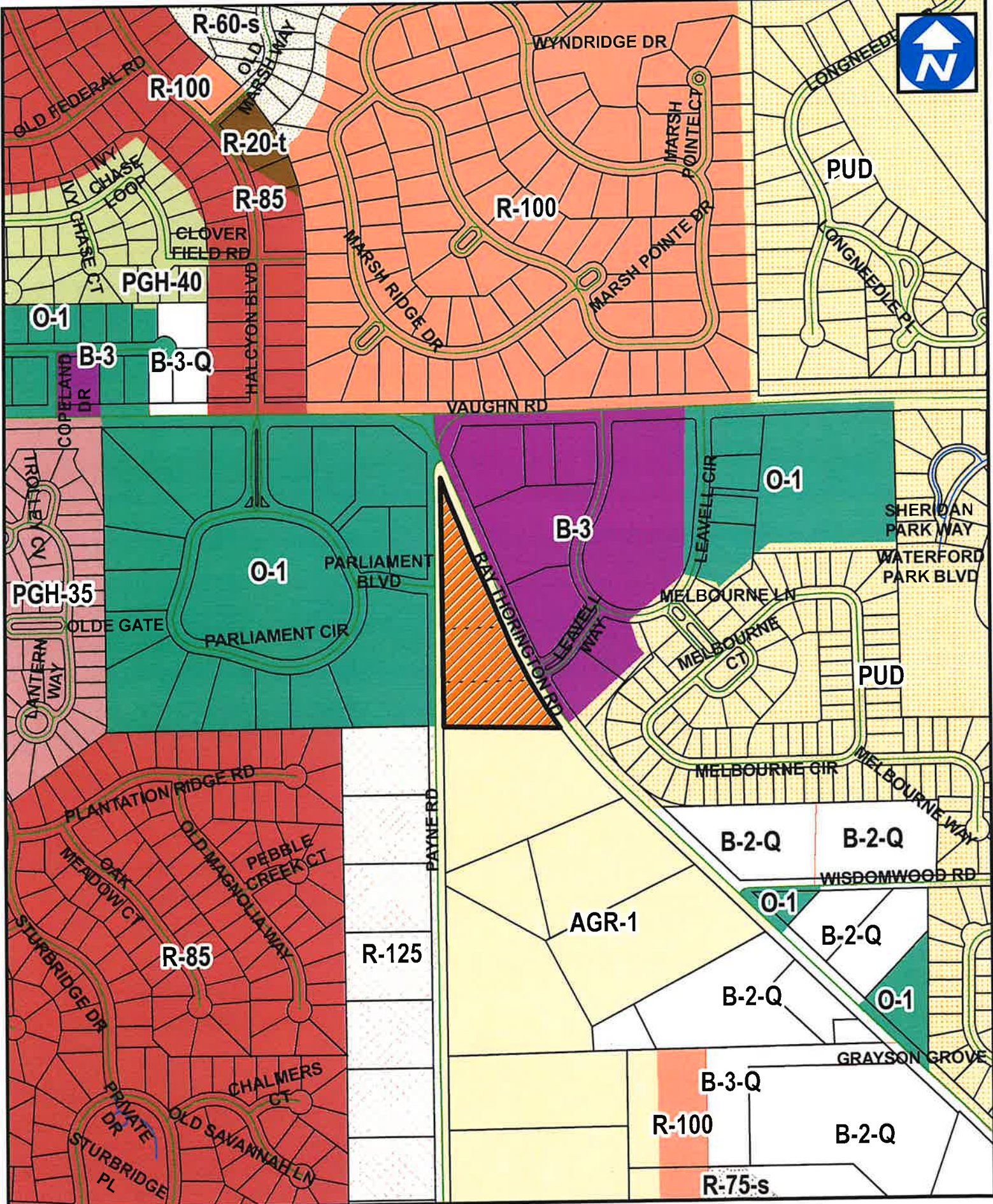
Potential Open Space is undeveloped land that is not currently preserved but should be considered for conservation. These areas often exhibit potential for flooding or are deemed inappropriate for development due to significant physical or environmental limitations. In some cases, these lands also serve as buffers to separate areas that may have the potential to become conflicting land uses.

### INTENT

- ★ Consider formal conservation of environmentally sensitive land through various means.
- ★ Minimize development in designated areas based on existing natural features.
- ★ Develop a connected open space system through trail connections between natural areas and designated parks, public or private.
- ★ Promote buffering of incompatible land uses using natural features such as greenways, waterways, and wooded areas.







MAP FOR REFERENCE ONLY.  
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 MEASUREMENTS ARE APPROXIMATE,  
 NOT SURVEY GRADE

SITE 

1 inch = 500 feet

Item   8B





**MAP FOR REFERENCE ONLY.  
NOT A LEGAL DOCUMENT.  
MEASUREMENTS ARE APPROXIMATE,  
NOT SURVEY GRADE**

**SITE** 

1 inch = 300 feet

**Item** 8C



9. DP-1978-125 **PRESENTED BY:** Larry E. Speaks & Associates, Inc.

**REPRESENTING:** Al Hilal Recycling LLC

**SUBJECT:** Public hearing for a development plan for expansion of an auto salvage yard located at 4425 Northern Boulevard in an M-3 (General Industry) Zoning District.

**REMARKS:** The petitioner has submitted plans for the expansion of an existing salvage yard to include the 7.28-acre parcel to the west of existing business. All applicable requirements will be met.

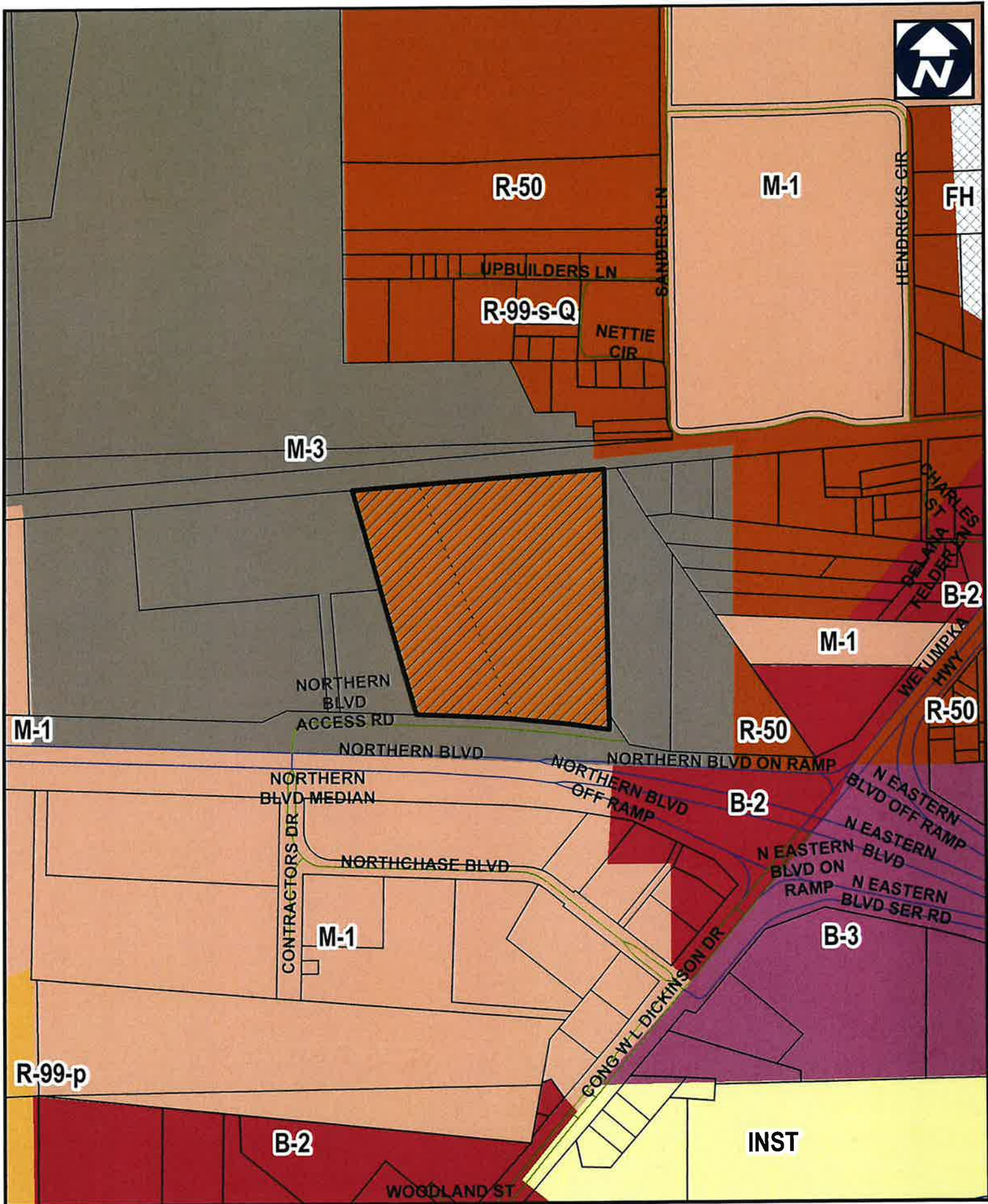
On October 19, 2023, the Board of Adjustment approved a special exception to expand the auto salvage yard.

**CITY COUNCIL DISTRICT: 2**

**PLEASE NOTE:**

*This request does not require action by the Planning Commission; however, does require a public hearing for the purpose of providing the public an opportunity to express opinions, per Ord. No. 10-2024.*

*All requests are subject to the Zoning Ordinance and/or Subdivision Regulations, and all department comments/requirements must be complied with prior to being released for permitting.*



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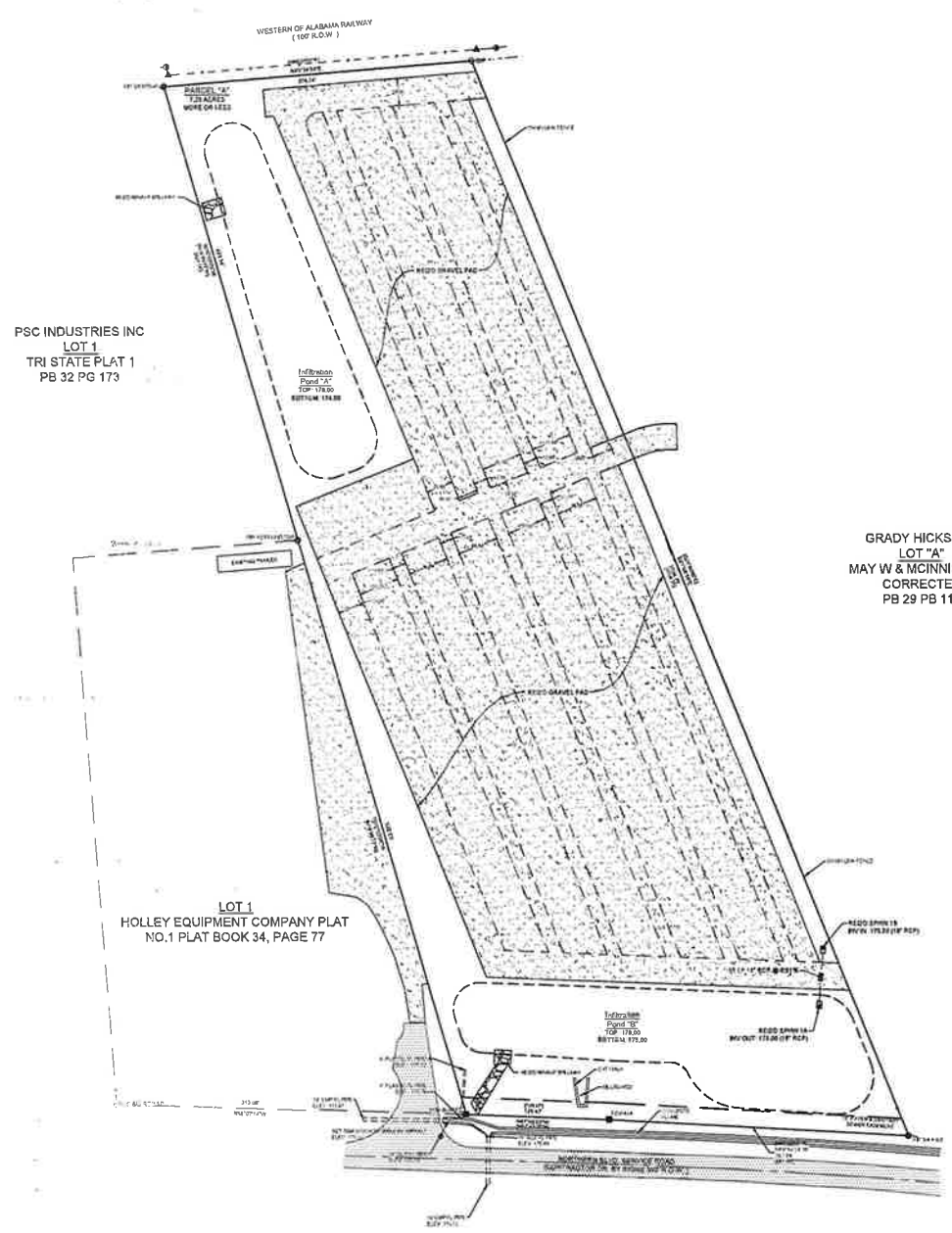
SITE 

1 inch = 500 feet

Item 9A



9b



PSC INDUSTRIES INC  
LOT 1  
TRI STATE PLAT 1  
PB 32 PG 173

GRADY HICKS LLC  
LOT "A"  
MAY W & MCINNIS PLAT  
CORRECTED  
PB 29 PB 112

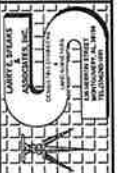
LOT 1  
HOLLEY EQUIPMENT COMPANY PLAT  
NO.1 PLAT BOOK 34, PAGE 77

STATE PLANE  
NORTH GRID



**LEGEND**

EXISTING	PROPOSED
1. EXISTING CURB	1. GRAVEL
2. EXISTING ASPHALT	2. CONTOUR
3. EXISTING CONCRETE	3. SILT FENCE
4. EXISTING SAND	4. WATTLE
5. EXISTING GRAVEL	
6. EXISTING ASPHALT	
7. EXISTING CONCRETE	
8. EXISTING SAND	
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97. EXISTING GRAVEL	
98. EXISTING ASPHALT	
99. EXISTING CONCRETE	
100. EXISTING SAND	



CONSTRUCTION DOCUMENTS  
AL HILAL RECYCLING, LLC  
LOCATED IN THE SW1 SECTION 28  
T-17-N, R-18-E  
MONTGOMERY COUNTY, ALABAMA

NO.	DATE	DESCRIPTION

NO.	DATE	INITIALS

DRAWING TITLE:  
**OVERALL SITE PLAN**

SHEET  
**3**  
3 OF 5





MAP FOR REFERENCE ONLY.  
NOT A LEGAL DOCUMENT.  
MEASUREMENTS ARE APPROXIMATE,  
NOT SURVEY GRADE

SITE 

1 inch = 200 feet

Item 9C



10. RZ-2024-013 **PRESENTED BY:** Larry E. Speaks & Associates

**REPRESENTING:** Progressive Real Estate LLC

**SUBJECT:** Request to rezone property on the south side of Atlanta Highway, between Dunn Drive and Bradley Drive (aka 2810 Atlanta Highway), from an O-1 (Office) Zoning District to a B-2 (Commercial) Zoning District.

**REMARKS:** The intended use for this property is for a daycare. The adjacent property has B-2 (Commercial) zoning to the east and west; R-100 (Single-Family Residential) to the north; and R-60-s (Single-Family Residential) zoning to the south.

The Envision Montgomery 2040 Comprehensive Plan recommends Institutional / Civic.

**Department of Planning Comment(s):** The Planning Department does not object to the proposed rezoning request. A daycare is a type of school at a lower level and is similar to the institutional use of a school.

**CITY COUNCIL DISTRICT: 1**

**PLEASE NOTE:**

*If there are any department comments relevant to the approval by the Planning Commission, they would be included on this agenda.*

*All requests are subject to the Zoning Ordinance and/or Subdivision Regulations, and all department comments/requirements must be complied with prior to being released for permitting.*

10A

## INSTITUTIONAL / CIVIC (IN)

Land and buildings occupied by municipal and other governmental agencies for the exercise of their functions, such as major libraries, airports, public schools and public safety facilities. Semi-public uses such as hospitals and other major institutions such as large church facilities are included. These sites often have a development pattern that is unique to each area and may differ significantly from their surroundings. Small-scale institutional uses may be incorporated into the surrounding context in residential or commercial areas.

### INTENT

- ★ Encourage integration of institutional uses with adjacent neighborhoods, urban areas, commercial corridors, and open spaces.
- ★ Provide appropriate connectivity to nearby uses through sidewalks, paths and streets.



The Juliette Hampton Morgan Memorial Library by Rivers A. Langley

## OPEN SPACE / RECREATION (OS)

Public and private parks, recreational open space or undeveloped natural areas that are permanently protected from development by the city, state, county, or some other authority. This classification also includes golf courses that function as open space.

### INTENT

- ★ Ensure parks and public recreational amenities are available to all neighborhoods.
- ★ Conserve environmentally sensitive land.
- ★ Develop a connected open space system through trail connections between natural areas and designated parks, public or private.



## POTENTIAL OPEN SPACE (PO)

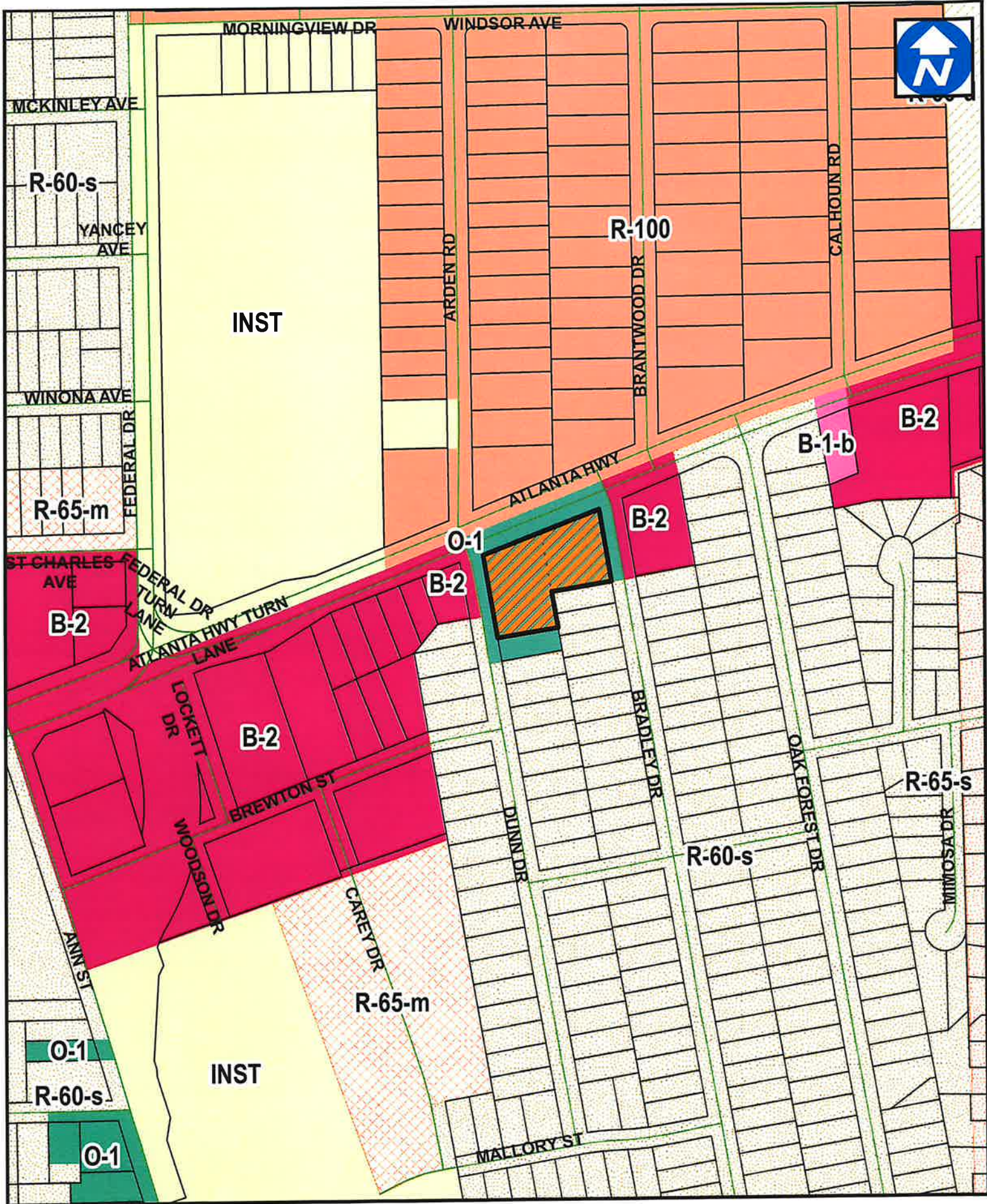
Potential Open Space is undeveloped land that is not currently preserved but should be considered for conservation. These areas often exhibit potential for flooding or are deemed inappropriate for development due to significant physical or environmental limitations. In some cases, these lands also serve as buffers to separate areas that may have the potential to become conflicting land uses.

### INTENT

- ★ Consider formal conservation of environmentally sensitive land through various means.
- ★ Minimize development in designated areas based on existing natural features.
- ★ Develop a connected open space system through trail connections between natural areas and designated parks, public or private.
- ★ Promote buffering of incompatible land uses using natural features such as greenways, waterways, and wooded areas.







MAP FOR REFERENCE ONLY.  
 NOT A LEGAL DOCUMENT.  
 MEASUREMENTS ARE APPROXIMATE,  
 NOT SURVEY GRADE

SITE 

1 inch = 300 feet

Item 10B





MAP FOR REFERENCE ONLY.  
NOT A LEGAL DOCUMENT.  
MEASUREMENTS ARE APPROXIMATE,  
NOT SURVEY GRADE

SITE 

1 inch = 100 feet

Item 100



11. DP-1974-008 **PRESENTED BY:** Goodwyn Mills Cawood

**REPRESENTING:** Kershaw YMCA

**SUBJECT:** Public hearing for a development plan for an addition to the structure located at 2225 West Fairview Avenue in an M-1 (Light Industry) Zoning District.

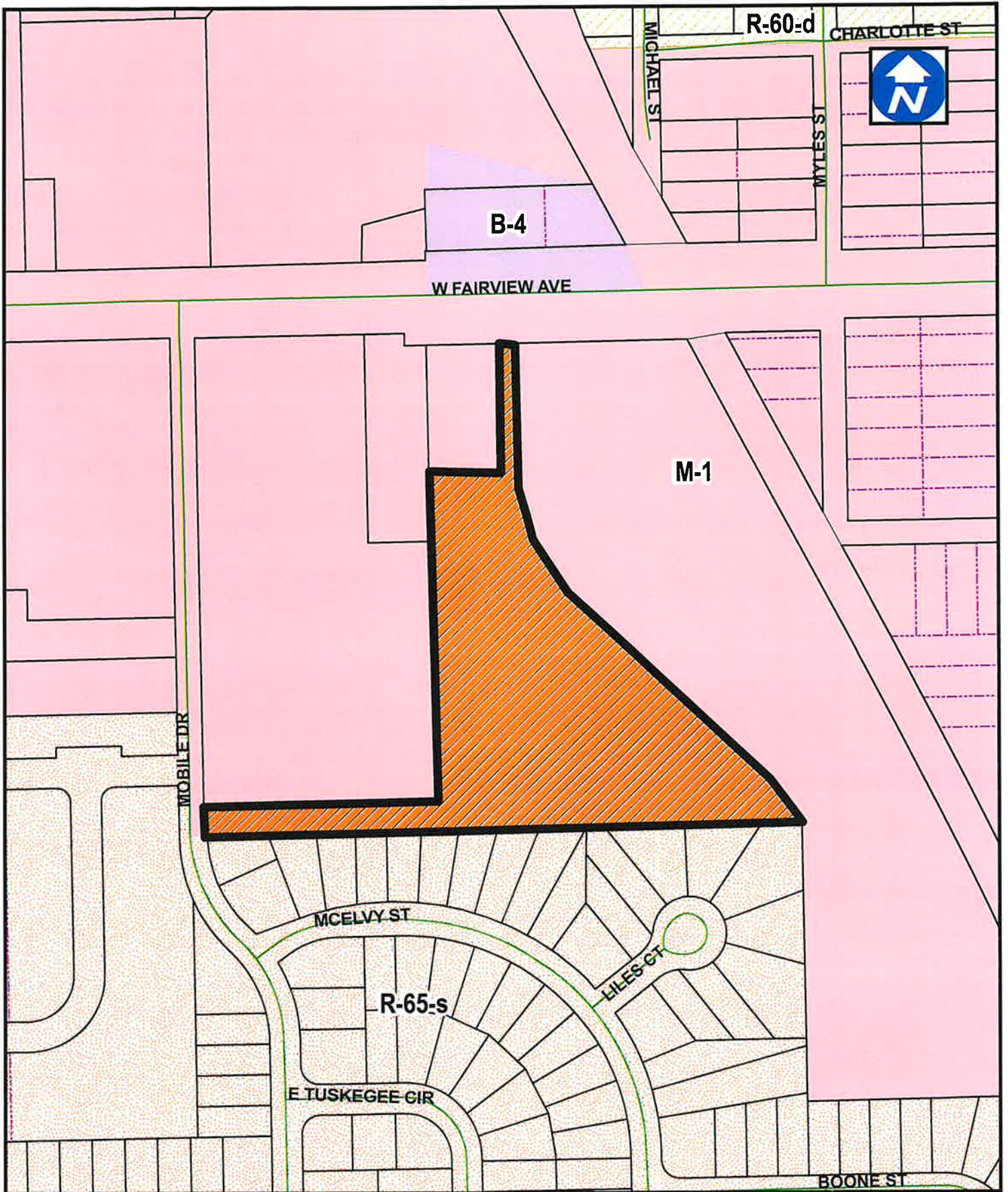
**REMARKS:** The petitioner has submitted plans to construct a 2,480 sq. ft. addition to the west side of the existing structure for recreational use. All parking and access drives will remain as is. All applicable requirements will be met.

**CITY COUNCIL DISTRICT: 4**

**PLEASE NOTE:**

*This request does not require action by the Planning Commission; however, does require a public hearing for the purpose of providing the public an opportunity to express opinions, per Ord. No. 10-2024.*

*All requests are subject to the Zoning Ordinance and/or Subdivision Regulations, and all department comments/requirements must be complied with prior to being released for permitting.*

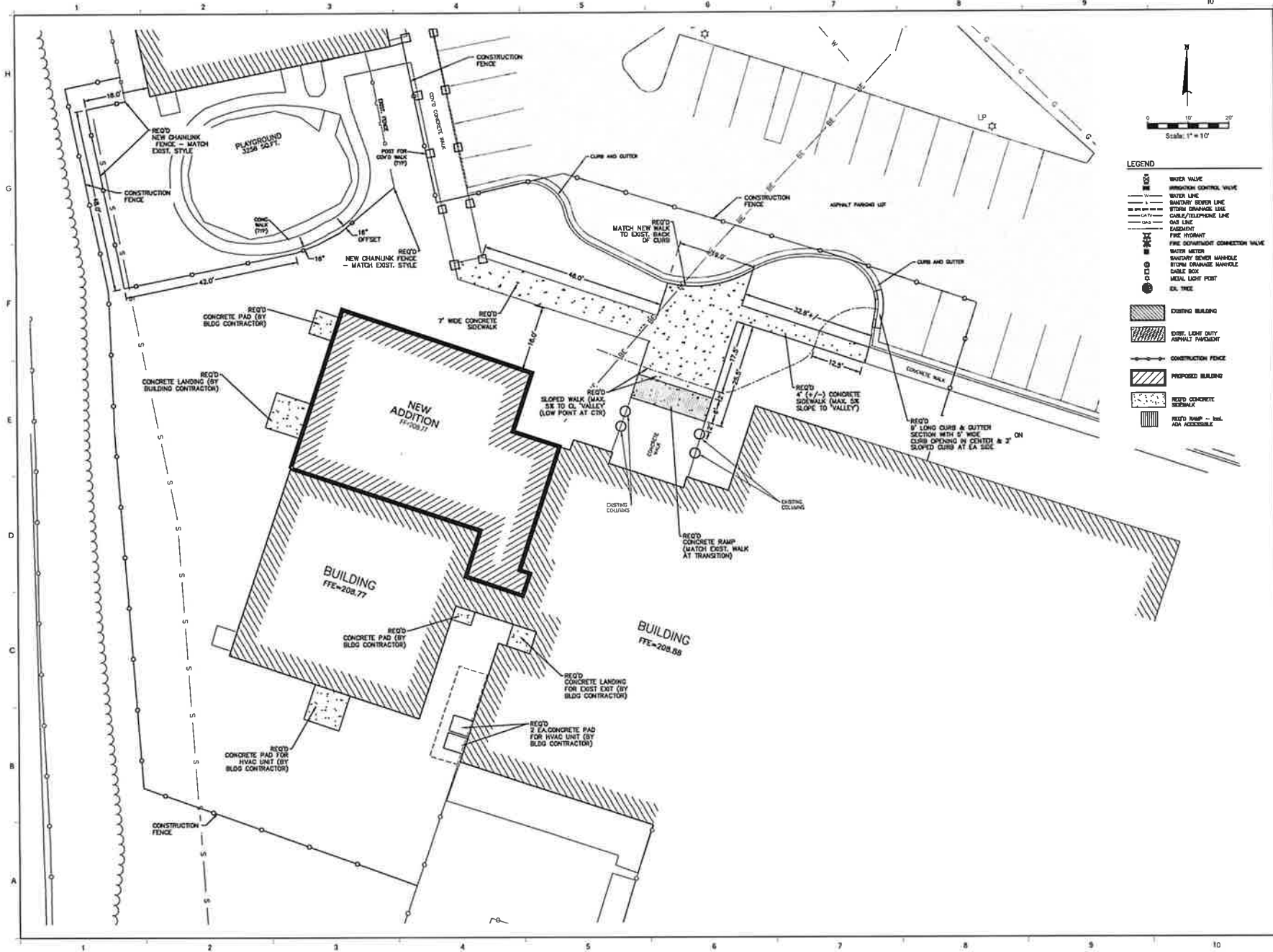


Site 

1 inch = 200 feet

Item   LLA





11B

**GMC**

2660 East Chase Lane, Suite 200  
 Montgomery, AL 36117  
 T 334.271.3200  
 GMCNETWORK.COM

- LEGEND**
- WATER VALVE
  - IRRIGATION CONTROL VALVE
  - WATER LINE
  - SANITARY SEWER LINE
  - STORM DRAINAGE LINE
  - CABLE/TELEPHONE LINE
  - GAS LINE
  - EASEMENT
  - FIRE DEPARTMENT CONNECTION WALK
  - WATER METER
  - SANITARY SEWER MANHOLE
  - STORM DRAINAGE MANHOLE
  - CABLE BOX
  - METAL LIGHT POST
  - TREE
- EXISTING BUILDING
  - EAST, LIGHT DUTY ASPHALT PAVEMENT
  - CONSTRUCTION FENCE
  - PROPOSED BUILDING
  - REQ'D CONCRETE SIDEWALK
  - REQ'D RAMP - INCL. ADA ACCESSIBLE

ISSUE DATE	DESCRIPTION

KERSHAW YMCA  
 ADDITIONS & RENOV.  
 Montgomery, Alabama

AMGM240001

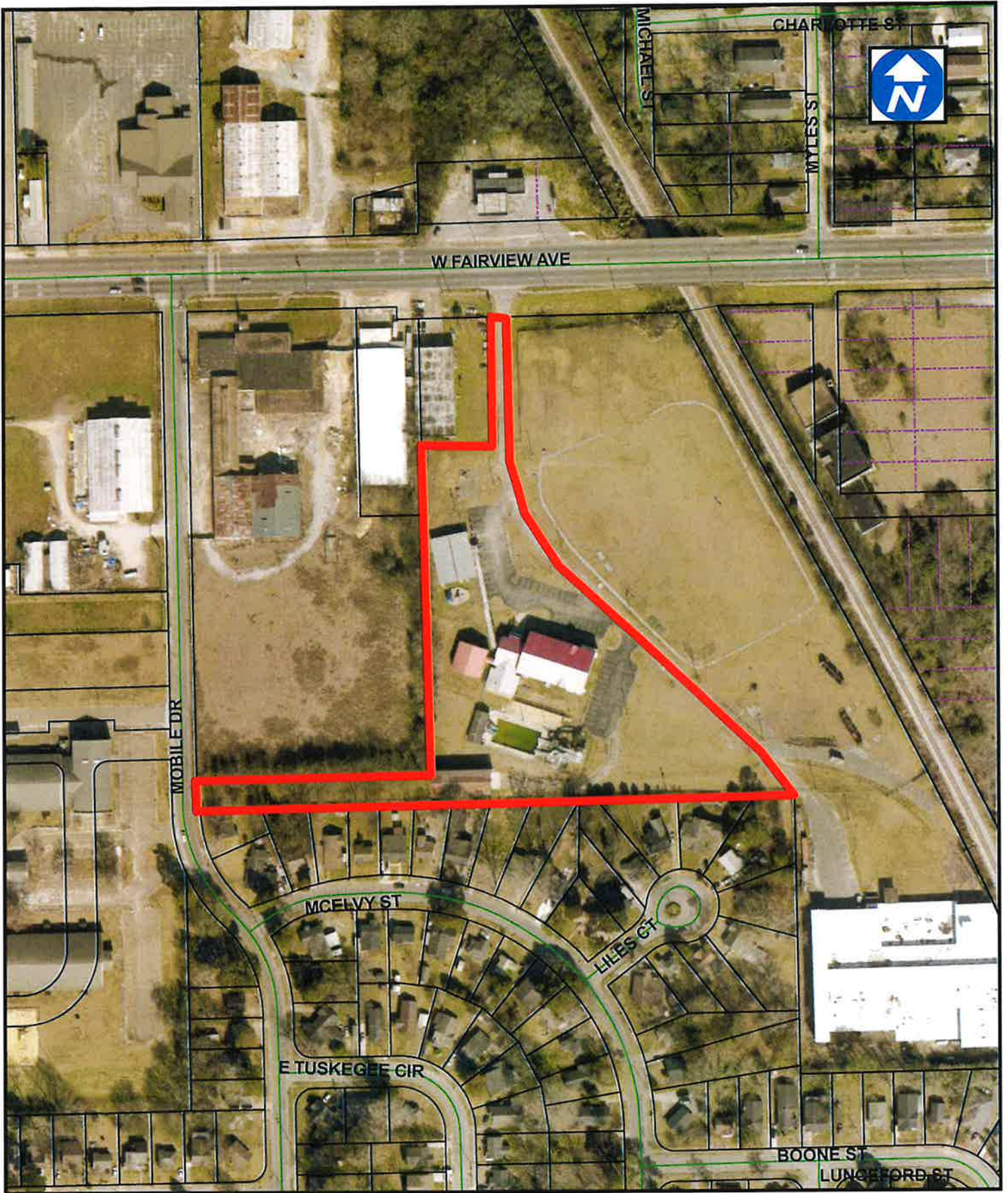


SITE LAYOUT PLAN

C-101

DATE: 07





Site 

1 inch = 200 feet

Item ILC



12. 9308 **PRESENTED BY:** Goodwyn Mills Cawood

**REPRESENTING:** PM Crimson, LLC

**SUBJECT:** Request final approval of Montgomery Promenade Plat No. 1-B located on the west side of Eastern Boulevard, approximately 800 ft. north of Vaughn Road, in a B-3 (Commercial) Zoning District.

**REMARKS:** This plat creates two (2) lots for commercial use. Lot C-1 (13.092 acres) has 321.23 ft. of frontage along Eastern Boulevard and a depth of approximately 900 ft. Lot C-2 (0.936 acre) has 198.24 of frontage along Eastern Boulevard and a depth of 205 ft. This plat is in compliance with the Zoning Ordinance and Subdivision Regulations for this district.

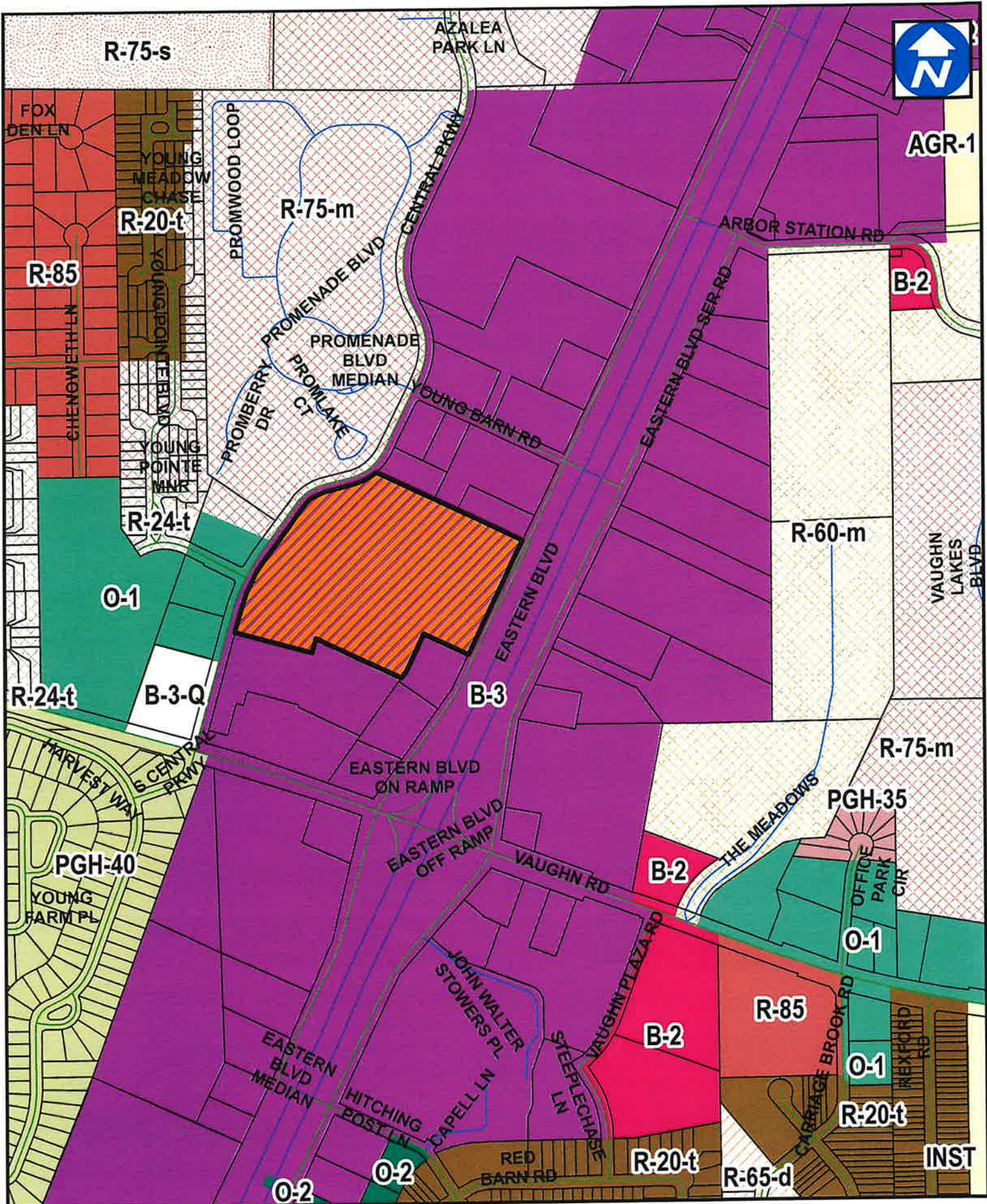
**CITY COUNCIL DISTRICT: 5**

**PLEASE NOTE:**

*If there are any department comments relevant to the approval by the Planning Commission, they would be included on this agenda.*

*All requests are subject to the Zoning Ordinance and/or Subdivision Regulations, and all department comments/requirements must be complied with prior to being released for permitting.*





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 NOT A LEGAL DOCUMENT.  
 MEASUREMENTS ARE APPROXIMATE,  
 NOT SURVEY GRADE

SITE 

1 inch = 500 feet

Item 12A





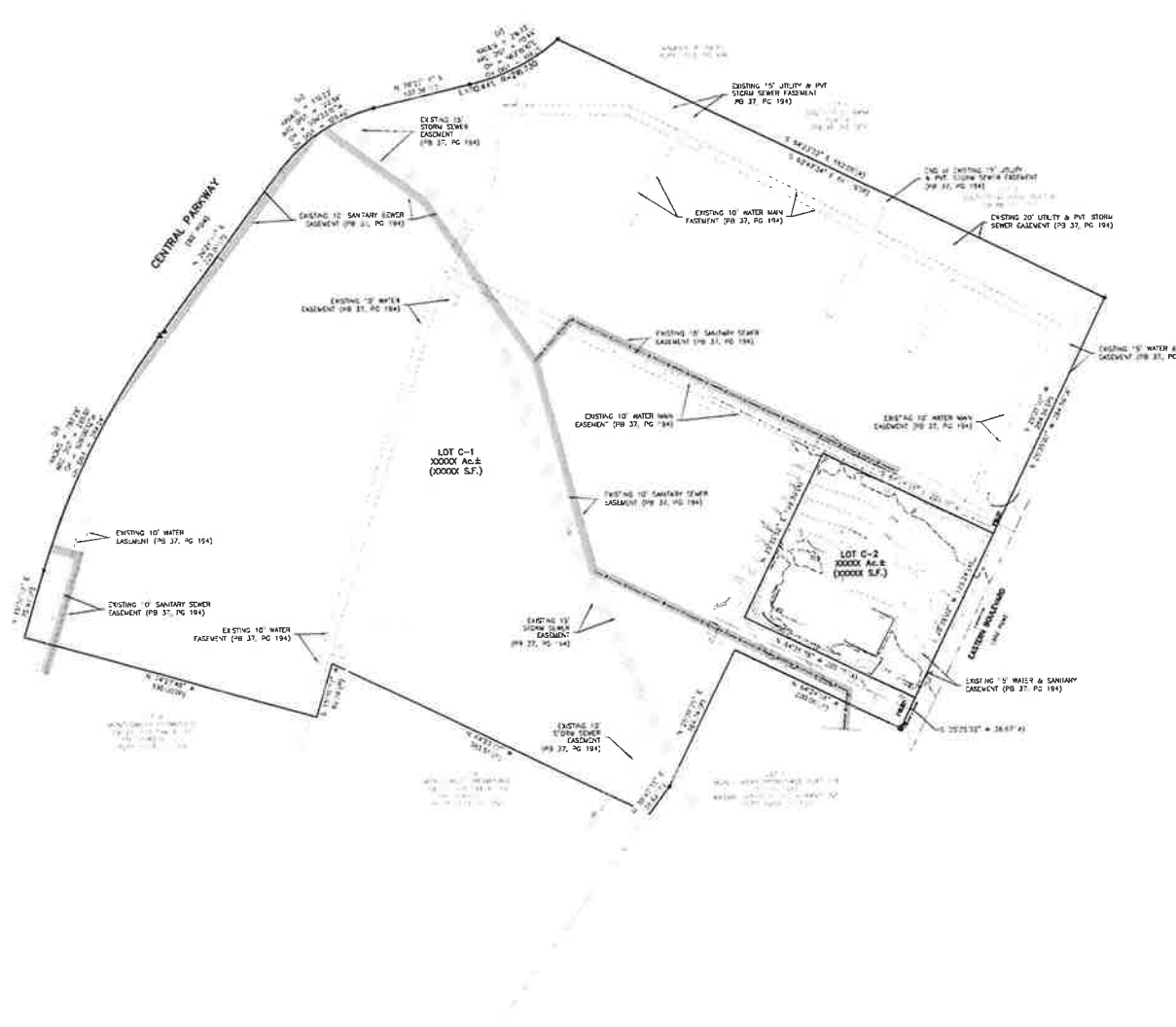
Map of  
MONTGOMERY PROMENADE PLAT NO. 1-B

Being a Part of a Map of Montgomery Promenade PB 37 PG 194 & 195  
Lumpkin's 1947 1st Edition, Volume 1, Sheet 10-34  
Montgomery County, Alabama

Goodwyn Mills Cawood, LLC  
Engineers - Architects - Planners - Surveyors  
1000 Peachtree Ave. Suite 2700  
Atlanta, Georgia 30309  
Phone: (404) 771-3200

SHEET DATA		SCALE: 1"=40'	
NO.	DATE	BY	CHKD.
1	10/20/24	JTC	JTC
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SET 1/2" REBAR (GMC CAP. CA1196)



STATE OF ALABAMA )  
MONTGOMERY COUNTY )

The undersigned, PM CRIMSON, LLC, an Alabama limited liability company, owner of the property shown herewith, hereby joins in execution and signs the foregoing surveyor's certificate, plat and map, and accepts and approves said instrument on this the \_\_\_\_\_ day of \_\_\_\_\_, 2024.

PM CRIMSON, LLC  
an Alabama limited liability company

SIGNATORY NAME & TITLE \_\_\_\_\_

STATE OF ALABAMA )  
MONTGOMERY COUNTY )

I, the undersigned authority, a Notary Public in and for said State and County, hereby certify that \_\_\_\_\_ whose name is \_\_\_\_\_ of PM Crimson LLC, an Alabama limited liability company is signed to the foregoing instrument and who is known to me, acknowledged before me on this day that, being informed of the contents of said instrument, he/she, as such \_\_\_\_\_ and with full authority, consented the same voluntarily for and as the act of said limited liability company.

Given under my hand and seal on this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

NOTARY PUBLIC  
My Commission Expires \_\_\_\_\_

STATE OF ALABAMA )  
MONTGOMERY COUNTY )

I, Shawn Yuhaz, a registered Land Surveyor of Montgomery, Alabama, hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the state of Alabama, to the best of my knowledge, information and belief.

Shawn Yuhaz, PLS REG 31152.5 Date \_\_\_\_\_

STATE OF ALABAMA )  
MONTGOMERY COUNTY )

This plat was submitted to the City Planning Commission of Montgomery, Alabama, on \_\_\_\_\_ and is approved according to the Code of Alabama (11-22-32).

Walter Adams \_\_\_\_\_ Date \_\_\_\_\_  
Executive Secretary

12B





MAP FOR REFERENCE ONLY.  
NOT A LEGAL DOCUMENT.  
MEASUREMENTS ARE APPROXIMATE,  
NOT SURVEY GRADE

SITE 

1 inch = 300 feet

Item 12C



13. RZ-2024-015 **PRESENTED BY:** Goodwyn Mills Cawood

**REPRESENTING:** Katherine M. Rees, Trustee of the A.J. McLemore Jr. Land Interest Trust & Lowder New Homes

**SUBJECT:** Request master plan approval and to rezone property containing 113.525 acres (+/-) located on the north side of Atlanta Highway, approximately 150 ft. west of Seminole Drive, from R-100 (Single-Family Residential) and AGR-2 (General Agriculture) Zoning Districts to a PUD (Planned Unit Development) Zoning District.

**REMARKS:** The intended use for this property is to develop single-family residential and townhouses. The adjacent property has R-100 (Single-Family Residential) to the north and west; R-100 (Single-Family Residential), R-85 (Single-Family Residential), and AGR-2 (General Agriculture) zoning to the east; and PUD (Planned Unit Development) and O-1 (Office) zoning to the south. This PUD will connect to Deer Trail Road and Savannah Drive to the east; and Old Barn Road to the west.

The Envision Montgomery 2040 Comprehensive Plan recommends Potential Open Space.

**McLemore PUD**

<b><u>Lot Width</u></b>	<u>28 ft. (Townhouse)</u>	<u>50 ft.</u>	<u>60 ft.</u>	<u>70 ft.</u>
<b><u>Setbacks</u></b>				
<i>Front</i>	20 ft.	20 ft.	20 ft.	20 ft.
<i>Rear</i>	15 ft.	20 ft.	20 ft.	20 ft.
<i>Side</i>	10 ft. (unattached ends)	5 ft.	5 ft.	5 ft.
<i>Street Side</i>	n/a	20 ft.	20 ft.	20 ft.
<b><u>Height</u></b>	35 ft. 2 stories	35 ft. 2 stories	35 ft. 2 stories	35 ft. 2 stories
<b><u>Parking</u></b>	2 spaces	1 space	1 space	1 space

**Department of Planning Comment(s):** The Planning Department objects to the proposed rezoning request, as it is currently master planned with townhouses on the front side or entrance to the development. Would prefer all single-family residential homes or a lower density of duplex style homes. The potential open space recommendation is incorrect and does not fully meet the intent in-that it's not an environmentally sensitive land, it is not in a floodplain or flood prone area, and it is not an area designated for parks, recreation or open space. Also, connectivity is not shown at existing street stub-out connection points on each side of existing subdivisions.

***\*\*\*continued on next page\*\*\****

## **#13 continued**

**Traffic Engineering Comment(s):** The proposed rezoning of the referenced parcel to a PUD as shown would create a substantial impact to traffic to Atlanta Highway, a City-maintained primary arterial roadway. The initial traffic submittal by the engineer outlines the intent of the developer to perform a Traffic Impact Study (TIS), which the Traffic Engineering Department confirms will be necessary if the rezoning is approved. The following are some traffic concerns that would need to be addressed:

- The number of trips generated from a 407-unit residential development has the potential to negatively impact the operation of existing accesses for nearby residential and commercial properties. The TIS would need to study these unsignalized accesses to determine the effects on vehicle delay and levels of service and recommend improvements.
- The referenced property is located between two existing residential subdivision accesses that are spaced at approximately 1,600 feet. The ALDOT Access Management Manual guidelines for a divided highway with a posted speed limit >45mph recommend a minimum of 1,320 feet between full access driveways, meaning any full access entrances to the proposed development would not be able to meet these spacing minimums.

### **CITY COUNCIL DISTRICT: 1**

#### **PLEASE NOTE:**

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13A

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- ★ Encourage integration of institutional uses with adjacent neighborhoods, urban areas, commercial corridors, and open spaces.
- ★ Provide appropriate connectivity to nearby uses through sidewalks, paths and streets.



The Juliette Hampton Morgan Memorial Library by Rivers A. Langley

## OPEN SPACE / RECREATION (OS)

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## POTENTIAL OPEN SPACE (PO)

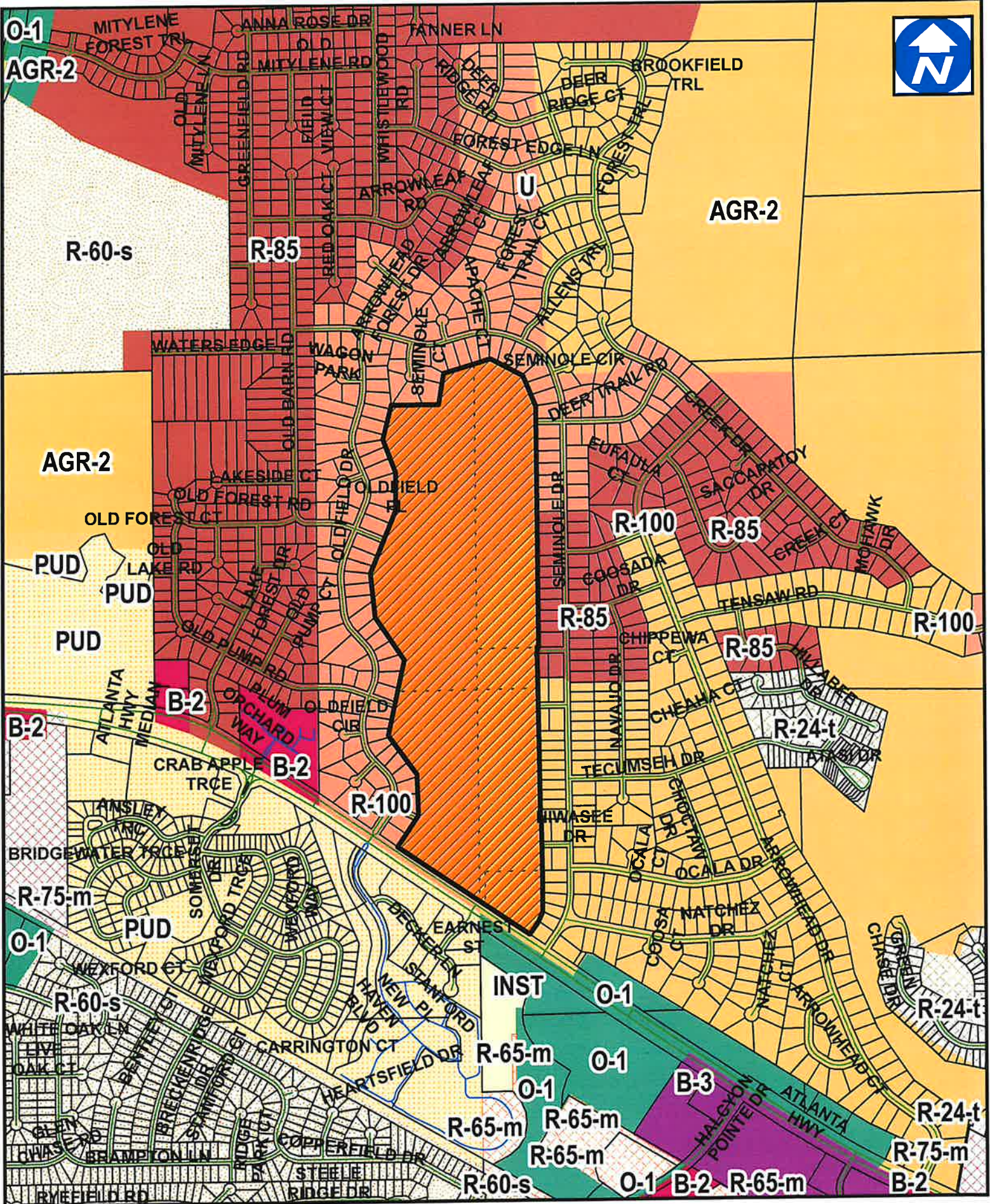
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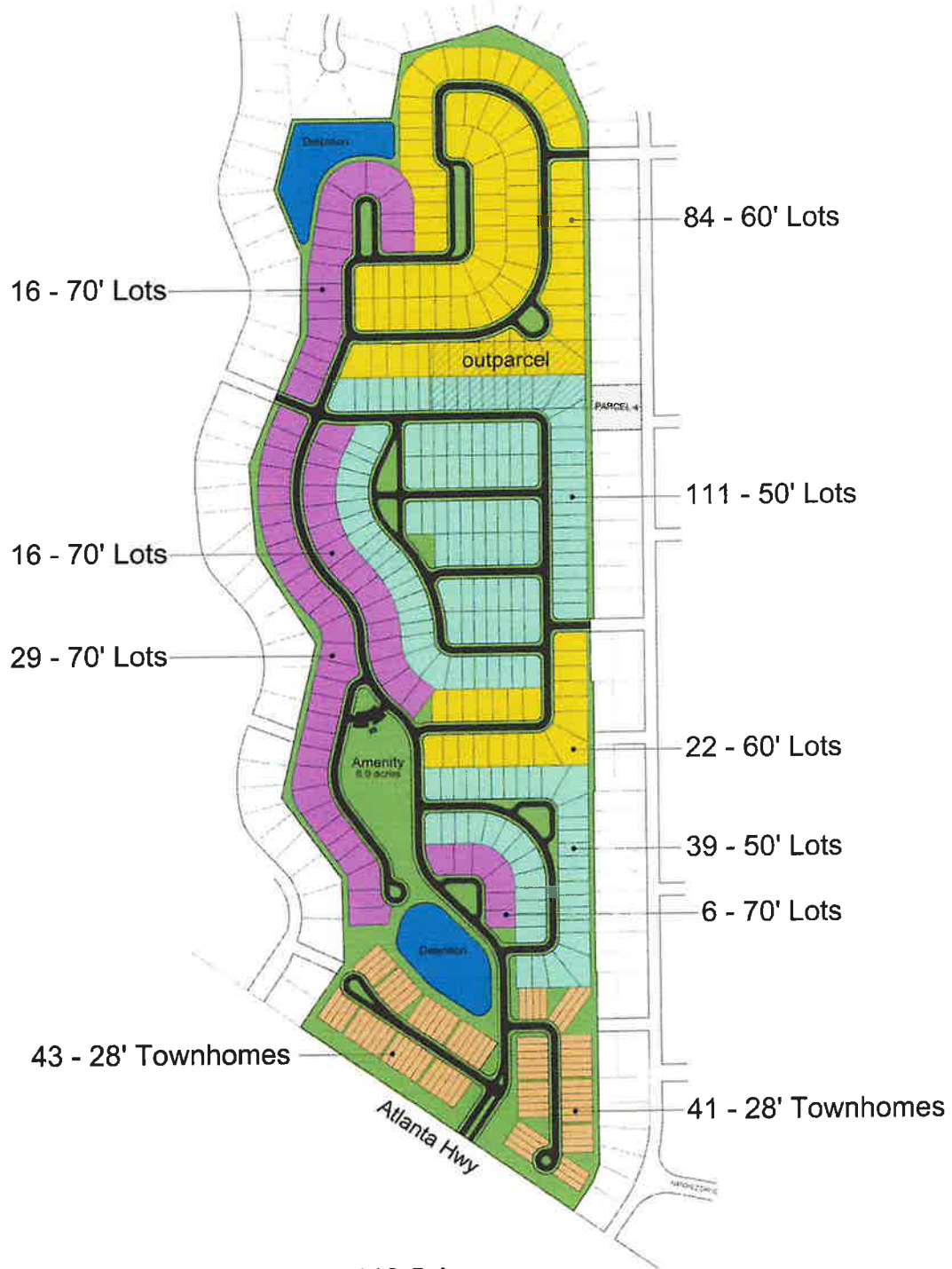
MAP FOR REFERENCE ONLY.  
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SITE 

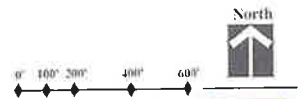
1 inch = 1,000 feet

Item 13B





Total Parcel Acreage - 113.5 Acres  
 Total Community Greenspace - 21.5 Acres



**MASTER PLAN**  
**MCLEMORE ATLANTA HWY TRACT**  
 Montgomery, Alabama



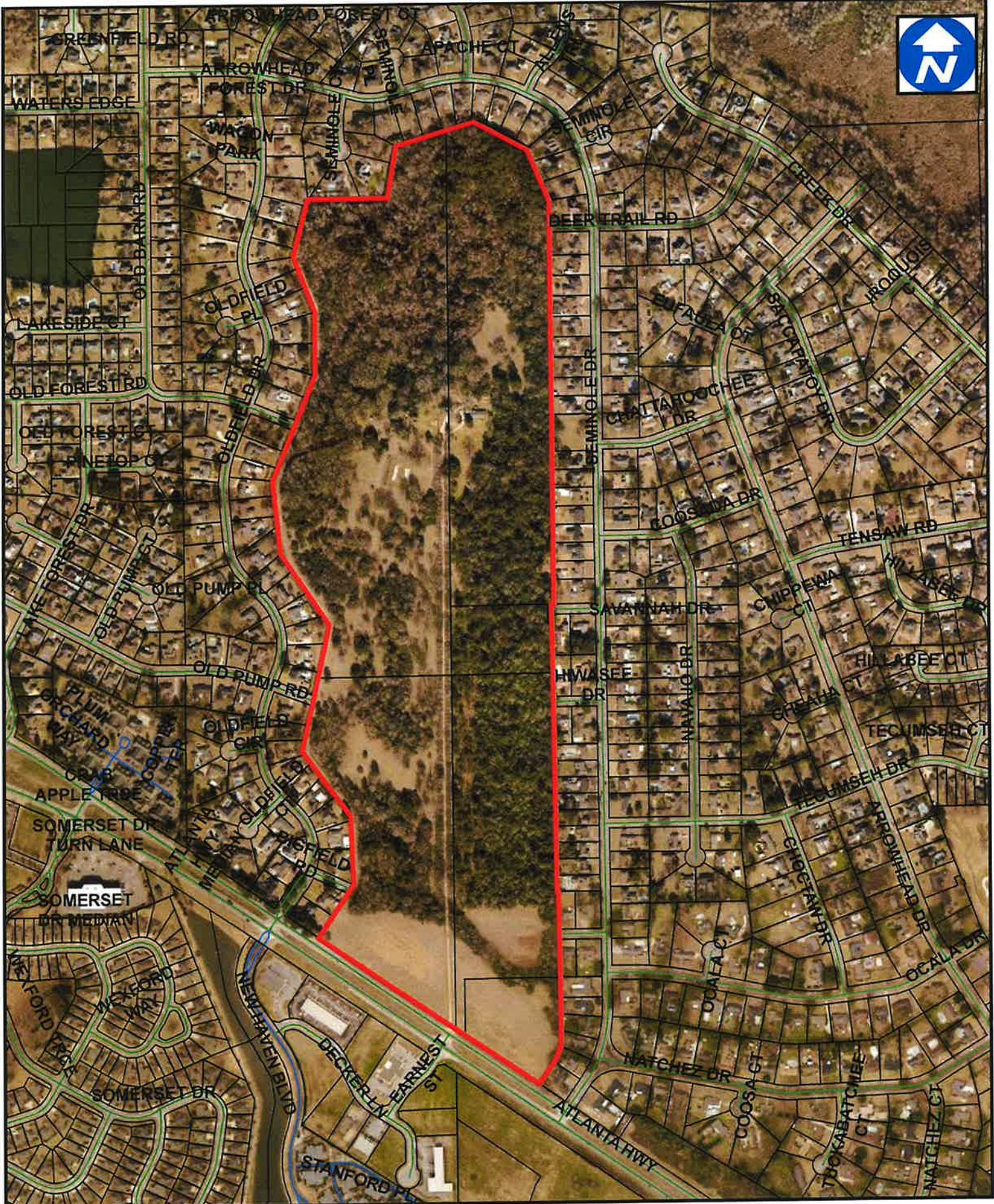
Lowder New Homes  
 Montgomery, Alabama

The drawings presented are illustrative of character and design intent only, and are subject to change without notice. All dimensions and specifications are subject to change without notice. © 2018 BSB Design, Inc.

June 26, 2024

130





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MEASUREMENTS ARE APPROXIMATE,  
NOT SURVEY GRADE**

**SITE** 

1 inch = 600 feet

**Item** 13D