

ARCHITECTURAL REVIEW BOARD

A G E N D A

May 28, 2024 – 5:30 p.m.
Council Auditorium, City Hall
(103 North Perry Street)

ARCHITECTURAL REVIEW BOARD MEMBERS

Ms. Elizabeth Brown, Chair

Ms. Katie Williams, Vice Chair

Ms. Kahlia Bell

Mr. Cedric Campbell

Mr. Jon Hayden

Mr. Jake Johnson

Ms. Hillary Morgan

Mr. Barry G. Robinson

Mr. Sam Youse

LAND USE DIVISION
Warren Adams
Executive Secretary



- I. Approval of the minutes from the April 23, 2024, meeting**
- II. Administrative Actions**
- III. Full Review Items**
- IV. Discussion and formal comments from the board on Section 4 (Additions and New Construction) of draft revised ARB guidelines**

<u>Item</u>	<u>Petitioner</u>	<u>Historic District</u>	<u>Location</u>
1.	Cassie Warren	Old Cloverdale	1201 Magnolia Curve
2.	George Theodoratos	Old Cloverdale	1131 Magnolia Curve
3.	Devin and Bhushan Bopche	Cloverdale Idlewild	3149 Le Bron Road
4.	Matthew Schwonek	Garden District	303 Felder Avenue
5.	Nick Henninger	Cottage Hill	15 N. Goldthwaite Street
6.	Dan Davis	Garden District	1924 Norman Bridge Court
7.	Thomas Craze	Cloverdale Idlewild	3124 Lexington Road
8.	Wesley Black	Garden District	1601 Gilmer Avenue

**The next meeting of the Architectural Review Board will be on
Tuesday, June 25, 2024, at 5:30 p.m.**

II. Administrative Actions

Date	Address	Historic District	Request/Violation	Action
4/15/2024	3311 Wellington Rd.	Cloverdale-Idlewild	Request for new shutters denied & they have not yet been removed	Filed deposition form with Municipal Court
4/17/2024	1324 South Perry Street	Garden District	Request to remove Willow Oak tree in rear yard, adjacent to retaining wall	UF granted administrative approval to remove the tree
4/25/2024	3 N. Goldthwaite St.	Cottage Hill	Revised sign request that ARB previously approved	Approved the revised request on administrative basis
4/29/2024	908 Cloverdale Road	Old Cloverdale	Request to remove dead trees	UF granted administrative approval to remove the dead trees
4/29/2024	1810 Madison Ave	Capitol Heights	Original red brick painted light/powder blue without COA	Drafted violation resolved letter to notify owner that the issue is resolved after ARB approved the application after-the-fact
5/3/2024	1927 Madison Ave	Capitol Heights	Request to remove a bradford pear tree	UF gave admin approval to remove the southernmost bradford pear tree due to it being hazardous
5/9/2024	333 Mildred St	Cottage Hill Annex	Contractor called about in-kind repair of detached accessory structure damaged by a tree during a storm	Mr. Cherry said they will take a few rafters off front, repair the building, then will put the rafters back on as they were. Advised this is an in-kind repair & no need to go through an ARB application. Advised to be sure he gets a building permit if required.
5/9/2024	1848 Norman Bridge Rd	Garden District	Tree limb fell through roof week of last Thanksgiving	Hole in roof still not covered with tarp nor repaired. GDPA negotiating with the owner for possible purchase or donation. Issued violation letter due citing Demo. by Neglect

5/10/2024	3124 Lexington Rd	Cloverdale-Idlewild	Request to replace a tree in the front (southeast) corner of residence with a wraparound garden bed	Granted administrative COA for the tree removal because it is less than 12" in diameter at the base
4/15/2024	3311 Wellington Rd.	Cloverdale-Idlewild	Request for new shutters denied & they have not yet been removed	Filed deposition form with Municipal Court
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III. Full Item Review.

OLD BUSINESS

1. PRESENTED BY: Cassie Warren

SUBJECT: Request for approval to install a new pergola in the front yard of the property located at 1201 Magnolia Curve (Old Cloverdale).

REMARKS: Mrs. Warren is requesting approval to install a new pergola in the front yard that will measure 20' W x 10' L x 9' H. It will be made of cedar wood and be sited on the east side of the front yard. The attached photo depicts flooring and handrails but only the pergola is requested currently. Mrs. Warren indicated she may lay down pavers or brick later, but they would only be temporary in nature. The pergola will be stained but not painted.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

Zoning: R-65-s

DEPARTMENT COMMENTS and STAFF RECOMMENDATION:

- No objection: staff recommend approval.

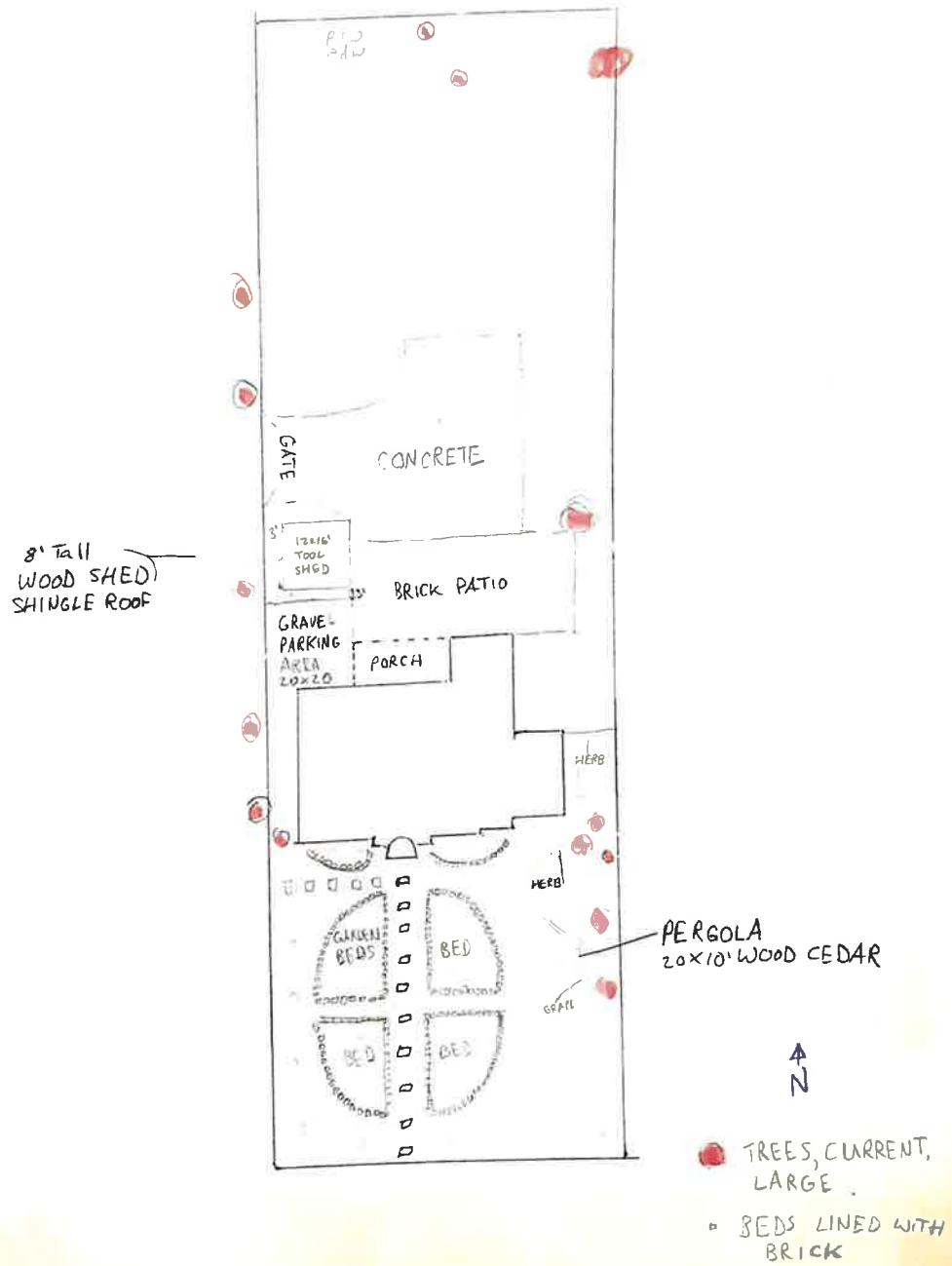
NOTES _____

ACTION _____



1201 Magnolia Curve (Old Cloverdale), South façade and example of pergola design, 03/08/24

SHED + GARDEN (END STATE)



1201 Magnolia Curve (Old Cloverdale), front yard garden and pergola site plan

2. PRESENTED BY: Dio/Bama Realty

SUBJECT: Request for approval after-the-fact to replace 13 windows for the property located at 1131 Magnolia Curve (Old Cloverdale). VIOLATION

REMARKS: The property owner, Mr. Theodoratos, is requesting approval, after the fact, to retain 13 Anderson vinyl windows that were installed on the residence. The original windows appear to have been true divided 6:6 lites made of wood. The replacement windows have had wooden grids affixed to the outside of the frames, creating a simulated divided 6:6 lite pattern.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

Zoning: R-60-s

DEPARTMENT COMMENTS and STAFF RECOMMENDATION:

- The original request on the April 2023 ARB agenda was denied and the petitioner did not comply with the denial; thus, the outstanding violation was filed in Municipal court.
- Based on subsequent inspection and discussion with the owner’s representative, Bama Realty, LLC, staff recommend that the board consider approving these vinyl windows with wooden grids insitu as a compromise solution, with the petitioner acknowledging and agreeing to the following conditions: that the grids must be maintained over time, that any work to remove the grids in the future would require a Certificate of Appropriateness (COA), & that, if the petitioner or the owner that the petitioner represents owns any other property in the City of Montgomery, before making any exterior alterations they will call the Land Use Division to check if is historically designated and therefore requires a COA from the ARB.

NOTES _____

ACTION _____

4/30/24, 3:26 PM

Magnolia Curve - Google Maps

Google Maps Magnolia Curve



Montgomery, Alabama
Google Street View
Apr 2013 See latest date

Image capture: Apr 2013 © 2024 Google



1131 Magnolia Curve (Old Cloverdale), original windows, 04/2013

2A



1131 Magnolia Curve (Old Cloverdale), current condition with replacement windows, 04/10/2023

2B



1131 Magnolia Curve (Old Cloverdale), east elevation and window detail, 08/31/2023

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1131 Magnolia Curve (Old Cloverdale), window and grid detail, 08/31/2023

NEW BUSINESS

3. PRESENTED BY: Devin and Bhushan Bopche

SUBJECT: Request for approval to install a new privacy fence for the property located at 3149 Le Bron Road (Cloverdale Idlewild).

REMARKS: Mr. and Mrs. Bopche are requesting approval to install a new 6’ H dog-eared wood privacy fence to enclose the rear yard. The wood will be treated pine and natural in color. The proposed fence will be 335 linear feet and include a 4’ W single gate on the south side and a 10’ W double gate on the north side (see photos). The fence would run along the north and south sides of the rear yard, attach to an existing fence along the eastern property boundary, and returns between the front and rear corners of the residence. The return on north side would be approximately 21.5’ from the front corner, just east of a screened porch; the return on the south side would be approximately 8.3’ from the front corner and just east of a gas line.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

Zoning: R-75-s

DEPARTMENT COMMENTS and STAFF RECOMMENDATION:

- This application did not meet expedited review criteria because the fence returns between the front and rear corners of the house.
- No objection: staff recommend approval.

NOTES _____

ACTION _____

3149 Le Bron Road

Application for fence

Devin Yates Bopche and Bhushan Bopche, April 2024

Official lot line of property Alabama Land Surveyors, LLC

- Description: Lot 18, Block 11 of South Cloverdale Plat No. 1, as recorded in Map Book 4, Page 71, in the Probate Office of Montgomery County, Alabama.
- Situated in the Northeast 1/4 of the Southeast 1/4 of Section 19, Township 16N, Range 18E, Montgomery County, Alabama containing 0.39 acres +/-.



Fence proposal

Fence Fransys Victory & Deck, LLC

- Description: Install three hundred thirty five linear feet, by six high; of new fence. Private style, in treated Pine. It includes a single gate, four feet wide, and a double gate, ten feet wide.

MARCH 19, 2024.

MRS: DEVIN JATES.

3149 LE BRON RD MONTGOMERY, AL 36106.

PHONE: (334)868-3335

Install three hundred thirty five linear feet, by six high; of new fence. Private style, in treated Pine. It includes a single gate, four feet wide, and a double gate, ten feet wide.

THE PRICE IS:

work starts with fifty percent of the total amount, to buy, and move the material. And the other fifty percent when the fence ends. This proposal is valid for one week, since the prices of the materials are always changing and increasing.

30

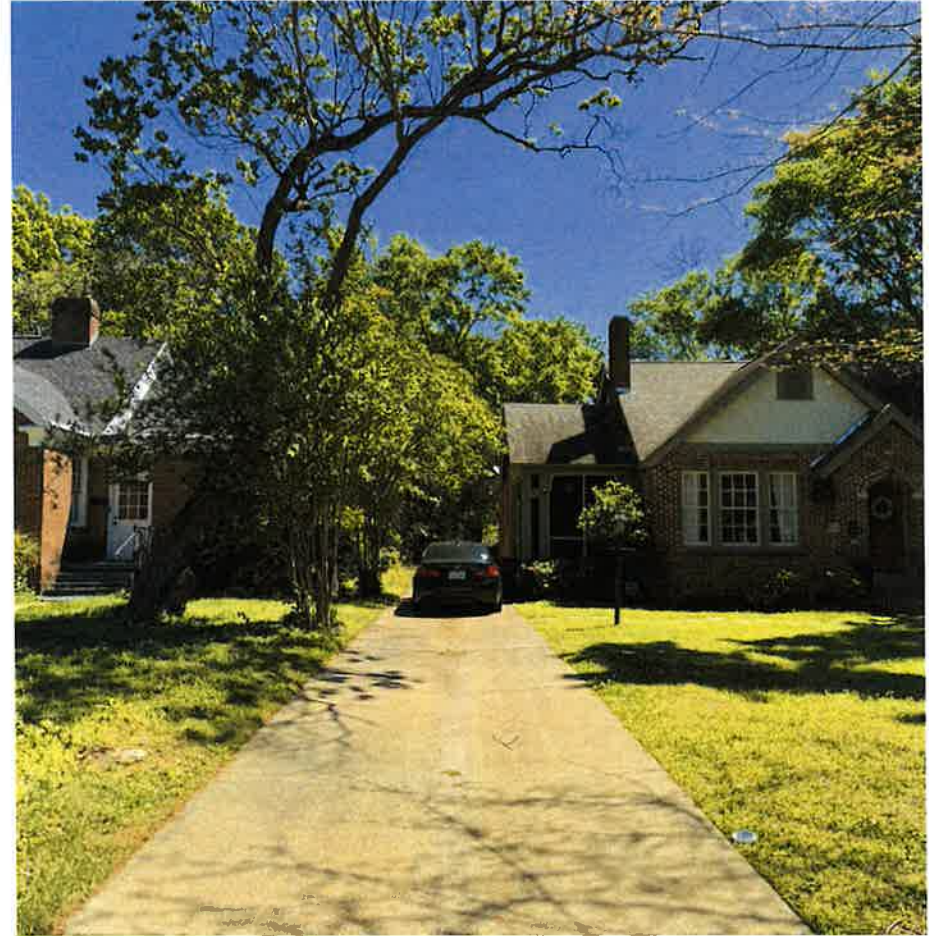
Front view of property

- Fence and gates on left and right sides of home, six feet high in unpainted, treated pine will be visible from street.



Left side view of property

- Fence and double gate, six feet high, ten feet wide in unpainted, treated pine will be visible from street.



Left side view of property

- Fence and double gate, six feet high, ten feet wide in unpainted, treated pine will 21.5 feet from front edge of house, 23 feet from back edge of house.



Right side view of property

- Fence and single gate, six feet high, four feet wide in unpainted, treated pine will be visible from street.



Right side view of property

- Fence and single gate, six feet high, four feet wide in unpainted, treated pine will be 8.3 feet from front edge of house, 30 feet from back edge of house.
- Fence will not pass gas line.



Right side view of property

- Fence and single gate, six feet high, four feet wide in unpainted, treated pine will be 8.3 feet from front edge of house, 30 feet from back edge of house.
- Fence will not pass gas line.

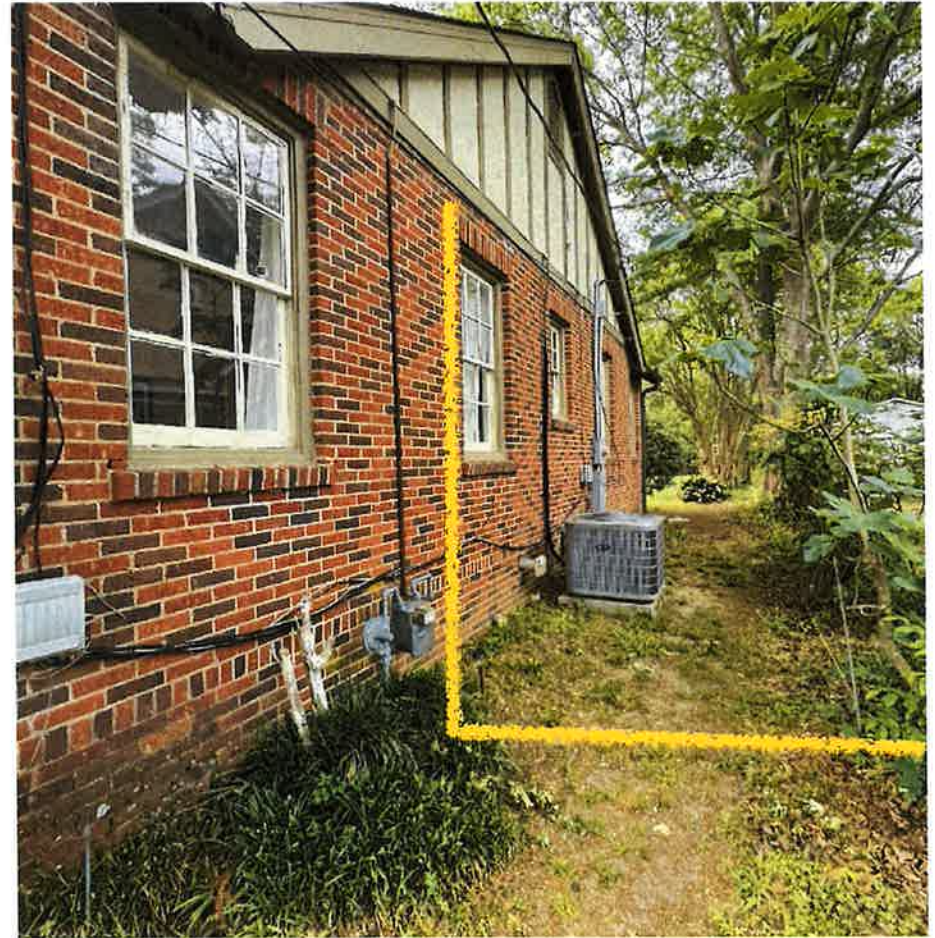


Photo examples of fence, gate, and materials

Examples provided by Fence Franys Victory & Deck, LLC

Right side exterior view of 4ft gate



Left side exterior view of 10ft double gate



Photos are examples for illustrative purposes only. Not actual photos of finished gate on owner's property.

3k

Unpainted, treated pine in privacy style



Photos are examples for illustrative purposes only. Not actual photos of finished gate on owner's property.

4. PRESENTED BY: Matthew Schwonek

SUBJECT: Request for approval to remove and replace a rear yard deck for the property located at 303 Felder Avenue (Garden District).

REMARKS: Mr. Schwonek is requesting permission to demolish, remove, and replace the rear yard deck. The existing deck is rapidly deteriorating because of rot and mold as well as shoddy construction work and poor choice of materials. The proposed new deck will adopt a period design featuring post-to-post rails with classic caps and decorative fascia in harmony with the character and architectural style of both the residence and historic district. The proposed deck will closely match the existing one in scale, measuring 12' L x 16' W x 4' H. See attachment 4A for a description of the materials to be used. Primarily, the decking will be built with Trex™ Transcend composite (95% recycled wood and high-density polyethylene plastic), groove edged boards. The boards will be a color called Rainier, which is substantially like a pre-approved palette color, while the railings will be white.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

Zoning: R-60-m

DEPARTMENT COMMENTS and STAFF RECOMMENDATION:

- No objection; staff recommend approval.

NOTES _____

ACTION _____



303 Felder Ave (Garden District), south façade

4A



303 Felder Ave (Garden District), surrounding buildings at 1717 and 1728 S. Hull Street, 04/16/24

UB



303 Felder Ave (Garden District), West and North (rear) elevations with deck and garage, 04/16/24

4C



303 Felder Ave (Garden District), North (rear) elevations with view of deck, 04/16/24

Notes on Materials: Deck Replacement

Substructure:

4" x 4"	Pressure-treated (PT), ground-contact ¹ dimensional timbers
2" x 8"	PT ground-contact wood beams, joists, ledger board, bridging
Poured concrete footings	5000 psi high-strength concrete

Decking:

1" x 6"	Trex™ Transcend composite ² , grooved edge boards
Fasteners	Trex metal fasteners and screws

Railings:

4" x 4"	Trex Transcend composite post sleeves
8' x 36"	Trex Transcend composite rails and balusters
4" x 4"	Trex Transcend composite post sleeve bases
4" x 4"	Trex Transcend composite post sleeve caps
1" x 8"	Trex Transcend composite fascia boards

¹ High-pressure systems force MCA (micronized copper azole) and CA (copper azole) or other combinations of preservatives into the wood.

² Trex™ is made of 95% recycled wood and high-density polyethylene plastic. It is not painted, while color is applied at the factory.

YE



303 Felder Ave (Garden District), renderings of proposed replacement deck, 04/16/24

4F



303 Felder Ave (Garden District), floor plan of proposed replacement deck, 04/16/24

46

Decorative Architectural Details: Deck Replacement

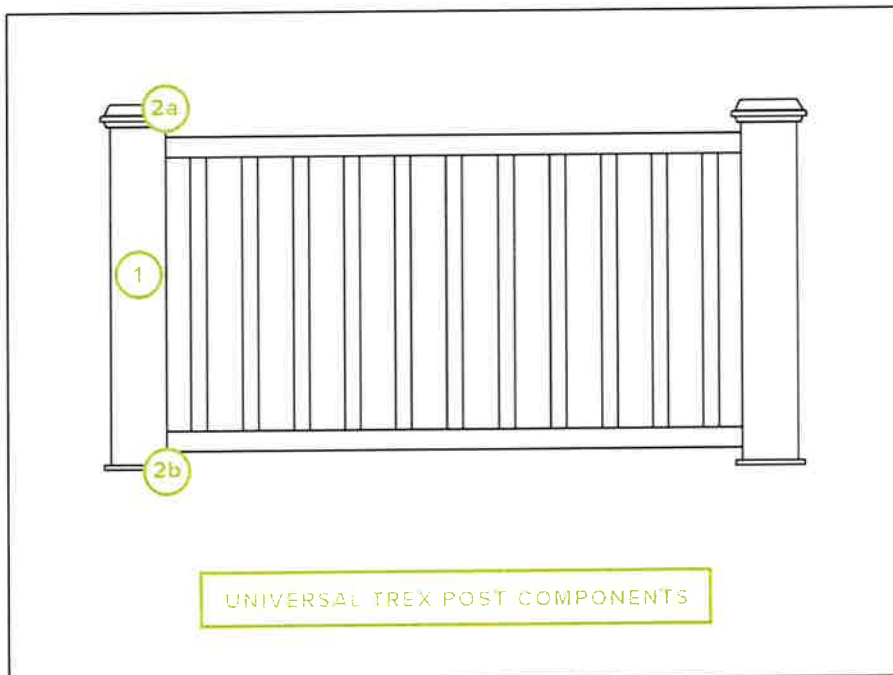
Decking:

Trex™ Transcend composite decking, color: Rainier



Railings and Fascia:

Trex Transcend composite railings, color: white



4T

Caps:



Balusters:



Bases:



5. PRESENTED BY: Nick Henninger

SUBJECT: Request for approval to renovate a commercial building as a restaurant/studio space, including replacement of a deteriorated existing storefront, painting the façade of the building, installing a fence around the lot, and building a lean-to roof at rear for the property located at 15 N. Goldthwaite Street (Cottage Hill).

REMARKS: Mr. Henninger is requesting approval to:

- i.) Replace the deteriorating storefront,
- ii.) Paint the façade white and other areas a gray color
- iii.) Alter the rear portion of the building and lot to accommodate an open-air seating area for the restaurant
- iv.) Install a fence around the lot, and
- v.) Build a lean-to roof at rear of the building.

For i.) The damaged brick at the north end of the south bay will be rebuilt and brick to match existing will be infilled in the middle bay. The existing storefront is made of wood and will be demolished to make way for a replacement. The proposed replacement storefront design basis will be "Kawneer Tri-Fab 451T Front Set," and replacement glass will be "1" Vitro Solarban 90 (2) Acuity." Whereas all the windows on the façade are currently 1-by-1 fixed lites, the proposed new design will feature a single square lite at the south end of the south bay and a single thin rectangular lite at north end of the south bay; 1-by-1 square lites at the south end of the middle bay and a single square lite at north end of the middle bay; and 1-by-1 rectangular lites at the north end of the north bay. All the existing doors and frames on the façade will be saved for repurposing and replaced with aluminum storefront doors, in pairs at the south and north bays and as an individual door at the middle bay (see attached door schedule). The pair of doors at south bay and the individual door at middle bay will be 3' W x 8' H, each; and the pair of doors at the north bay will be 2'-8" W x 8' H, each. The blade sign depicted in renderings will be proposed later.

For ii.) Sherin Williams (SW) 7010 "White Duck" is proposed for the brick on the façade, only; SW 7069 "Iron Ore" is proposed for the brick under storefront, storefront, inset entry walls/soffits, and steel components.

For iii.) Several alterations are proposed for the west (rear) elevation of the building and lot to accommodate an open-air seating area. 2,460 SF of existing concrete will be removed to prepare for added hardscaping. A new concrete slab sloped 1/8"/foot away from building is proposed that will fit underneath the lean-to roof referenced in item v). Within the slab, there will be a 6" x 20" catch basin with grate under each gutter downspout. The catch basins will relate to underground drains to pop up emitters in the lawn at west end of the property. West of the new concrete slab, there will be a rectangular seating area with gravel at a total depth of 4" over compacted subgrade. The proposed gravel will be Rocksmart slate trail mix for the bottom 3" with a topcoat of mini (3/8" to 5/8") for the top 1"; the gravel will be contained to the west with 10" x 3/4" weathered steel plate edging. There are 6 proposed 3.5" black gum trees proposed to be planted in the gravel seating area. At the rear of the building, there are currently 6 windows and 3 doors. Four of the six existing windows will be retained and refurbished; the other two windows, as well as one door at

the north end and one door at the south end will be demolished to make way for two motorized aluminum-clad overhead doors with a divided 12-lite pattern, measuring 9'-6" W x 10' H, at north and south ends. There will also be two new aluminum-clad wood-framed glass doors with square transom lites above each, measuring 3' W x 7' H installed—one of these will require re-opening a previously infilled door. The shipping container and stair depicted on A0010 will be proposed during a later construction phase.

For iv.) An existing chain-link fence along the south property boundary will be removed. A new fence is proposed to be built along the full property boundary, as depicted with dotted lines on A0010. It will run from the southwest corner of the building back to the west boundary and northward, then returning to the northwest corner of the building. The proposed fence will be made of pressure treated wood and be 8' H at its tallest and lowered to, at least, 6' on a slope as the fence runs toward the rear property boundary. 6x6 vertical posts will be interspersed throughout the fence while 1x6 horizontal boards will be used. There is a 16' W sliding gate, with same appearance as the fence, proposed at west of the southwest corner of the building that will provide access into and out of the gravel seating area.

For v.) The proposed lean-to roof will be made of standing seam metal and utilize a "Pac-Clad 'Snap-Clad' panel basis of design. It will be 24 Gauge, 16" W, smooth paneled, with a color to be determined. It will encompass nearly the full length of the rear, except for a space at the south end where a stair to the future roof deck will be proposed later. 5" x 5" gutter with 3" diameter downspouts will be installed on the lean-to roof. The future roof deck depicted on A0310 will be proposed later.

STANDARD OF REVIEW: Section 15-127 of the City Code states that "the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

Zoning: T4-O

DEPARTMENT COMMENTS and STAFF RECOMMENDATION:

- Staff recommend approval of all items, except painting the currently unpainted brick. We recommend denial of painting the brick because it does not conform to our design guidelines and initiates a cycle of routine maintenance.
- Urban Forestry supports the trees as proposed.
- T4-O zone allows up to 8' H fence in rear yard—where the proposed fence would be.
- What does petitioner plan to do about the "Braids from Africa by: Evie" sign and graffiti painted on brick on the north elevation?
- Please confirm petitioner has agreement with neighboring business to share dumpster.

NOTES _____

ACTION _____



15 N. Goldthwaite Street (Cottage Hill), parcel map, 2022

SA



Surrounding buildings



Surrounding buildings

SB



Existing building (south elevation)



Existing building front (east elevation)

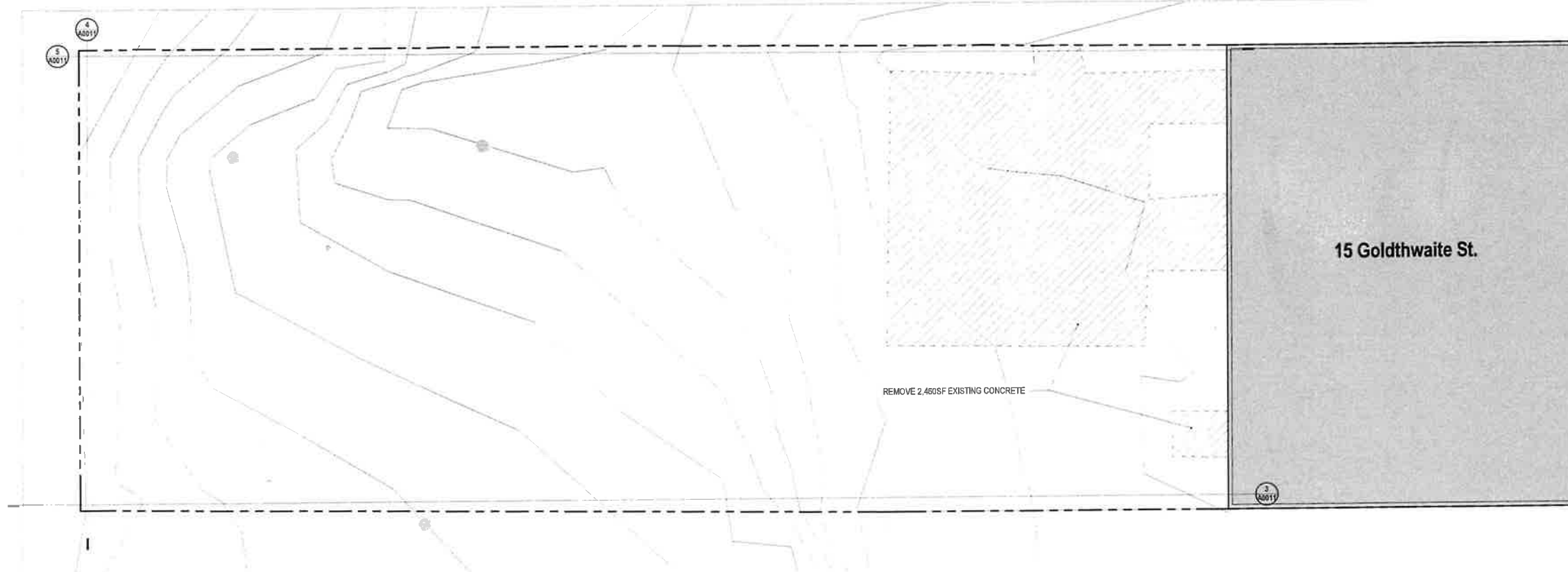


15 N. Goldthwaite Street (Cottage Hill), existing chain link fence along south property boundary and fence detail, 05/10/24

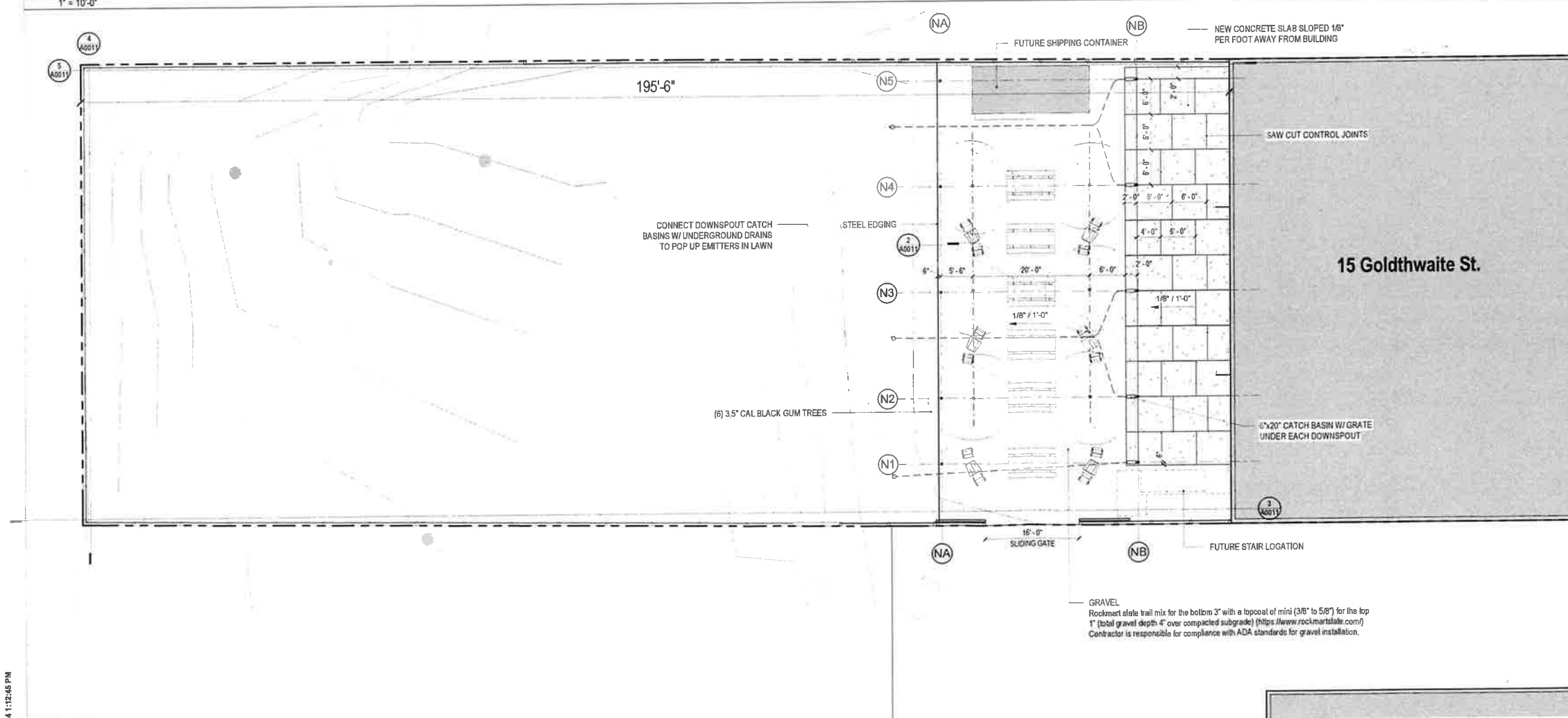


15 N. Goldthwaite Street (Cottage Hill), east façade and deteriorated storefront detail, 05/10/24

SE



01 EXISTING SITE PLAN
1" = 10'-0"



2 NEW SITE PLAN
1" = 10'-0"

GOLDTHWAITE STREET

Chambless King Architects

Architect
Chambless King Architects
12 W. Jefferson St., Ste 300
Montgomery, AL 36104
Phone: 334.272.0029

Structural
Gordon L. Davis, P.E.
P.O. Box 241371
Montgomery, AL 36124
Phone: 334.213.3070

Mechanical, Plumbing, & Electrical
Pursuit Engineering
323 E Glenn Ave., Ste A
Auburn, AL 36830
Phone: 678-250-9005



PROJECT NAME

Five Points Social

15 Goldthwaite Street
Montgomery, AL
23008

03/27/2024

REVISIONS:
NO. DESCRIPTION DATE

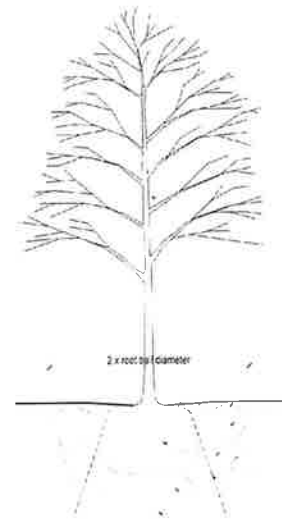
SHEET TITLE:
ARCHITECTURAL SITE PLAN

SHEET NUMBER

A0010

GOLDTHWAITE STREET

4/24/2024 1:12:45 PM



mark north side of the tree in the nursery, and rotate tree to face north at the site when possible

set root ball 1" above finished grade of soil

3" mulch, keep away from trunk provide earth saucer beyond edge of rootball

soil type A, see specs

soil type B, see specs

loosen and deeply scar soil walls and bottom of pit

remove all wire, rope, wire and burlap from the top half of rootball

arborjuy tree anchors see specs

place rootball on solid soil pedestal, 6" depth

unavailable

planting, see plan

10" x 1" 16oz weathered steel plate

see specs

gravel/mulch, see specs

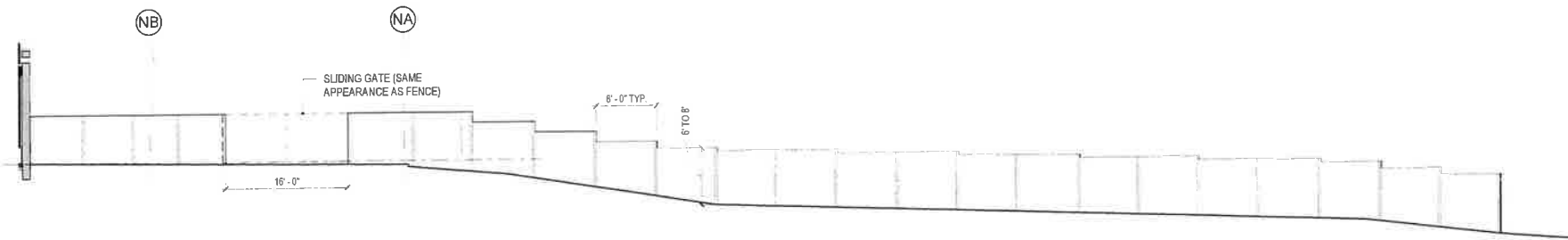
grout setting bed

compacted soil

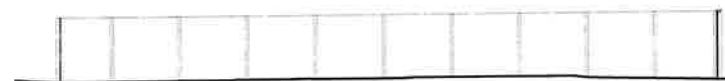
planting soil

1 TYPICAL TREE PLANTING DETAIL

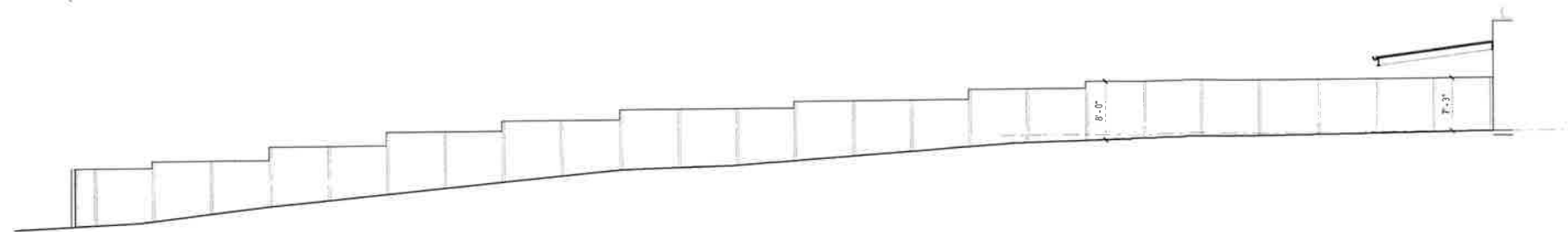
2 STEEL EDGING DETAIL



3 FENCE ELEVATION 1
1" = 10'-0"



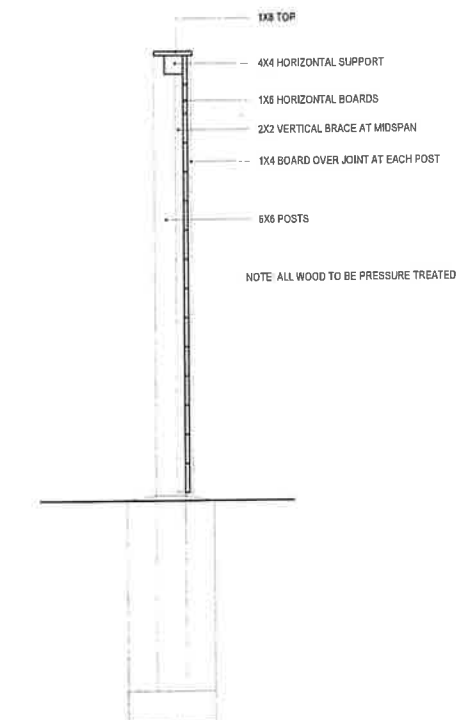
4 FENCE ELEVATION 2
1" = 10'-0"



5 FENCE ELEVATION 3
1" = 10'-0"

GENERAL SITE NOTES:

- A. General
 - 01) The Contractor shall provide all barriers, signage, shoring, etc. as required to conduct the work and maintain the site in a safe condition consistent with all applicable codes and regulations.
 - 02) Contractor shall be responsible to protect all benchmarks and property corners. Any replacement will be at the contractor's expense.
 - 03) The Contractor shall be responsible for the removal, relocation or protection of all above and below ground existing improvements that are in conflict with the proposed improvements unless noted otherwise.
 - 04) The Contractor shall utilize erosion control BMP's to prevent the discharge of sediment bearing water runoff or airborne dust from the project site in accordance with all federal, state, and local regulations during construction. The Contractor shall be responsible for all costs associated with any required permits.
 - 05) All construction debris shall be removed from the building to dumpsters and sent to a state, county or municipally approved landfill area. No building materials shall be buried or disposed of onsite. All such materials shall be removed and disposed within a legal and proper landfill or recycling facility.
- B. Utilities
 - 01) It shall be the Contractor's responsibility to contact the various utility owners and determine the exact location of all existing utilities on the project, whether shown on the plans or not, before commencing work. The Contractor shall be fully responsible for any damages which might be occasioned by his failure to exactly locate and preserve any and all utilities.
 - 02) Contractor shall coordinate with the Owner and all associated utility providers prior to the disconnecting or removal of any utility service from existing buildings. All utilities to be removed are to be capped or plugged or terminate according to the requirements of authorities having jurisdiction.
 - 03) Contractor shall provide all temporary utilities and services that might be required to facilitate the Work indicated.
 - 04) Contractor is responsible for completing all permanent utility services (water, sewer, gas, electrical, telephone, cable) from the point the respective utility company completes their work to the point of connection at the building.
 - 05) Contractor is required to coordinate location and quantity of fire hydrants with authorities having jurisdiction.
- C. Grading
 - 01) All areas disturbed by construction operations and not covered by landscaping or hardscaping shall be fine graded to adjacent grades and seeded or sodded. Any excavation fill shall be graded with a proper crown to allow for settlement.
 - 02) All areas completed to final grade shall be established to permanent vegetation immediately upon completion.
 - 03) Contractor shall provide appropriate means of stabilizing and maintaining slopes throughout the duration of construction and through the warranty period. Appropriate means shall include but not be limited to mulching blankets, silt fence, temporary seeding, hay bales, etc.
- D. Vegetation
 - 01) Contractor shall locate and protect all existing irrigation and landscape on site not indicated to be removed.
 - 02) All existing trees within the construction limits not indicated to be removed shall have a substantial protective barrier. Protective barrier shall be the larger of the drip line of the tree - or - the diameter at breast height x 1.5 feet per inch.
 - a. Protective barrier shall be installed prior to start of construction and shall remain in place until substantial completion.
 - b. No construction material, debris, or excavated materials shall be stored within the barricade area. No vehicles, trailers, etc. shall be parked inside the barricaded area.
 - 03) In any locations where the Contractor performs land disturbing activity, grading is to begin within three (3) days after the completion of such activity, or if activity is discontinued for a period of seven (7) days. Disturbed areas left idle for three (3) days, and not to final grade, shall be established with temporary vegetation. Disturbed areas left idle for one (1) week or more shall be established with permanent vegetation. All areas to final grade shall be established to permanent vegetation immediately upon completion.



6 FENCE TYPICAL SECTION
3/4" = 1'-0"

Chambless King Architects

Architect
Chambless King Architects
12 W. Jefferson St., Ste 300
Montgomery, AL 36104
Phone: 334.272.0029

Structural
Gordon L. Davis, P.E.
P.O. Box 241371
Montgomery, AL 36124
Phone: 334.213.3070

Mechanical, Plumbing, & Electrical
Pursuit Engineering
323 E. Glenn Ave., Ste A
Auburn, AL 36830
Phone: 678-250-9005



PROJECT NAME:

Five Points Social

15 Goldthwaite Street
Montgomery, AL
23008

03/27/2024

REVISIONS		
NO.	DESCRIPTION	DATE

SHEET TITLE
ARCHITECTURAL SITE
DETAILS

SHEET NUMBER

A0011

Architect
Chambless King Architects
12 W. Jefferson St., Ste 300
Montgomery, AL 36104
Phone: 334.272.0029

Structural
Gordon L. Davis, P.E.
P.O. Box 241371
Montgomery, AL 36124
Phone: 334.213.3070

Mechanical, Plumbing, & Electrical
Pursuit Engineering
323 E Glenn Ave., Ste A
Auburn, AL 36830
Phone: 678-250-9005



PROJECT NAME:

Five Points Social

15 Goldthwaite Street
Montgomery, AL
23008

03/27/2024

REVISIONS		
NO.	DESCRIPTION	DATE

SHEET TITLE
DEMO FLOOR PLAN AND RCP

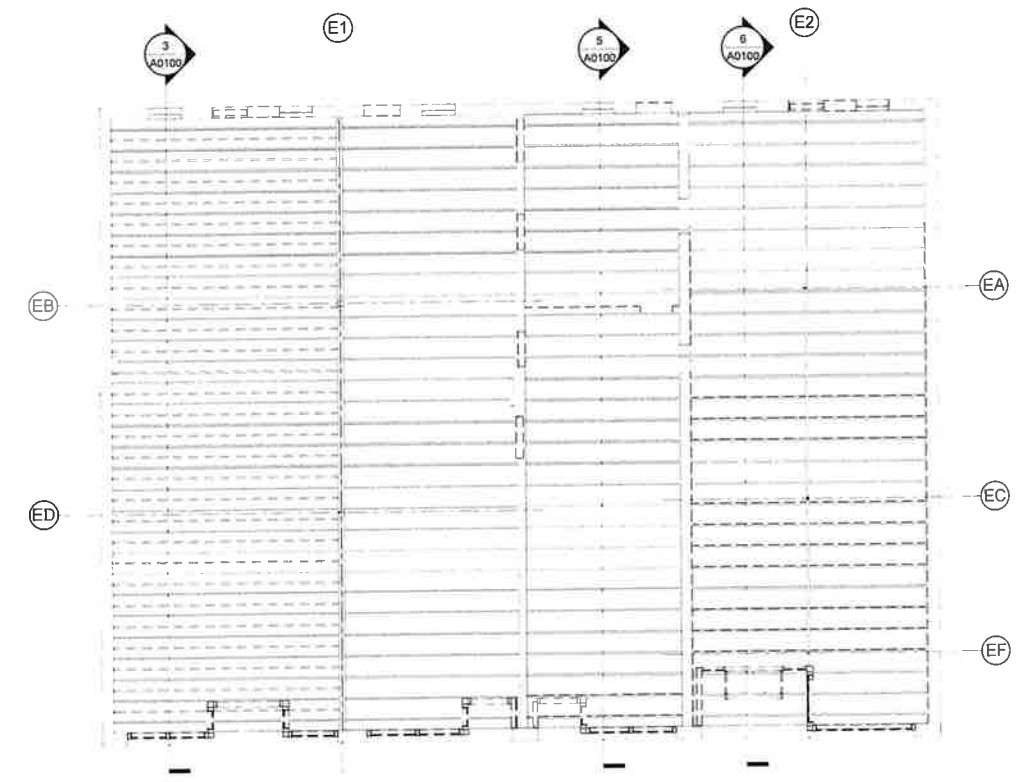
SHEET NUMBER
A0100

GENERAL DEMOLITION PLAN NOTES:

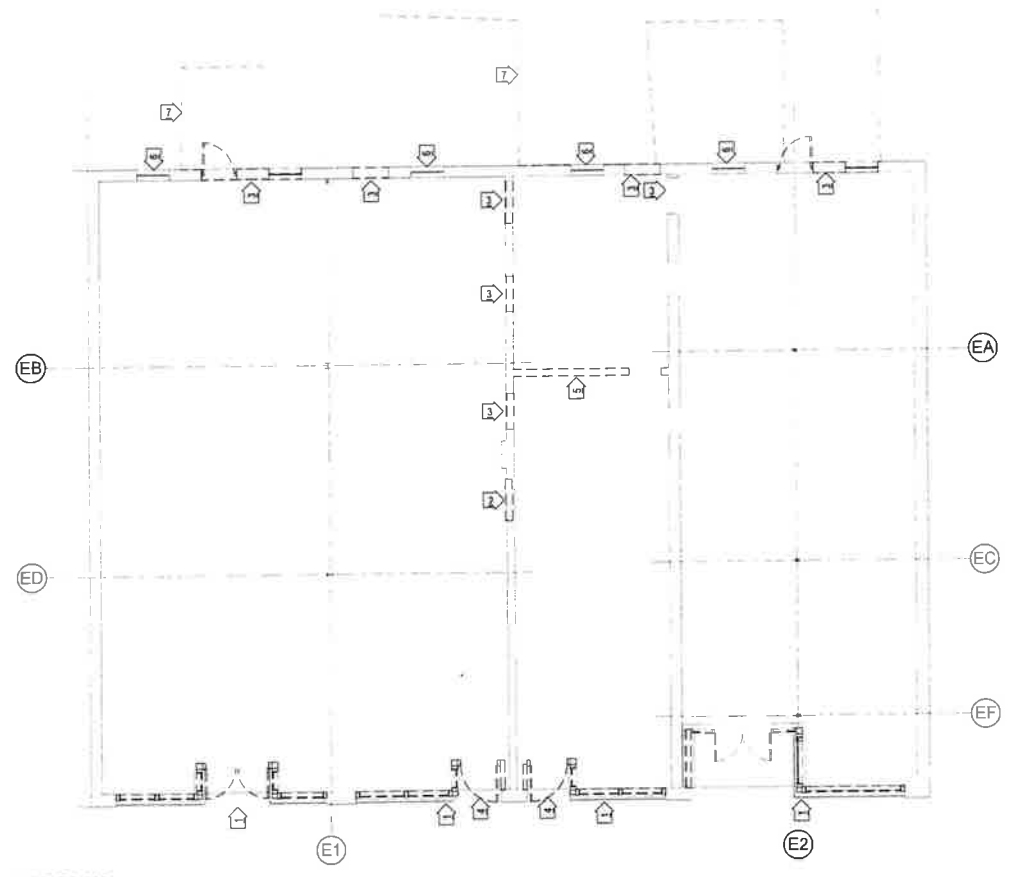
- A. DEMO PLANS ARE DIAGRAMMATIC IN NATURE - THE CONTRACTOR IS TO COORDINATE THE DEMOLITION WORK WITH AN UNDERSTANDING OF THE SCOPE IN THE NEW CONSTRUCTION PLANS.
- B. CONTRACTOR IS TO VERIFY ALL LOAD-BEARING WALLS BEFORE COMMENCING DEMOLITION AND PROVIDE ADEQUATE STRUCTURAL MODIFICATION IF REQUIRED FOR THE NEW LAYOUT.
- C. DEMOLISHED MATERIALS SHALL BECOME THE PROPERTY OF THE GENERAL CONTRACTOR AND REMOVED FROM THE SITE AND DISPOSED OF PROPERLY. EXCEPT FOR ITEMS THAT THE OWNER IDENTIFIES AS SALVAGE, SALVAGED ITEMS SHALL BE REMOVED AND DELIVERED TO A LOCATION DESIGNATED BY THE OWNER.
- D. PROTECT ALL EXISTING FINISHES, EQUIPMENT, AND SURFACES INDICATED TO REMAIN.
- E. THE GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL SURFACES WHERE EXISTING CONSTRUCTION IS REMOVED OR DISTURBED BY THE WORK. TO ALIGN WITH AND MATCH EXISTING ADJACENT CONSTRUCTION UNLESS SPECIFICALLY INDICATED OTHERWISE.

WORK NOTES:

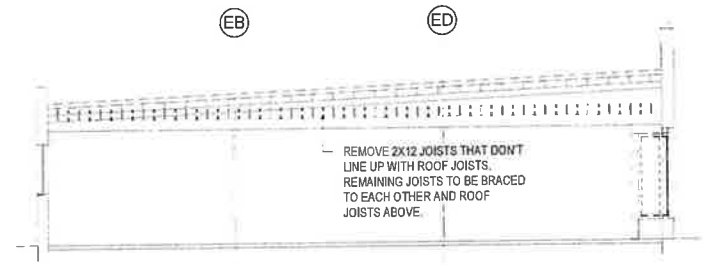
- 1. DEMOLISH EXISTING WOOD STOREFRONT. LOW BRICK WALLS TO REMAIN IN PLACE.
- 2. REMOVE CMU INFILL SO WALL CAN OPENING CAN BE CLOSED PROPERLY.
- 3. DEMOLISH WALL AS REQUIRED FOR NEW OPENING. VERIFY STRUCTURAL REQUIREMENTS W/ STRUCTURAL ENGINEER.
- 4. SAVE EXISTING DOOR AND FRAME FOR REPURPOSING - SEE DOOR SCHEDULE.
- 5. DEMOLISH EXISTING WALL.
- 6. EXISTING WINDOW TO BE REFURBISHED.
- 7. EXISTING EXTERIOR CONCRETE TO BE REMOVED.



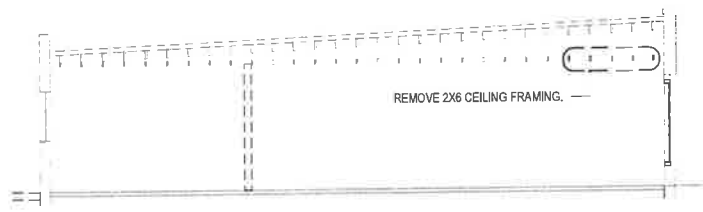
2 DEMO ROOF PLAN
1/8" = 1'-0"



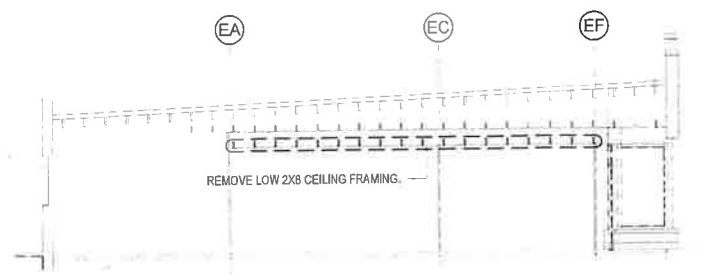
1 DEMO FLOOR PLAN
1/8" = 1'-0"



3 DEMO SECTION 1
1/8" = 1'-0"



5 DEMO SECTION 2
1/8" = 1'-0"



6 DEMO SECTION 3
1/8" = 1'-0"

4/26/2024 1:12:51 PM

Chambless King Architects

Architect
Chambless King Architects
12 W. Jefferson St., Ste 300
Montgomery, AL 36104
Phone: 334.272.0029

Structural
Gordon L. Davis, P.E.
P.O. Box 241371
Montgomery, AL 36124
Phone: 334.213.3070

Mechanical, Plumbing, & Electrical
Pursuit Engineering
323 E Glenn Ave., Ste A
Auburn, AL 36830
Phone: 878-250-9005

EQUIPMENT SCHEDULE						
Item #	Description	Qty.	CFM	DFCI	DFOI	Comments
B1	SLIDING 3-DOOR BACK BAR COOLER	4				
B2	POINT OF SALE	2				
B3	COMBINATION COCKTAIL STATION	2				
B4	UNDERBAR DRAINBOARD FILLER	1				
B5	FLAT TOP GLASS RACK STORAGE UNIT	2				
B6	4-TAP KEGERATOR BEER DISPENSER	1				
B7	UNDERBAR DRAINBOARD	1				
B8	2-BOWL UNDERBAR SINK	1				
B9	SLIM JIM TRASH CAN	2				
E1	COUNTERTOP GAS GRIDDLE	1				
E1.1	COUNTERTOP GAS HOTPLATE	1				
E3	REACH-IN REFRIGERATOR	1				
E4	REACH-IN FREEZER	1				
E6	COUNTERTOP INDUCTION RANGE	2				
E7	MICROWAVE OVEN	1				
E8	HEATED HOLDING PROOFING CABINET	1				
E9	UNDERCOUNTER REFRIGERATOR	1				
E11	WORK TABLE (30' X 36')	1				
E11.1	WORK TABLE (30' X 48')	1				
E16	MOP SINK	1				
E17	HAND SINK	2				
E18	HALF SIZE ELECTRIC OVEN	1				
E19	7' HOOD	2				
E20	PREP WORK TABLE WITH SINK	1				
E21	ICE MAKER & BIN	1				
ED1	3-COMPARTMENT SINK	1				
ED3	WIRE SHELF 36"X18"	2				
ED4	SHELVING UNIT 36"WX24"DX74"H	1				
ED5	WIRE SHELF 60"X18"	1				
ED6	CLEAN DISHTABLE	1				
ED7	DISHWASHER	1				
ED9	SOILED DISHTABLE	1				
ED10	WIRE SHELF 48"X18"	1				

PLAN LEGEND:

- EQUIPMENT TAG
- DOOR TAG
- WALL TYPE TAG

GENERAL PLAN NOTES:

- A. INTERIOR WALLS ARE DIMENSIONED TO CENTER OF STUD.
- B. NEW WALLS TO BE 4" WOOD STUD TO DECK WITH 5/8" GYPSUM WALL BOARD ON EITHER SIDE UNLESS NOTED OTHERWISE.
- C. FURNITURE IS OUTSIDE OF GC CONTRACT AND IS SHOWN FOR REFERENCE ONLY.

PLAN KEY NOTES:

1. REFURBISH EXISTING WINDOW



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15 Goldthwaite Street
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23008

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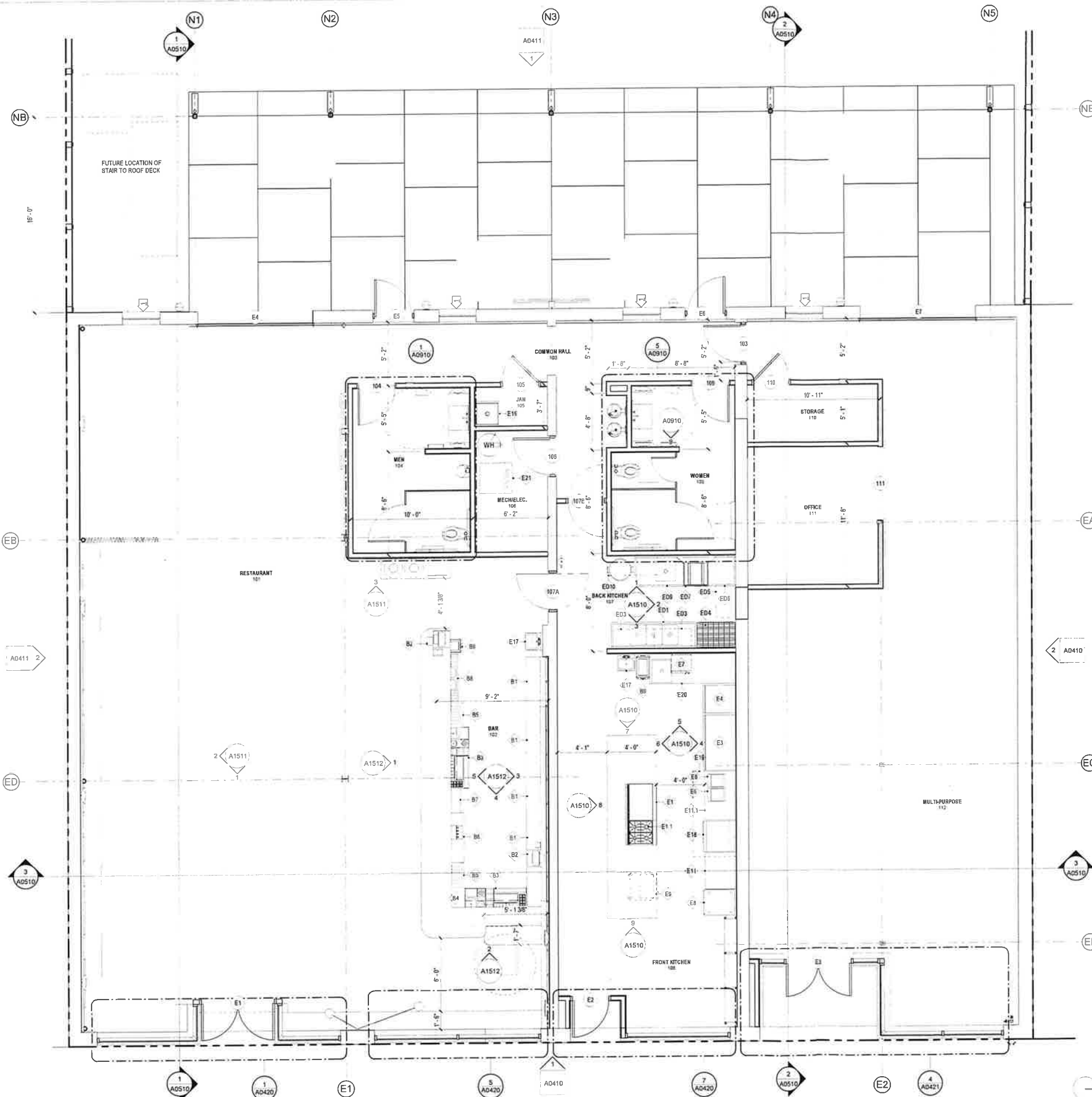
NO.	DESCRIPTION	DATE

SHEET TITLE
FLOOR PLAN

SHEET NUMBER:
A0101

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1 OVERALL FLOOR PLAN 1/4" = 1'-0"



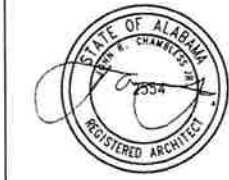
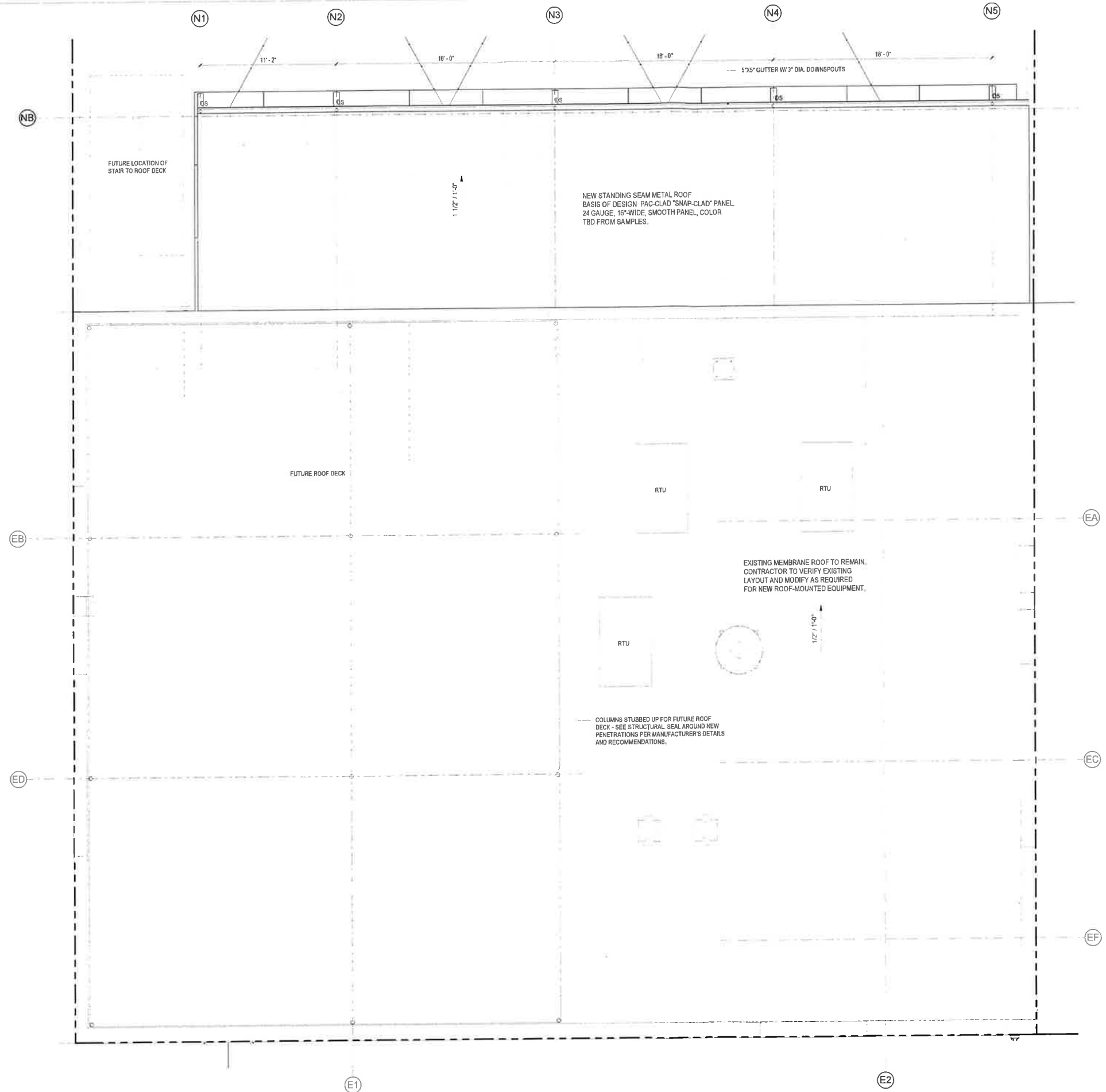
Chambless King Architects

Architect
 Chambless King Architects
 12 W. Jefferson St., Ste 300
 Montgomery, AL 36104
 Phone: 334.272.0029

Structural
 Gordon L. Davis, P.E.
 P.O. Box 241371
 Montgomery, AL 36124
 Phone: 334.213.3070

Mechanical, Plumbing, & Electrical
 Pursull Engineering
 323 E. Glenn Ave., Ste A
 Auburn, AL 36830
 Phone: 678-250-9005

- GENERAL ROOF NOTES:**
- A. ROOF SLOPES AND CRICKETS ARE SHOWN FOR DESIGN INTENT ONLY. PROVIDE SHOP DRAWING SUBMITTAL WITH ALL PENETRATION, CRICKETS, CURBS, BOOTS, AND ACCESSORIES FOR APPROVAL. NOT ALL ROOF PENETRATIONS ARE PRESENT IN THIS PLAN. REFERENCE MEP DRAWINGS FOR COMPLETE INFORMATION.
 - B. SLOPE ROOF CRICKETS AT 1/2" PER FOOT MIN. TO MAINTAIN 1/4" VALLEYS.
 - C. ROOFTOP EQUIPMENT SHOWN FOR REFERENCE ONLY. SEE MECHANICAL DRAWINGS FOR ROOFTOP EQUIPMENT LOCATIONS.
 - D. ROOF PENETRATIONS FOR PLUMBING AND MECHANICAL VENTS, PIPES, ETC. SHOULD BE LOCATED WITH A MINIMUM 24" CLEARANCE FROM ADJACENT PARAPETS, CHANGES IN ROOF PLANE AND ROOF DRAINS, VENTS, PIPES, ROOF HATCHES AND ANY OTHER ROOF PENETRATIONS.
 - E. DO NOT INSTALL PLUMBING VENTS WITHIN A 20' RADIUS OF AIR HANDLING UNITS.
 - F. ALL ROOF PENETRATIONS SHALL BE CIRCULAR UNLESS OTHER LIMITATIONS PREVENT SUCH.
 - G. VERIFY ALL REQUIRED ROOF MOUNTED EQUIPMENT AND ROOF PENETRATIONS WITH MECHANICAL AND PLUMBING DOCUMENTS. ROOF PLAN MAY NOT SHOW ALL THAT ARE REQUIRED.
 - H. PRE-ENGINEERED CURBS SUPPORTING ROOFTOP UNITS, EXHAUST FAN, AND PLUMBING VENT CURBS SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR. CURBS SHALL NOT INTERFERE WITH THE EXISTING ROOF STORM DRAINAGE.
 - I. ALL FLASHING AROUND CURBS AND STRUCTURAL SUPPORT ELEMENTS SHALL BE FURNISHED AND INSTALLED BY THE ROOFING SUBCONTRACTOR.
 - J. ALL COMPONENTS OF ROOF SHALL BE COMPATIBLE WITH ROOFING SYSTEM AND APPROVED BY ROOFING MANUFACTURER.



PROJECT NAME:
Five Points Social
 15 Goldthwaite Street
 Montgomery, AL
 23008

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NO.	DESCRIPTION	DATE

SHEET TITLE:
ROOF PLAN

SHEET NUMBER:
A0310

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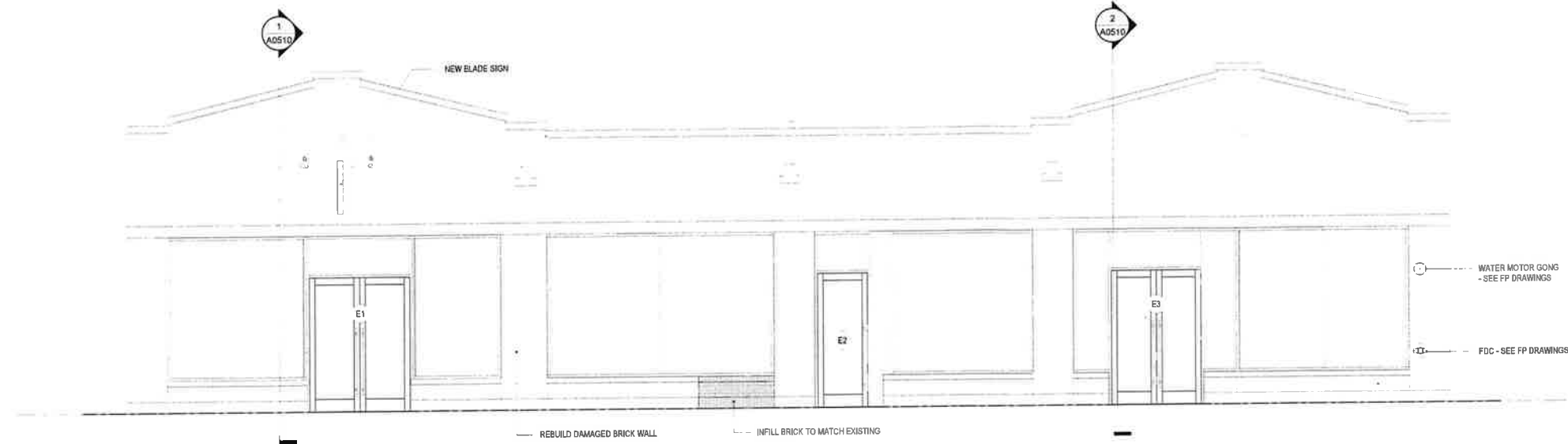
Architect
 Chambless King Architects
 12 W. Jefferson St., Ste 300
 Montgomery, AL 36104
 Phone: 334.272.0029

Structural
 Gordon L. Davis, P.E.
 P.O. Box 241371
 Montgomery, AL 36124
 Phone: 334.213.3070

Mechanical, Plumbing, & Electrical
 Pursuit Engineering
 323 E Glenn Ave., Ste A
 Auburn, AL 36830
 Phone: 678-250-9005

ELEVATION GENERAL NOTES:

- A. EXISTING BRICK: CLEAN EXISTING MASONRY AND CAST STONE AND REPAIR DAMAGED AREAS AS REQUIRED. TAN BRICK (FRONT OF BUILDING) IS TO BE PAINTED.
- B. NEW STOREFRONT FRAMING:
 BASIS OF DESIGN: KAWNEER TRU-FAB 4511 FRONT-SET (FACTORY-PAINTED FINISH TO MATCH: SHERWIN WILLIAMS SW 7000 "IRON ORE")
 BASIS OF DESIGN (GLASS): VITRO SOLARBAN 60 (2) AGLITY + AGLITY



1 EXTERIOR ELEVATION
 1/4" = 1'-0"



PROJECT NAME:

Five Points Social

15 Goldthwaite Street
 Montgomery, AL
 23008

03/27/2024

REVISIONS:

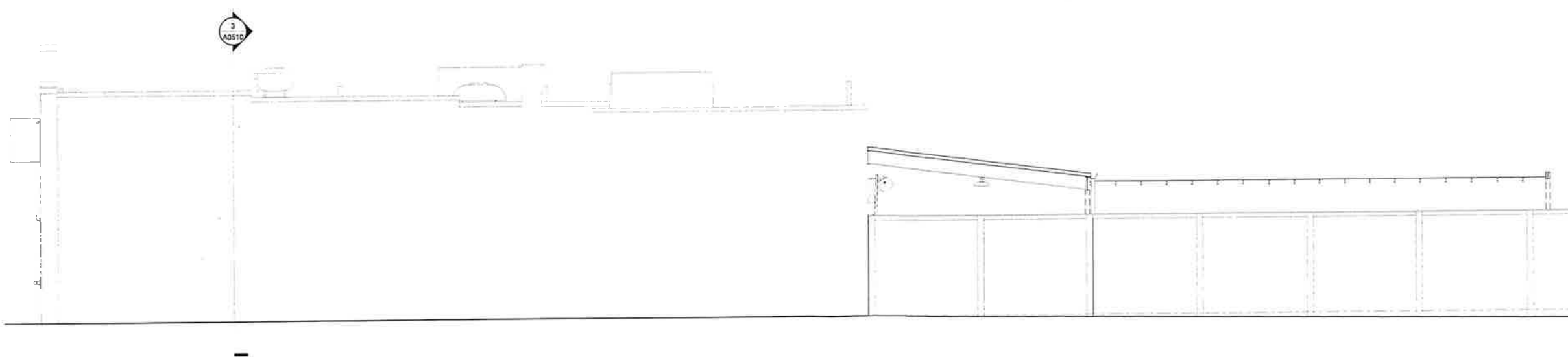
NO.	DESCRIPTION	DATE

SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET NUMBER:

A0410



2 EXTERIOR ELEVATION
 1/4" = 1'-0"

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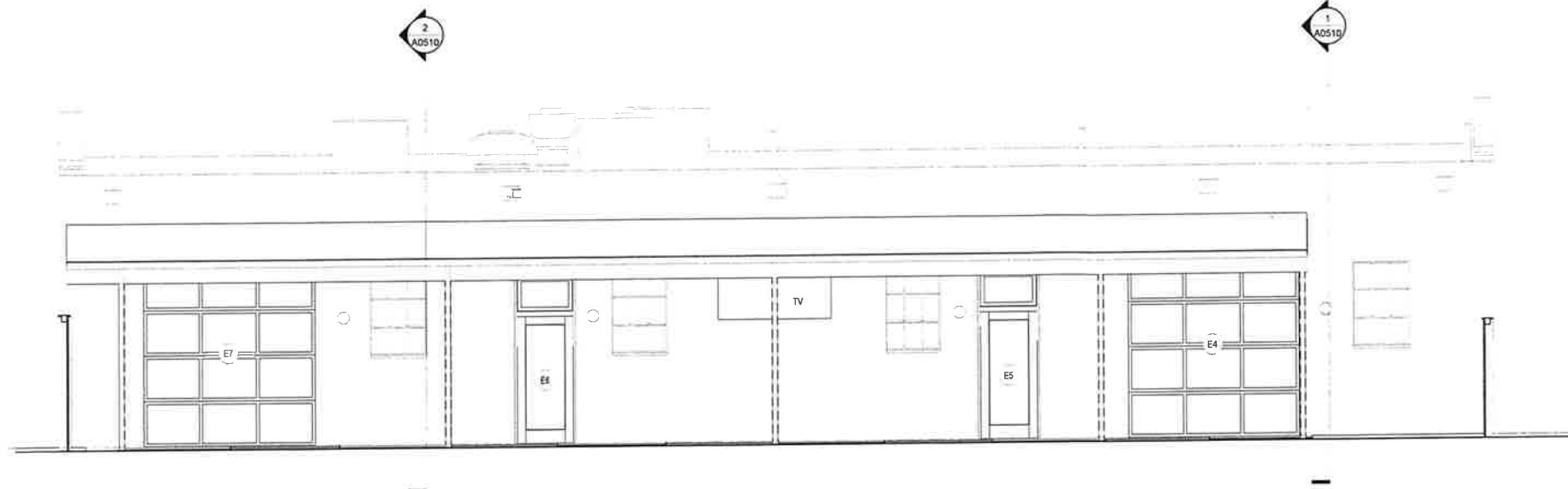
Architect
 Chambless King Architects
 12 W. Jefferson St., Ste 300
 Montgomery, AL 36104
 Phone: 334.272.0029

Structural
 Gordon L. Davis, P.E.
 P.O. Box 241371
 Montgomery, AL 36124
 Phone: 334.213.3070

Mechanical, Plumbing, & Electrical
 Pursuit Engineering
 323 E Glenn Ave., Ste A
 Auburn, AL 36830
 Phone: 678-250-9005

ELEVATION GENERAL NOTES:

- A. EXISTING BRICK CLEAN EXISTING MASONRY AND CAST STONE AND REPAIR DAMAGED AREAS AS REQUIRED. TAN BRICK (FRONT OF BUILDING) IS TO BE PAINTED.
- B. NEW STOREFRONT FRAMING:
 BASIS OF DESIGN: KAWNEER TRU-FAB 451T FRONT-SET
 (FACTORY-PAINTED FINISH TO MATCH: SHERWIN WILLIAMS SW 7008 'IRON ORE')
 BASIS OF DESIGN (GLASS): VITRO SOLARBAN 99 (2) ACUTY - ACUTY



1 EXTERIOR ELEVATION
 1/4" = 1'-0"



PROJECT NAME:

Five Points Social

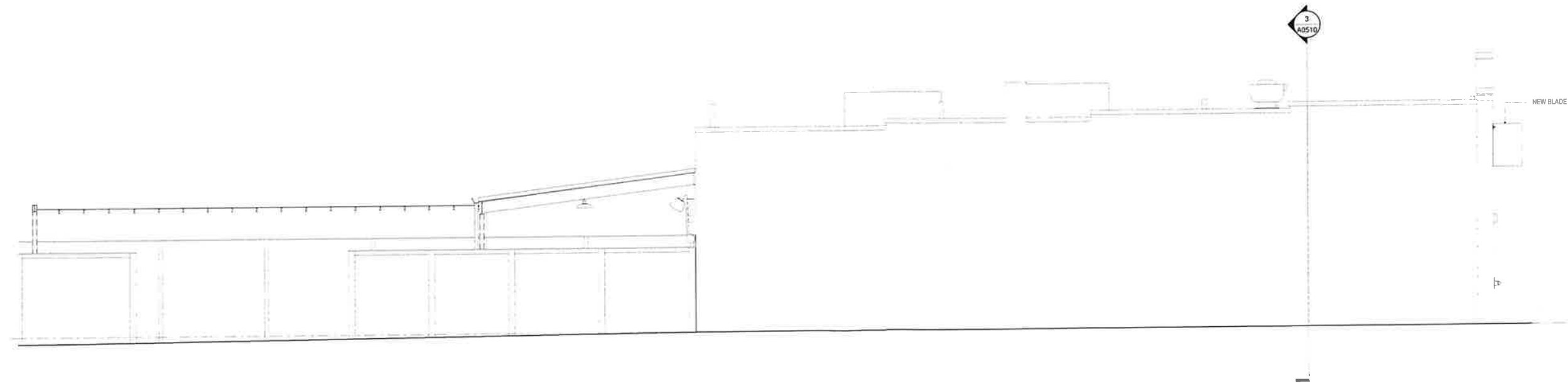
15 Goldilocks Street
 Montgomery, AL
 23008

03/27/2024

REVISIONS		
NO.	DESCRIPTION	DATE

SHEET TITLE
 EXTERIOR ELEVATIONS

SHEET NUMBER
A0411



2 EXTERIOR ELEVATION
 1/4" = 1'-0"

4/26/2024 11:32:28 PM

Chambless King Architects

Architect
 Chambless King Architects
 12 W. Jefferson St., Ste 300
 Montgomery, AL 36104
 Phone: 334.272.0029

Structural
 Gordon L. Davis, P.E.
 P.O. Box 241371
 Montgomery, AL 36124
 Phone: 334.213.3070

Mechanical, Plumbing, & Electrical
 Pursuit Engineering
 323 E Glenn Ave., Ste A
 Auburn, AL 36830
 Phone: 678-250-9005



PROJECT NAME:

Five Points Social

15 Goldthwaite Street
 Montgomery, AL
 23008

03/27/2024

REVISIONS
 NO. DESCRIPTION DATE

SHEET TITLE
 ENLARGED EXTERIOR
 ELEVATIONS

SHEET NUMBER:

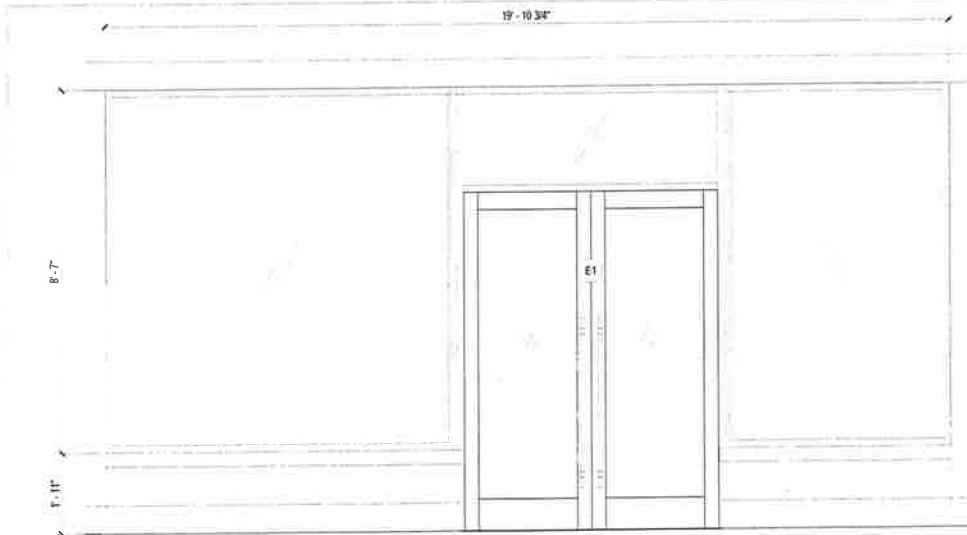
A0420

GENERAL STOREFRONT NOTES:

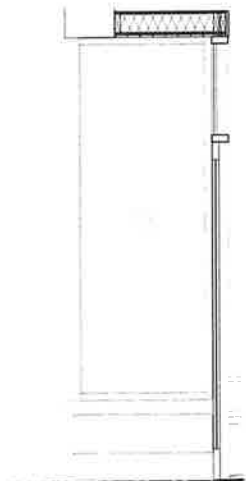
- A. STOREFRONT BASIS OF DESIGN: KAMNEER TRI-FAB 451T FRONT SET (FINISH TO MATCH SHERWIN WILLIAMS SW 7069 "IRON ORE")
- B. GLASS BASIS OF DESIGN: 1" VITRO SOLARBAN 90 (2) ACUTY + ACUTY
- C. FIELD VERIFY ALL EXISTING OPENING DIMENSIONS.

PLAN KEY NOTES:

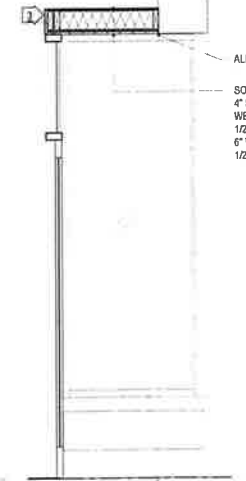
- 1. SSG OUTSIDE CORNER
- 2. WRAP CORNER WITH BRAKE METAL TO MATCH STOREFRONT
- 3. INTERIOR WOOD TRIM - PAINTED



2 ENLARGED ELEVATION
 1/2" = 1'-0"



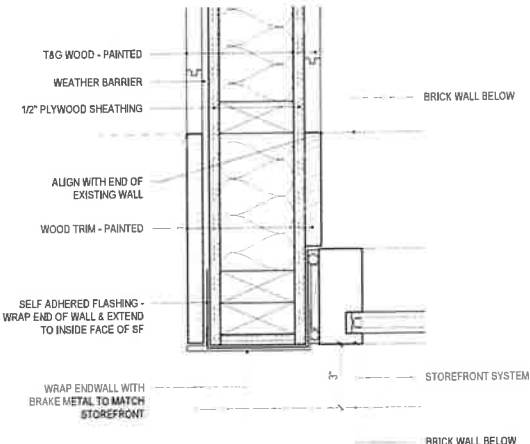
3 LEFT ELEVATION
 1/2" = 1'-0"



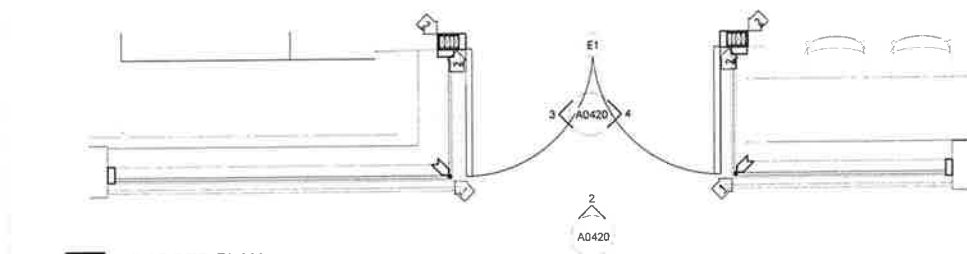
4 RIGHT ELEVATION
 1/2" = 1'-0"

ALIGN BOTTOM OF SOFFIT W/ BOTTOM OF EXISTING LINTEL

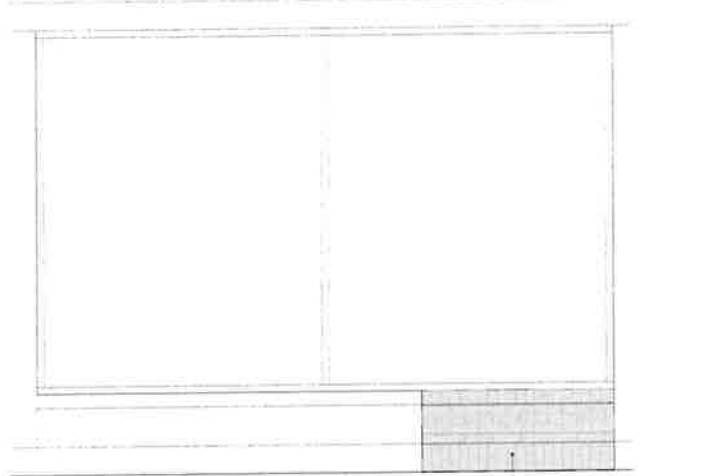
SOFFIT ASSEMBLY:
 4" SQUARE EDGE T&G SOFFIT (PAINTED)
 WEATHER BARRIER
 1/2" PLYWOOD SHEATHING
 6" WOOD STUD FRAMING W/ BATT INSULATION
 1/2" PLYWOOD SHEATHING TOP



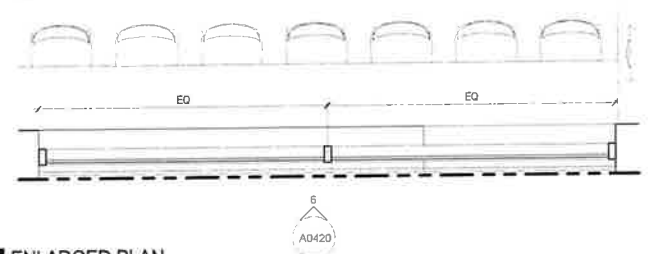
11 PLAN DETAIL
 3" = 1'-0"



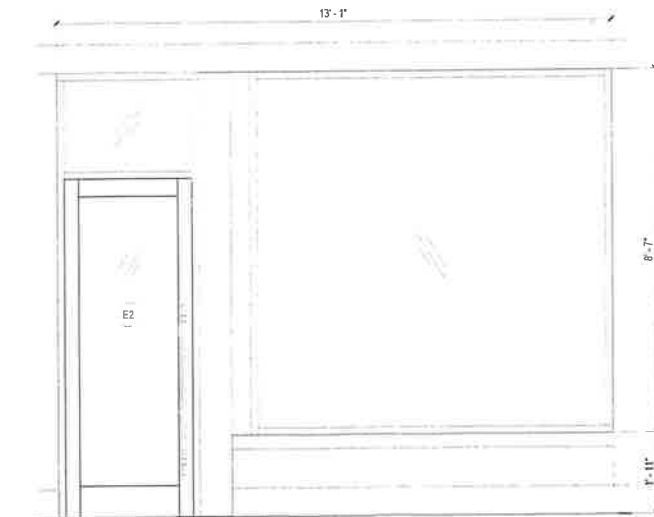
1 ENLARGED PLAN
 1/2" = 1'-0"



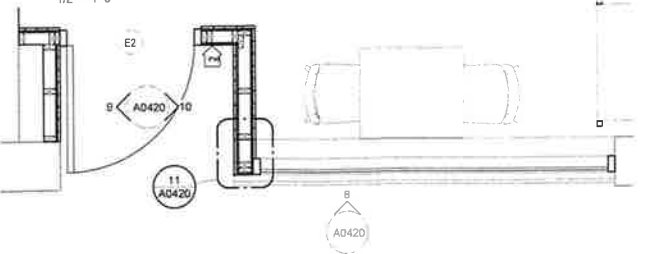
6 ENLARGED ELEVATION
 1/2" = 1'-0"



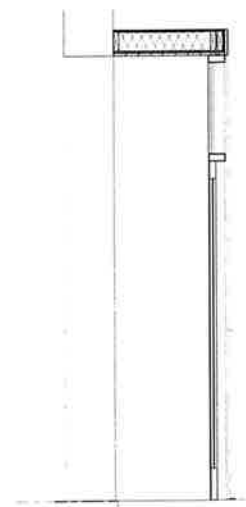
5 ENLARGED PLAN
 1/2" = 1'-0"



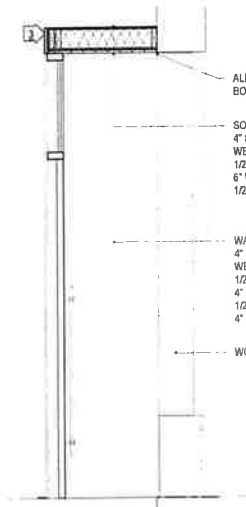
8 ENLARGED ELEVATION
 1/2" = 1'-0"



7 ENLARGED PLAN
 1/2" = 1'-0"



9 LEFT ELEVATION
 1/2" = 1'-0"



10 RIGHT ELEVATION
 1/2" = 1'-0"

ALIGN BOTTOM OF SOFFIT W/ BOTTOM OF EXISTING LINTEL

SOFFIT ASSEMBLY:
 4" SQUARE EDGE T&G SOFFIT (PAINTED)
 WEATHER BARRIER
 1/2" PLYWOOD SHEATHING
 4" WOOD STUD FRAMING W/ BATT INSULATION
 1/2" PLYWOOD SHEATHING TOP

WALL ASSEMBLY:
 4" SQUARE EDGE T&G SOFFIT (PAINTED)
 WEATHER BARRIER
 1/2" PLYWOOD SHEATHING
 4" WOOD STUD FRAMING W/ BATT INSULATION
 1/2" PLYWOOD SHEATHING
 4" SQUARE EDGE T&G SOFFIT (PAINTED)

WOOD TRIM - PAINTED

Chambless King Architects

Architect
Chambless King Architects
12 W. Jefferson St., Ste 300
Montgomery, AL 36104
Phone: 334.272.0029

Structural
Gordon L. Davis, P.E.
P.O. Box 241371
Montgomery, AL 36124
Phone: 334.213.3070

Mechanical, Plumbing, & Electrical
Pursuit Engineering
323 E Glenn Ave., Ste A
Auburn, AL 36830
Phone: 578-250-9005



PROJECT NAME:
Five Points Social

15 Goldthwaite Street
Montgomery, AL
23008

03/27/2024

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NO.	DESCRIPTION	DATE

SHEET TITLE:
ENLARGED EXTERIOR ELEVATIONS

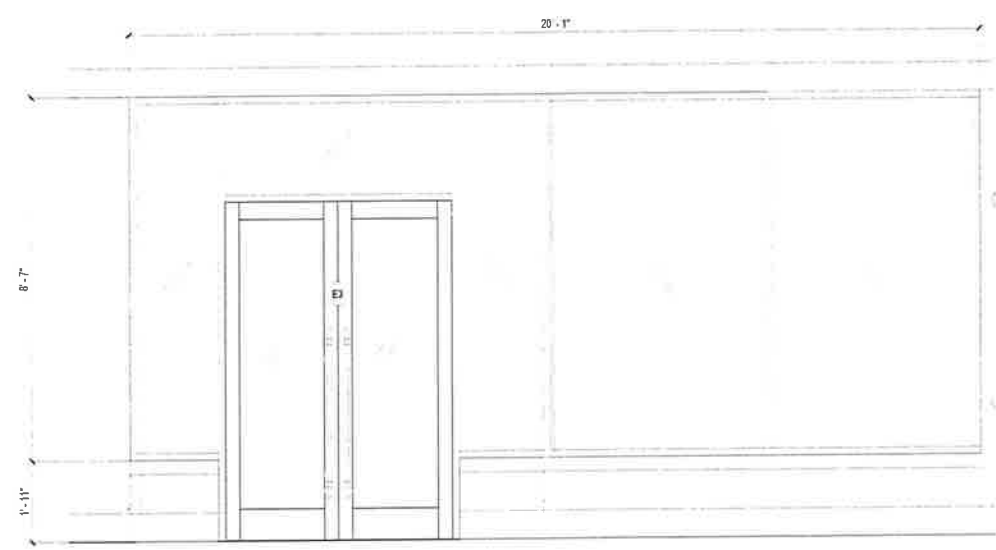
SHEET NUMBER:
A0421

GENERAL STOREFRONT NOTES:

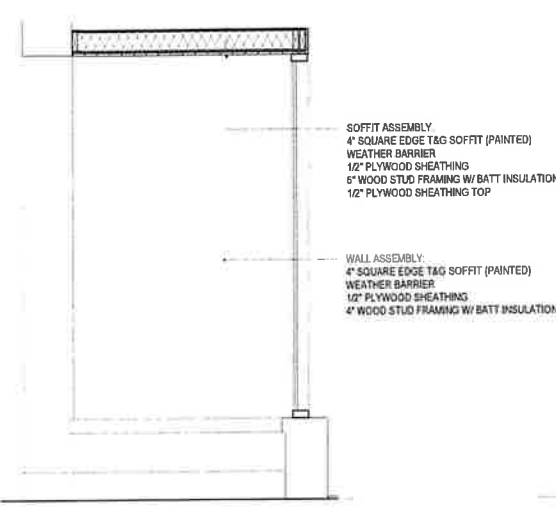
- STOREFRONT BASIS OF DESIGN: KAWNEER TRI-FAB 451T FRONT SET (FINISH TO MATCH: SHERWIN WILLIAMS SW 7069 'IRON ORE')
- GLASS BASIS OF DESIGN: 1" VITRO SOLARBAN 90 (2) ACQUITY + ACQUITY
- FIELD VERIFY ALL EXISTING OPENING DIMENSIONS.

PLAN KEY NOTES:

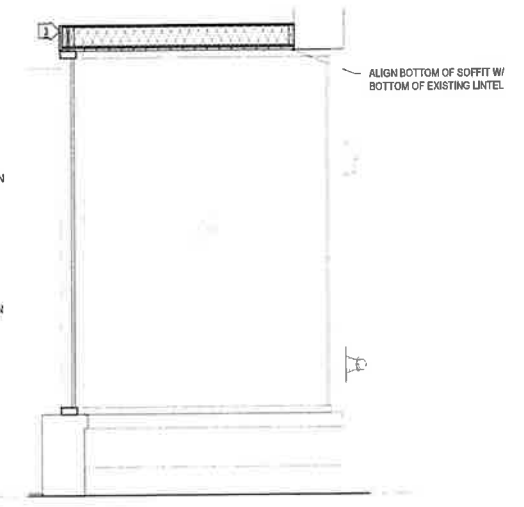
- SSG OUTSIDE CORNER
- WRAP CORNER WITH BRAKE METAL TO MATCH STOREFRONT
- INTERIOR WOOD TRIM - PAINTED



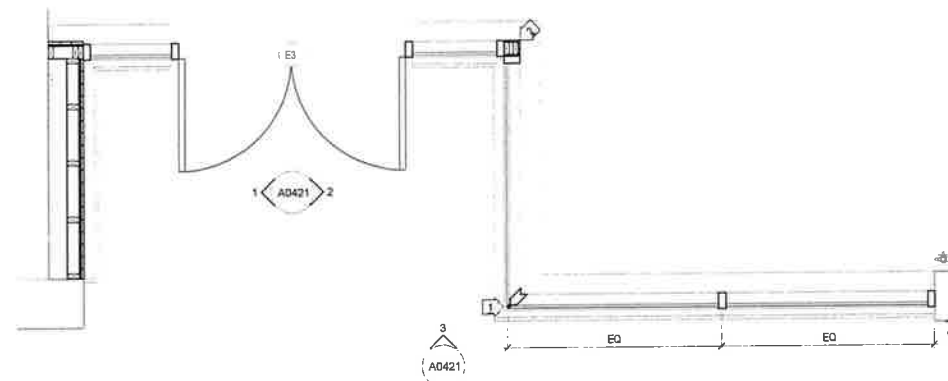
3 ENLARGED ELEVATION
1/2" = 1'-0"



1 LEFT ELEVATION
1/2" = 1'-0"



2 RIGHT ELEVATION
1/2" = 1'-0"



4 ENLARGED PLAN
1/2" = 1'-0"

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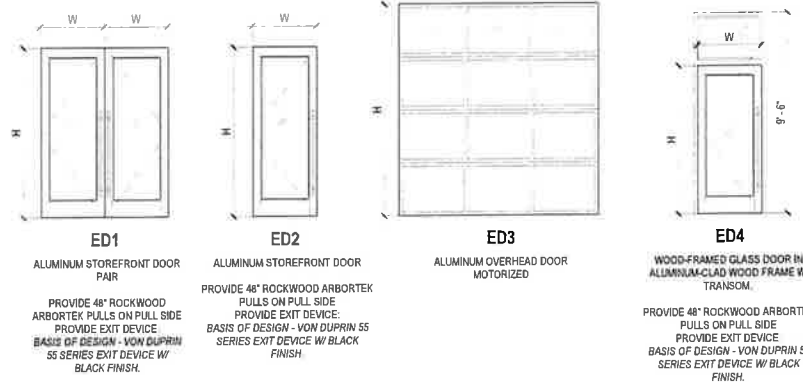
Architect
Chambless King Architects
12 W. Jefferson St., Ste 300
Montgomery, AL 36104
Phone: 334.272.0029

Structural
Gordon L. Davis, P.E.
P.O. Box 241371
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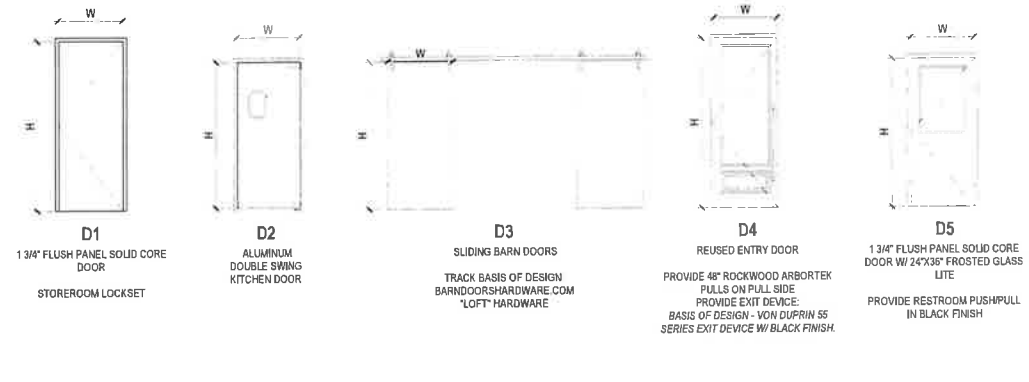
Mechanical, Plumbing, & Electrical
Pursuit Engineering
323 E Glenn Ave., Ste A
Auburn, AL 36830
Phone: 878-250-9005

DOOR SCHEDULE							
MARK	ROOM NAME	TYPE MARK	DESCRIPTION	DOOR SIZE (W x H)	FINISH	FRAME TYPE	NOTES
Exterior							
E1	RESTAURANT	ED1	ALUM. STOREFRONT DOOR	3' x 8' PAIR	FACTORY FINISH	SF	
E2	FRONT KITCHEN	ED2	ALUM. STOREFRONT DOOR	3' x 8'	FACTORY FINISH	SF	
E3	MULTI-PURPOSE	ED1	ALUM. STOREFRONT DOOR	2'-8" x 8' PAIR	FACTORY FINISH	SF	
E4	RESTAURANT	ED3	OVERHEAD DOOR	9'-6" x 10'	FACTORY FINISH	-	
E5	COMMON HALL	ED4	WOOD-FRAMED GLASS DOOR	3' x 7'	STAINED/SEALED	ALUM. CLAD	
E6	COMMON HALL	ED4	WOOD-FRAMED GLASS DOOR	3' x 7'	STAINED/SEALED	ALUM. CLAD	
E7	MULTI-PURPOSE	ED3	OVERHEAD DOOR	9'-6" x 10'	FACTORY FINISH	-	
Interior							
103	COMMON HALL	D4	REUSED EXISTING WOOD ENTRY DOOR	3' x 6'	CLEAR SEALED	WOOD	
104	MEN	D5	SOLID CORE WOOD DOOR WITH FROSTED LITE	3' x 7'	PAINTED	WOOD	
105	WOMEN	D1	FLUSH SOLID CORE WOOD DOOR	3' x 7'	PAINTED	WOOD	
106	MEDIA	D1	FLUSH SOLID CORE WOOD DOOR	3' x 7'	PAINTED	WOOD	
107A	BACK KITCHEN	D2	KITCHEN DOOR	3' x 7'	ANO ALUM.	ANO ALUM.	
107B	BACK KITCHEN	D2	KITCHEN DOOR	3' x 7'	ANO ALUM.	ANO ALUM.	
109	WOMEN	D5	SOLID CORE WOOD DOOR WITH FROSTED LITE	3' x 7'	PAINTED	WOOD	
110	STORAGE	D1	FLUSH SOLID CORE WOOD DOOR	3' x 7'	PAINTED	WOOD	
111	OFFICE	D3	BARN DOOR	3' x 7' PAIR	CLEAR SEALED	BARN DOOR	

EXTERIOR DOOR TYPES



INTERIOR DOOR TYPES



PROJECT NAME

Five Points Social

15 Goldthwaite Street
Montgomery, AL
23008

03/27/2024

REVISIONS:
NO. DESCRIPTION DATE

SHEET TITLE
DOOR SCHEDULES

SHEET NUMBER

A1010

6. PRESENTED BY: Dan Davis

SUBJECT: Request for approval to demolish a detached “mother-in-law” apartment outbuilding and build a smaller structure on roughly the same footprint for the property located at 1924 Norman Bridge Court (Garden District).

REMARKS: Mr. Davis is requesting permission to (i.) demolish the “mother-in-law” apartment outbuilding and (ii.) rebuild a new outbuilding in its place. The request to demolish and rebuild is because the current building is not safe and uninhabitable; the project timeline is June 1-August 31, 2024. The current building measures 20’ x 30’ and will be replaced with a 20’ x 20’ structure. The proposed roof will be front gabled and clad with 3-tab asphalt shingles. The proposed siding is cement fiber Hardie board, painted white, in a lapped profile closely matching the existing building. The existing windows are boarded shut, so we’re unsure of their materials (the frames appear to be wood). The proposed new building would have a similar fenestration pattern to the existing building in terms of the number of windows while the lite pattern will match the main residence’s 6:6 (because we don’t know what the original lite pattern was on the building to be demolished). Mr. Davis proposes black shutters and a red front door with vertical paneling and 3 divided lites at the top. There will be a stone walkway from the main entrance leading across the rear yard to the driveway. Concrete pavers are proposed for the patio area at the rear; however, because there is an existing chain link fence along the rear property boundary, the new fence depicted on the floor plan will not be built.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

Zoning: R-75-s

DEPARTMENT COMMENTS and STAFF RECOMMENDATION:

- Staff recommend approval of both items.
- There is an approximately 200-year-old (per Urban Forestry) Water Oak tree very close to the outbuilding, so we need to be careful about that. Perhaps approve the demolition and rebuild conditionally upon protecting the tree or require that a replacement tree be planted somewhere else on the property if this one is damaged during construction.
- Per zoning regulations, accessory structures must be at least 5’ from all lot lines and 10’ from any other structure.
- Staff researched old files and found that the outbuilding was, at one time, a “servant’s quarters.” The property has been taxed as two separate single-family dwellings for at least the last 20 years and is therefore legal non-conforming. Ok to continue this use.

NOTES _____

ACTION _____



1924 Norman Bridge Court, Garden District, façade of main residence, 05/10/24



1924 Norman Bridge Court, Garden District, view to rear from corner of fence; context of outbuilding with tree and privacy fence in foreground



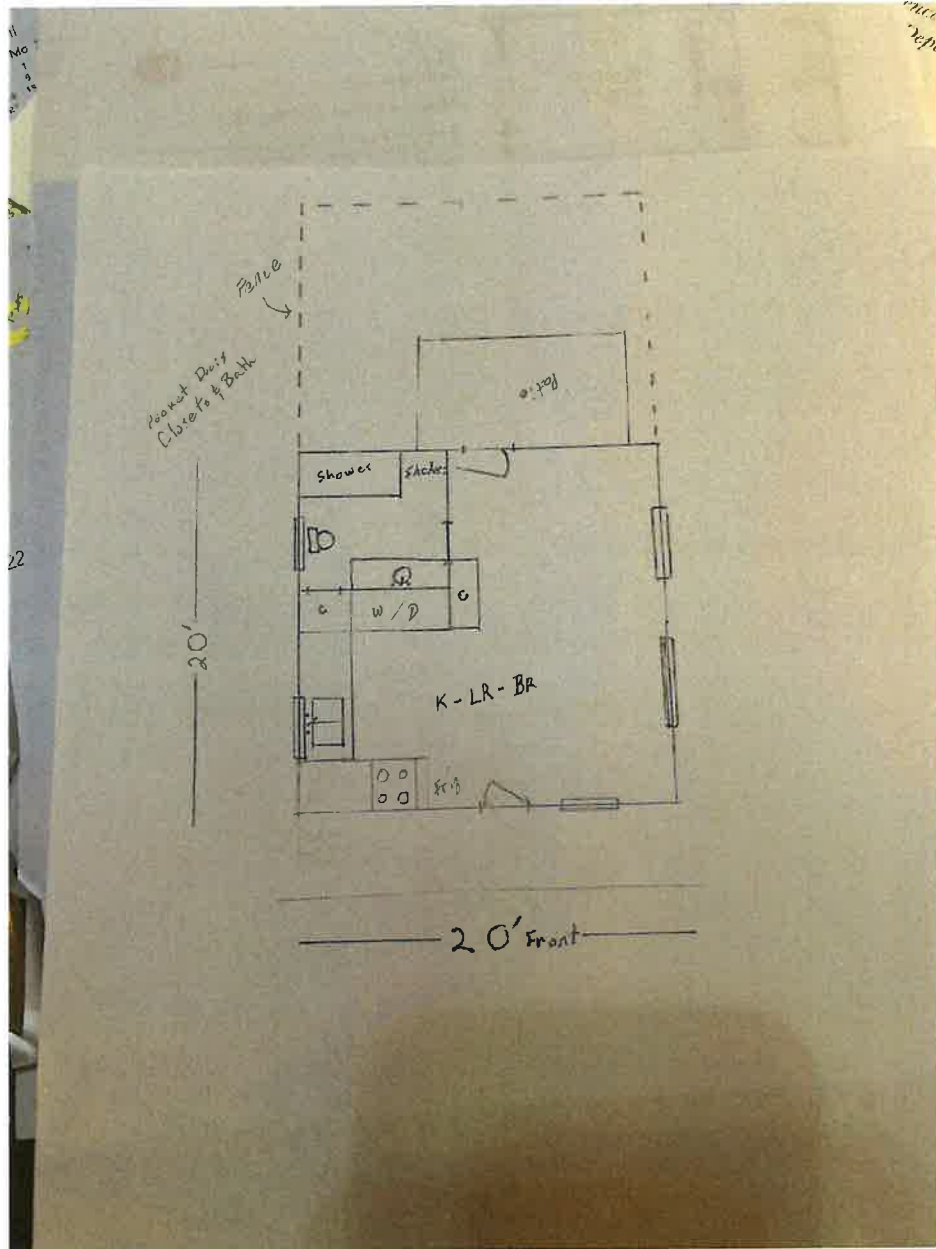
1924 Norman Bridge Court, Garden District, north and west elevation of outbuilding with detail of deterioration; north (rear) elevation of main residence



1924 Norman Bridge Court, Garden District, front and rear of apartment building



1924 Norman Bridge Court, Garden District, detail of Water Oak tree adjacent to the apartment building, 05/02/24



1924 Norman Bridge Court, Garden District, floor plan and dimensions of proposed replacement apartment building

6F



1924 Norman Bridge Court, Garden District, rendering of proposed replacement apartment building

7. PRESENTED BY: Thomas Craze

SUBJECT: Request for approval to return the porch area to its original screened-in configuration, build two stairs (one at front and one at rear), and paint the front door for the property located at 3124 Lexington Road (Cloverdale Idlewild).

REMARKS: Mr. Craze is requesting permission to

- i.) Replace a tree in the front (southeast) corner of residence with a wraparound garden bed
- ii.) Return the porch area to its original screened-in configuration and add lapped wood siding beneath the screened portion
- iii.) Build two stairs (one at front and one at rear), and
- iv.) Paint the front door.

For i.) The tree is under 12” in diameter at its base and therefore does not require ARB review (see attached Administrative COA granted by staff). For ii.) Mr. Craze says that the porch was originally screened, and he would like to restore it to its original condition. There would be screening added on the east (façade) portion, and both the north and south sides. On the north side, at top of the stairs, there will be a screen door added to provide entry onto the porch. The proposed door has a solid panel at bottom with screened portion at top. For iii.) Mr. Craze would like to replace the existing sinking concrete stairs at the front with a wood staircase and handrails and replace the existing wood staircase at the rear with a new wood staircase and add a second handrail. For iv.) Mr. Craze requests to paint the front door a non-palette red. The paint sample is Sherwin Williams’ 2913 “Classy Red.”

STANDARD OF REVIEW: Section 15-127 of the City Code states that “the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

Zoning: R-75-s

DEPARTMENT COMMENTS and STAFF RECOMMENDATION:

- No objection, staff recommend approval of all items.

NOTES _____

ACTION _____



3124 Lexington Road, Cloverdale Idlewild, east façade, and north elevation, 05/10/24

7A



City of **Montgomery**, Alabama

Land Use Division
Warren Adams

Mayor
Steven L. Reed

<u>City Council Members</u>	
Cornelius "CC" Calhoun – President	Franetta D. Riley
Glen O. Pruitt, Jr. – Pres. Pro Tem	Orande K. Mitchell
Ed Grimes	Andrew Szymanski
Julie T. Beard	Charles W. Finright
Marche Johnson	

May 10, 2024

Thomas Craze
3124 Lexington Road
Montgomery, AL 36106

RE: 3124 Lexington Road

Dear Mr. Craze,

Your request to remove a tree adjacent to your residence to the southeast and to install a wraparound flower or garden bed at 3124 Lexington Road in the Cloverdale Idlewild Historic District is hereby granted under an administrative review basis. The petitioner is requesting permission to remove a dual-stem tree that is perceived as being too close to the residence and replace it with a garden bed wrapping around the southeast corner of the residence. Since this tree was determined by the City's Urban Forestry Coordinator to be less than 12' in diameter at the base, it does not require examination by the Architectural Review Board.

After thorough study and consideration, staff from the City of Montgomery's Land Use Division approved the request on an administrative basis and this letter serves as a Certificate of Appropriateness (COA). COAs are valid for 18 months and may be extended if the scope of work has not substantially changed; however, they are void if construction has not commenced within 1 year from the date of approval. If you have any questions, you may contact Shaun Rose, Historic Preservation Coordinator, at 334-625-2041.

Sincerely,


Warren Adams
Land Use Controls Administrator

CC: Cloverdale Idlewild Association
File

/sr

7B

3124 Lexington Rd. Home Improvement Proposal



Orange- Tree located to left of porch to be removed. Will be replaced with a wrap around flower bed.

Yellow- Screened in porch to be added making the outdoor space more enjoyable. Would like to use wood siding on lower sections but can use vinyl. Additional picture on page 3.

Blue- Would like to paint door a red color.

Red- Would like to replace sinking staircase with a wooden staircase with hand rails improving safety of the home due to tall steps. Will be pictured on page 2.

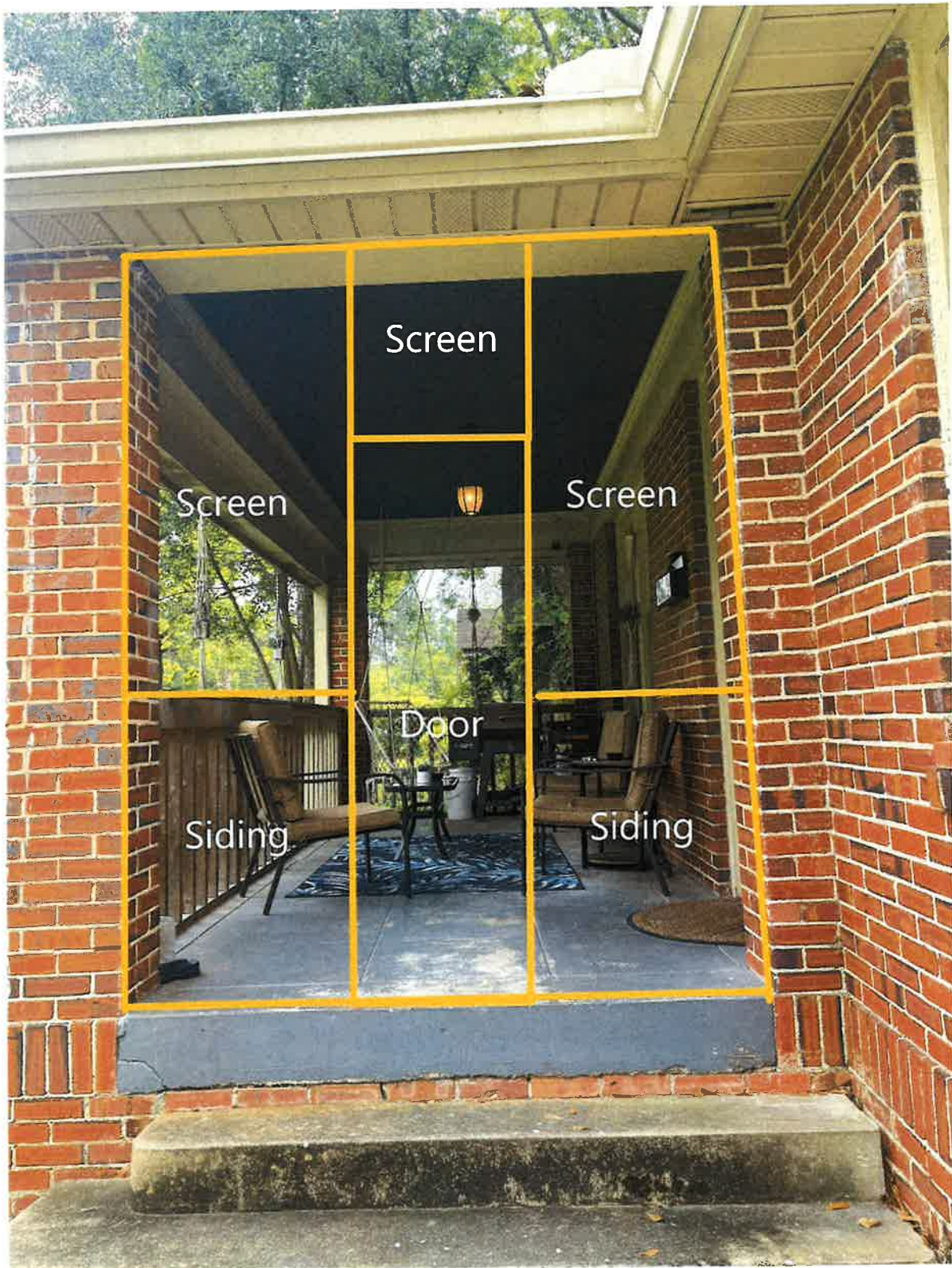
Green- Would like to replace stair case on rear entry door and add another hand rail. Pictured on page 4.

Examples will be pictured on pages 5-7

3124 Lexington Rd. Home Improvement Proposal



3124 Lexington Rd. Home Improvement Proposal



3124 Lexington Rd. Home Improvement Proposal



3124 Lexington Rd. Home Improvement Proposal

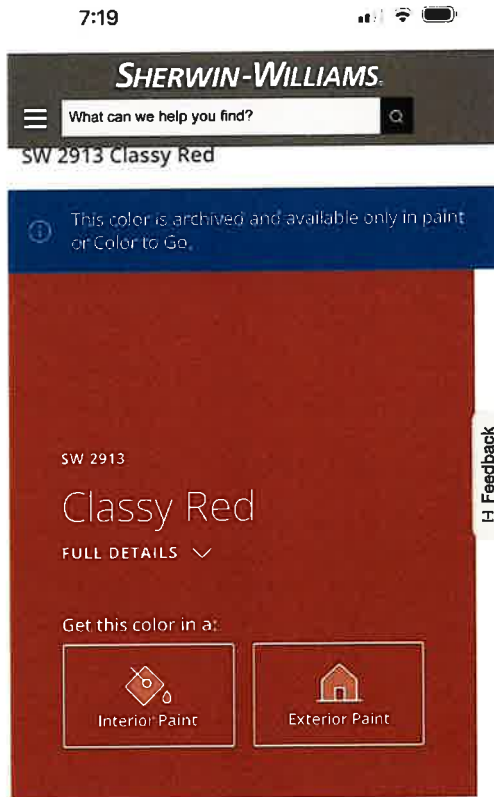


3124 Lexington Rd. Home Improvement Proposal



3124 Lexington Rd. Home Improvement Proposal





3124 Lexington Road, Cloverdale Idlewild, north elevation where the rear stair will be replaced;
paint sample for front door

75

8. PRESENTED BY: Wesley Black

SUBJECT: Request for approval to install two new egress windows to accommodate an unfinished attic conversion into a bedroom for the property located at 1601 Gilmer Avenue (Garden District).

REMARKS: Mr. Black is requesting permission to install two new egress windows on the south side of the residence, just under the gable and below a vent (vent to be removed). The reason prompting new windows is that the owner is renovating an unfinished attic space into a bedroom, and this requires egress windows. The project area is not easily visible from public ROW. The proposed new windows will be vinyl to match the style and material of the existing windows below where the new ones will be installed. The existing windows are double hung with simulated divided lites with muntins between the glass. The two new windows are proposed in the same style of divided lites but in a side-by-side casement configuration.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

Zoning: R-75-s

DEPARTMENT COMMENTS and STAFF RECOMMENDATION:

- No objection. Since these would be new windows, the residence was built in 1967, and other windows have already been replaced with vinyl, staff recommend approval to install new vinyl egress windows.

NOTES _____

ACTION _____

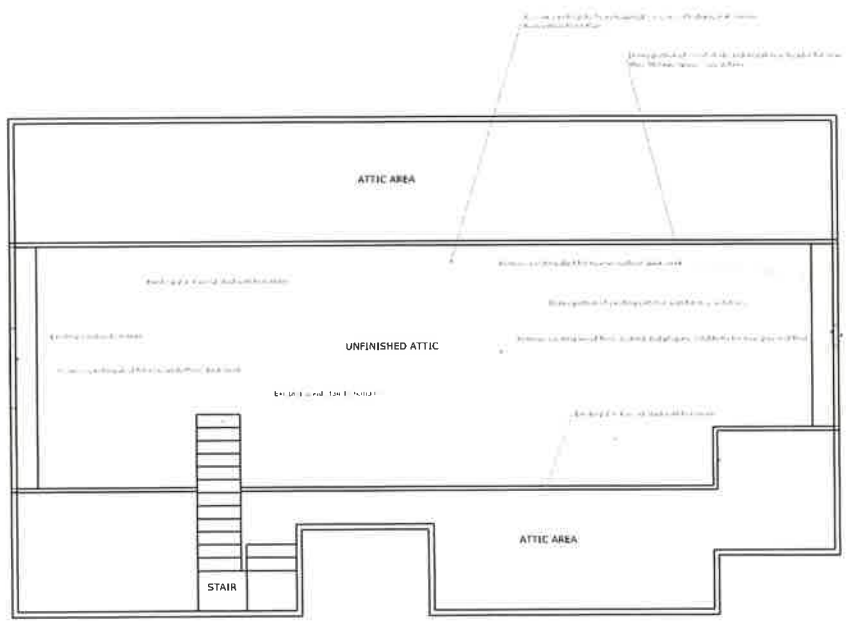


1601 Gilmer Avenue, Garden District, west façade, and project area (south elevation), 05/10/24

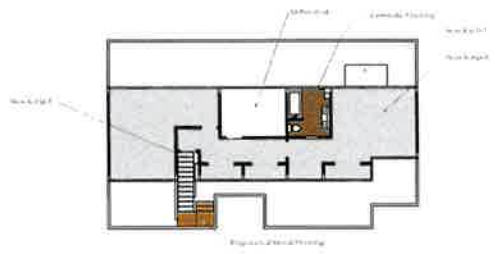
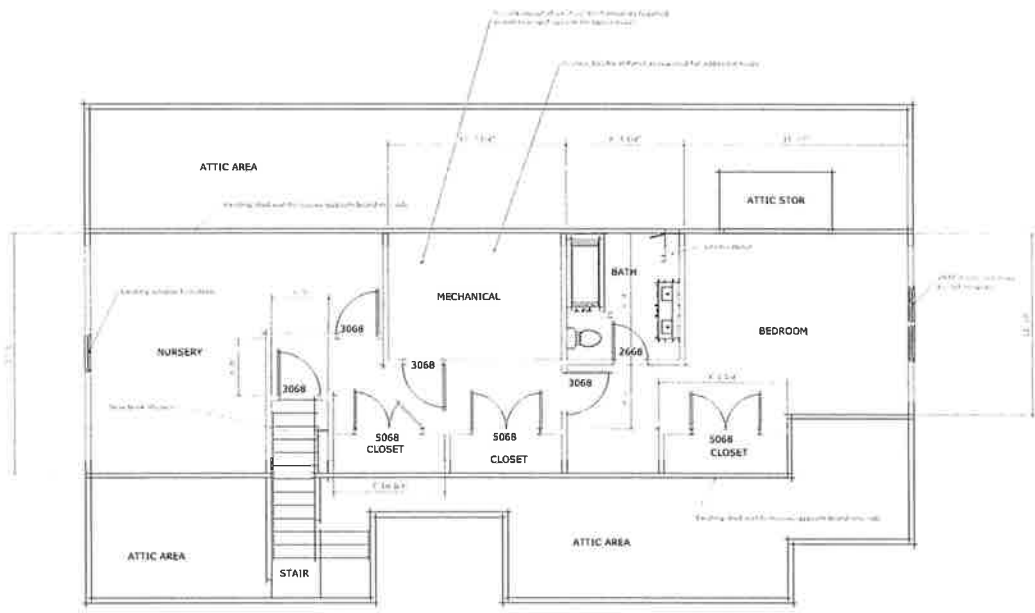


1601 Gilmer Avenue, Garden District, detail of project area; window on north elevation

Roof over Carport here not shown



8D



ROOM FINISHES RENOVATION UPPER LEVEL 3/22 - 1.0

FLOOR PLAN RENOVATION UPPER LEVEL 3/22 - 1.0

8E

- IV. Section 4 (Additions and New Construction) of draft revised guidelines. Please review prior to the meeting and come ready to provide any comments/revisions that you may have. This is just the text, so please review content, only, and not formatting. The final version will have photos, captions, etc. to make it more readable. Next month, we'll move to Section 5—Relocation and Demolition (the last section).**

Draft Design Guidelines for Montgomery's Historic Districts:

4. Additions and New construction

Decks

The outdoor deck is a contemporary exterior feature frequently introduced in residential historic districts. Essentially an uncovered, private version of a back porch, the deck can be compared functionally with a more traditional patio or terrace. Decks are sometimes covered by pergolas, which offers some shade, particularly when planted with climbing vegetation. To maintain a building's historic character, deck additions are generally located unobtrusively on the rear elevation. Decks are usually built to align with the first-floor level of a residence and can consequently stand considerably above the ground. Like any addition to a historic building, a deck should be compatible with but differentiated from the building. Decks should be structurally independent so that they can be removed in the future without damage to the building. A deck should never be so large that it overpowers the building or the site.

Planning your project

In locating a deck, property owners should always consider the proposed location's impact on the historic structure, the site, and the district. Locations that are visible from the street or that would damage or diminish significant architectural elements or significant site features, such as mature trees, should not be considered.

Because decks are exposed to the elements, decay-resistant woods, such as cypress or redwood, or pressure treated lumber should be used. Decks may be painted or stained to protect them from water and sunlight and to make them more compatible with the colors of the historic structure. Some pressure-treated wood may require six to twelve months of weathering before primer and paint will bond well to it. Opaque stains are a good option for exposed decks since they do not peel; stains are not an applied film like paint, but rather are a protective treatment that is absorbed into the wood surface. Galvanized nails and fasteners should be used in deck construction to avoid rust stains. Decks, rails, and balustrades should meet the standards set forth in the building code.

To relate a deck visually to a historic building, the structural framing should be screened with traditional materials such as skirtboards, lattice, or dense evergreen plantings. Because a deck is a contemporary feature, detailing it to duplicate the architectural detailing of the historic building is usually unwise. Instead, simple balustrades and other elements that reflect the materials and the proportions of the building and the district are appropriate.

Guidelines

- Construct new additions so that there is the least possible loss of historic fabric and so that the character defining features of the historic building are not destroyed, damaged, or obscured.
- Design new additions so that the overall character of the site, site topography, character defining site features, trees, and significant district vistas and views are retained.
- Survey, in advance, and limit any disturbance to the site's terrain during construction to minimize the possibility of destroying unknown archaeological resources.
- Protect large trees and other significant site features from immediate damage during construction and from delayed damage due to construction activities, such as loss of root area or compaction of the soil by equipment. It is especially critical to avoid compaction of the soil within the drip line of trees.
- Locate a new addition on an inconspicuous elevation of the historic building, usually the rear one.
- Limit the size and the scale of an addition in relationship to the historic building so that it does not diminish or visually overpower the building.
- Design an addition to be compatible with the historic building in mass, materials, color, and relationship of solids to voids in the exterior walls, yet make the addition discernable from the original.
- It is not appropriate to construct an addition if it will detract from the overall historic character of the principal building and the site, or if it will require the removal of a significant building element or site feature.
- It is not appropriate to construct an addition that significantly changes the proportion of built mass to open space on the individual site.

New Construction

New construction within a historic district can enhance the existing district character if the proposed design and its siting reflect an understanding of, and compatibility with, the distinctive character of the district setting and buildings. New buildings that are constructed in historic districts should try to harmonize with adjacent buildings and the neighborhood through the use of scale, materials, design elements, roof style, and landscaping. It is not necessary to attempt to duplicate a particular historic period or style.

Planning your project

The compatibility of new site development with the district setting depends on its compatibility with characteristic district-wide features as well as the retention of the site's specific topography and character defining features. The descriptions and guidelines included in Section 2, Site and Setting (pp. 13-29), are useful in determining the compatibility of proposed new site development within a historic district. The guidelines for various site features, including driveways, fences, lighting, garages, and plantings, apply to both existing site features and proposed new development. Because buildings within the historic districts generally display a clear consistency in setback, orientation, spacing, and distance between adjacent buildings, the compatibility of proposed new construction siting should be reviewed in those terms as well.

The success of new construction within a historic district does not depend on direct duplication of existing building forms, features, materials, and details. Rather, it relies on understanding what the distinctive architectural character of the district is. Infill buildings must be compatible with that character and the typical setback pattern. Contemporary design generated from such understanding can enrich the architectural continuity of a historic district.

In considering the overall compatibility of a proposed structure, its height, form, massing, proportion, size, scale, and roof shape should first be reviewed. A careful analysis of the buildings surrounding the site of new development can be valuable in determining how consistent and, consequently, how

- Select materials and finishes for proposed new buildings that are compatible with historic materials and finishes found in the surrounding buildings that contribute to the special character of the historic district in terms of composition, scale, module, pattern, detail, texture, finish, color, and sheen.
- Design new buildings so that they are compatible with but discernible from historic buildings in the district.

2. Relocation or demolition

Relocation

Moving historic buildings or structures is usually undertaken to save them from demolition or to fulfill the objectives of a revitalization plan. Often, these two objectives complement each other: an historically significant building threatened with demolition or surrounded by an environment not compatible with a potential adaptive use may be relocated into a more compatible environment. This action results in multiple benefits: saving the building, enhancing the environment, and increasing the real estate value of the building. However, relocation can also result in a loss of integrity of setting and environment, thus compromising the significance of the historic structure itself. Therefore, the decision to relocate an historic building or structure must be weighed carefully.

Planning your project

Because moving a building or large structure is complex, time consuming, and expensive, it should not be undertaken until every aspect of the project has been considered and evaluated. The property owner and the Architectural Review Board must fully consider the architectural and environmental aspects of the situation before addressing the practical problems of moving a structure. The following questions provide a framework for evaluating the architectural and environmental context for such a decision:

- Is the structure threatened with demolition?
- Is relocation the only alternative to demolition?
- Is the structure significant enough architecturally or historically to warrant moving it?
- Is the property structurally sound enough to survive a move and be adapted to its new site?
- If the structure is currently sited in a historic district, what is proposed for the site once the structure is removed?
- If the proposed site for a relocated structure is in a historic district, does the structure fit into the era of the district; is its style, architectural quality, size, and scale compatible with the district's?
- If the proposed site for a relocated structure is not in a historic district, what covenants, if any, will be established to preserve the distinctive character of the relocated structure?
- Will the move adversely affect the overall character of the historic district or of the remaining historic structures?
- Will the move damage significant district site features, such as a tree canopy, in transit or on the site?
- Is there an appropriate and practical new use for the structure on its new site?

Guidelines

- Before moving an historic structure, document its original setting and context. Use photographs, site plans, or other graphic or written statements to record the existing site conditions.
- Enlist contractors experienced in moving historic buildings to do the following:
 - Determine the structural condition of the property before the move.
 - Coordinate the move with the utility companies and appropriate city departments.

- Whether the property is or would be offered for sale
- Financial proof of the ability to complete the demolition and replacement project, which may include a performance bond, a letter of credit, a trust for completion of improvements or a letter of commitment from a financial institution.
- Before demolition, submit a site plan to the ARB illustrating proposed site development or plantings to follow demolition.
- Before demolition, work with the ARB to pursue all alternatives to demolition.
- Before demolition, record significant structures through photographs and/or measured drawings as specified by the ARB.
- Before demolition, work with the ARB and other interested parties to salvage usable architectural materials and features.
- During demolition, ensure the safety of any adjacent properties and historic resources. Also, during and after demolition, protect trees on the site from damage due to compaction of the soil by equipment or materials.
- After demolition, clear the site promptly and thoroughly.
- After demolition, plant or develop the site promptly as approved in the proposed site plan.