

A G E N D A

Architectural Review Board

October 25, 2022 – 5:30 p.m.

Council Auditorium, City Hall

103 North Perry Street

ARCHITECTURAL REVIEW BOARD MEMBERS

Ms. Elizabeth Brown, Chairman

Ms. Katie Williams, Vice-Chairman

Ms. Khalia Bell

Mr. Cedric Campbell

Mr. Jon Hayden

Mr. Jake Johnson

Ms. Hillary Morgan

Mr. Barry G. Robinson

LAND USE DIVISION
Thomas M. Tyson, Jr.
Executive Secretary

I. Approval of the Actions from the September 27, 2022, meeting

II. Administrative Actions

III. Full Review Items

<u>Item</u>	<u>Petitioner</u>	<u>Historic District</u>	<u>Location</u>
1.	Chandra Arthur	Garden District	1339 S. Perry Steet
2.	Lana Cavassa	Cottage Hill	422 Herron Street
3.	Laura Knapp	Capitol Heights	1606 Madison Ave
4.	Paul Schmidt	Cloverdale	704 Felder Avenue
5.	MAPCO Express	Cottage Hill	204 N. Holt Street, 637 Clay Street, 638 Herron Street and a portion of parcel 11 01 12 3 011 001.000 between Herron and Clay Streets

IV. Other Business

**The next meeting of the Architectural Review Board will be on
WEDNESDAY, NOVEMBER 16, 2022, at 5:30 p.m.**

II. Administrative Actions

9/16/2022	1000 S Perry	Garden	Work done not consistent with Board approval	Spoke with owner, working to remedy
9/22/2022	1598 Gilmer Ave	Garden	Driveway and stoop replacement, meets expedited guidelines	Admin approval
9/22/2022	132 S Capitol Pkwy	Capitol Pkwy	Rear yard fence, expedited review	Admin approval
9/26/2022	1717 S Hull	Garden	Modern shutter replacement	30 day to remove or apply for new
10/5/2022	3240 Wellington	Cloverdale Idlewild	Pecan tree encroaching on car port	Admin approval

**III. Full Review of Items
Old Business**

1. PRESENTED BY: Chandra Arthur

****Additional information was not received by the deadline set for items carried over. It will be placed on the next agenda.**

SUBJECT: Request for approval of a side property line fence for the property located at 1339 South Perry Street (Garden District).

REMARKS: The petitioner is requesting permission to install approximately 55’ feet of 12’ wood privacy fence on the south property line shared with 1349 South Perry Street. The petitioner is exploring with the contractor whether this will be two 6’ fences with boards to hide the seams and create a paneled look, or if the existing fence will be replaced with 12’ boards. Those options will be presented at the meeting.

At the September 27, 2022 hearing, the Board tabled the request as presented, and requested that a more detailed plan taking into consideration the suggestions by the Board regarding a lower height and/or use of vegetation or lattice panels, placement, extension of the fence so that it is not a free standing wall, staining a dark color.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

DEPARTMENT COMMENTS

Zoning: R-60-m

- The guidelines call for privacy fences not to exceed 6’ in height. The Board has approved fences that have been up to 10’ tall when the situation warranted. The “situation” has generally been caused by a change in grade between two properties where a 6’ fence would be ineffective.
- The fence is only proposed along a portion of one property line, and will not enclose the entire rear yard.
- A variance from the Board of Adjustment will also be required.

COMMENTS _____

ACTION _____

2. PRESENTED BY: Lana Cavassa

SUBJECT: Request for approval after the fact of the removal of a rear gable roof to construct a rooftop deck for the property located at 422 Herron Street (Cottage Hill). VIOLATION

REMARKS: The petitioner is requesting approval after the fact for the removal of a gable roof on a rear addition to replace it with a roof top deck. The juxtaposition of the gable roof to the original structure created a drainage issue at the rear wall of the original structure. The 25 ¾" parapet wall is in place and is to be sided with Hardie plank 8.25" lap siding, and topped with a 12" rail with square 1.5" balusters and a top and bottom rail. Decking to be 5/4" pressure treated deck boards. The one window opening on the rear elevation (north facing) will be converted to a door in the style illustrated. The door will fit the existing opening width. All other work to be repair/replace in kind.

At the August meeting, the request was tabled subject to additional information being provided: drawings (sketches or CAD) that clearly illustrate what is being proposed in relation to the structure showing the rail height in relation to the structure, and taking into consideration the recommendations by the Board that a plain metal handrail be considered in place of the parapet wall/rail combination proposed, as well as ensuring the alterations will meet building code. Alterations were also discussed for the rear porch rail that were not part of the original submission. The Board requested that renderings should illustrate all exterior alterations that are proposed for the building. The Board suggested this could also be an overlay on a photo if it accurately depicts the proposed changes, but that they needed something that allowed them to assess the rail height and visibility of the alteration.

The petitioner has submitted a metal rail, 36" in height with a white finish (the white image wouldn't copy, a matching black image was substituted for illustration only); and a roof plan view showing the location of the rail placement has been provided. No drawings or sketches were submitted, and no further description of the project (e.g. removing parapet and replacing with metal rail), or modifications to the rear porch were submitted. These items were outlined in the letter sent following the August 23rd ARB meeting.

At the September 27, 2022 hearing, the Board tabled the request subject to the submission of the requested elevations to provide a visual rendering of all of the project components put together in relation to the house. The petitioner has confirmed that Code requires a 36" rail, and is proposing a white metal rail to be installed at 36" above the finished floor.

STANDARD OF REVIEW: Section 15-127 of the City Code states that "the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

DEPARTMENT COMMENTS

Zoning: T4-R

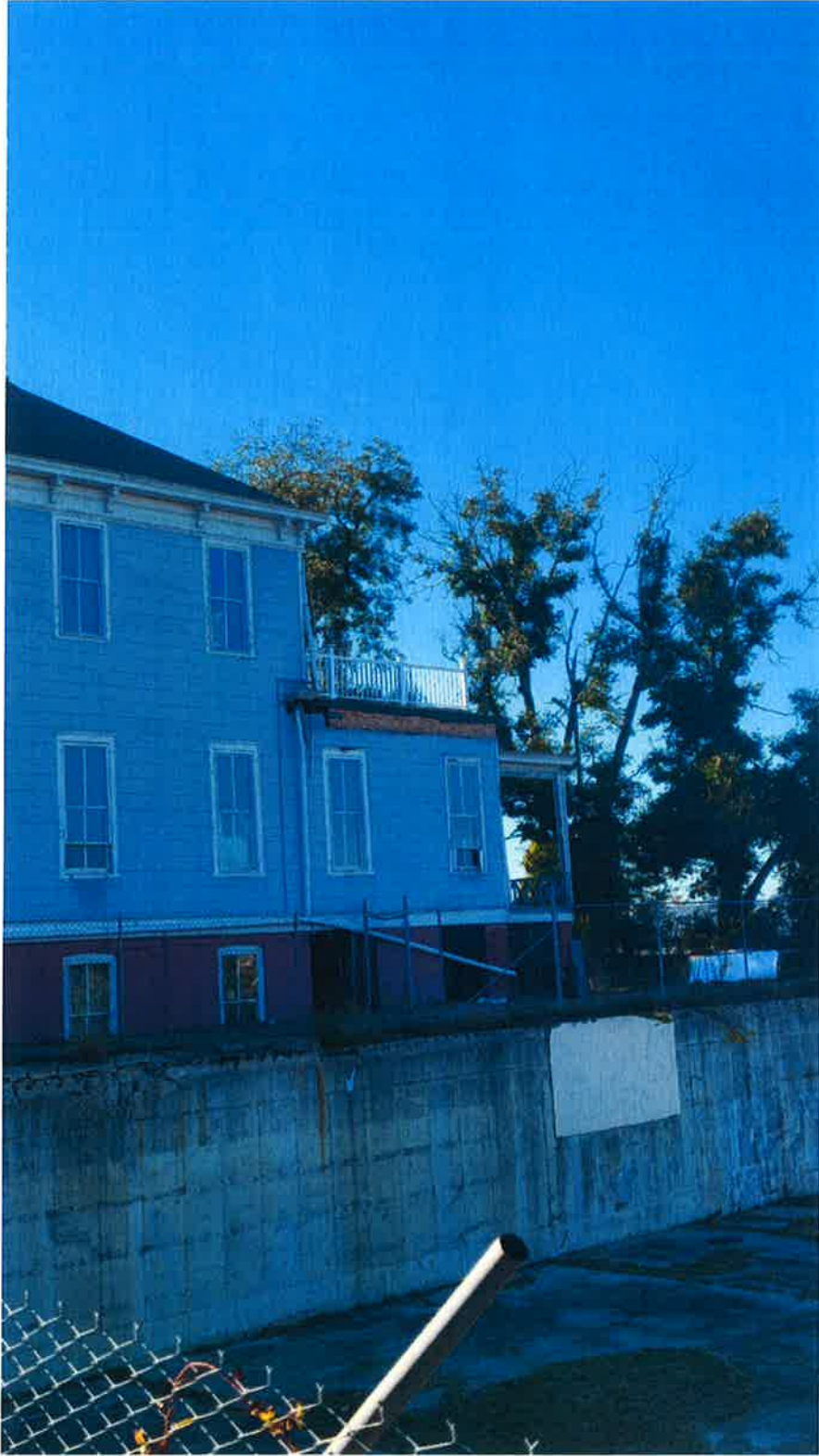
- As with any request for approval after the fact, the question the Board needs to ask itself is would we have approved this request had it been made prior to work being done.
- The Board needs to determine if the gable was a character defining feature of the structure. If it is, is this the solution you would have approved to address the water issue?

COMMENTS _____

ACTION _____







8:54



REALWOOD
CRAFTERS

Request Pricing



AA

realwoodcrafters.com



3. PRESENTED BY: Laura Knapp

SUBJECT: Request for approval of rear and side yard fencing for the property located at 1606 Madison Avenue (Capitol Heights).

REMARKS: The petitioner is requesting permission to install 6' wood privacy fences replacing existing fences on the side property lines to match an adjoining rear yard fence. The return to the house at the front will be recessed behind the front windows, with a fence and gate combination as illustrated.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

DEPARTMENT COMMENTS

Zoning: O-1

- No objection.

COMMENTS _____

ACTION _____





1. A drawing or photograph of the type of fence, wall or gate with the height and scale noted

a. The proposed fence will be a 6ft tall wood privacy fence constructed from pressure treated pine lumber. The below image is what the completed fence and gates will look like.





2. A site plan, with dimensions, showing the placement of any proposed change to the property as it relates to property boundaries, all other building or site facilities, and trees.

a. There will be no change to the property boundaries, facilities, or trees. We will be placing the new fence in the same location as the current chain link and wood fences.



3. A description of the materials to be used.

- a. The materials to be used are:
- i. 4x4x8 pressure treated pine lumber
 - ii. 2x4x8 pressure treated pine lumber
 - iii. 1x6x8 pressure treated pine lumber
 - iv. Pressure treated pine fence posts
 - v. Weatherproofing wood stain
 - vi. Cement for securing 4x4x8 posts

4. Paint samples, if the fence, wall, or gate is to be painted.

a. The fence will be painted with Behr Premium Waterproofing Stain & Sealer in the color Russet from Home Depot. This stain protects the fence from rot and is warranted for 25 years. It will ensure that it stays looking good for years to come.



Hover Image to Zoom

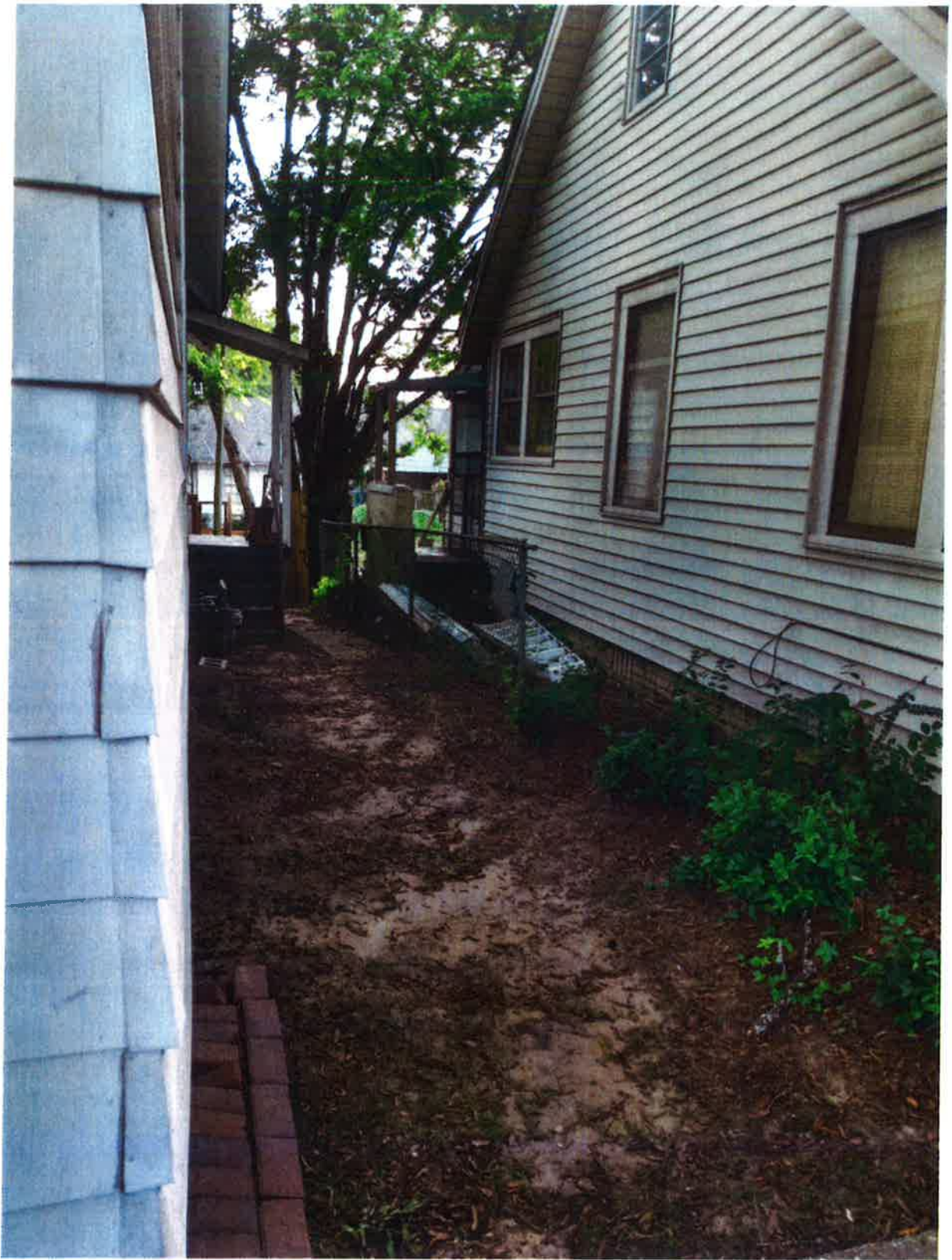
1 gal. #SC-117 Russet Solid Color Waterproofing Exterior Wood Stain and Sealer
by BEHR PREMIUM

Product Images



5. Photographs of street view and proposed location of fences, drives, and gates.







4. PRESENTED BY: Paul Schmidt

SUBJECT: Request for approval of a new carport and driveway, tree removals, and shed removal for the property located at 704 Felder Avenue (Cloverdale).

REMARKS: The petitioner is proposing removing a non-historic shed and 4 trees, one of which is 12” in diameter (basswood?) to create off street parking and construct a 24’x32’ carport with storage area. Bracket details and exposed rafter will mimic the house, roofed to match house, smooth cementitious siding with a 6.75” reveal, painted to match the house. The driveway will be 12’ wide and comprised of concrete or concrete and pavers. The petitioner intends to remove the parking area on the West/Cloverdale Road side of the property and plant a tree to replace the tree being removed.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

DEPARTMENT COMMENTS

Zoning: R-60-m

- Some Board members may remember that the individual who renovated this house about 10 years ago, carved the parking area in around a very mature tree without permission, which ultimately led to its demise. Urban Forestry says this replacement will cure a lot of ills, and the tree should be a 2.5” caliper willow or overcup oak.
- Size of carport will require a coverage variance from the Board of Adjustment
- No objection to moving parking off street or carport.



COMMENTS _____

ACTION _____



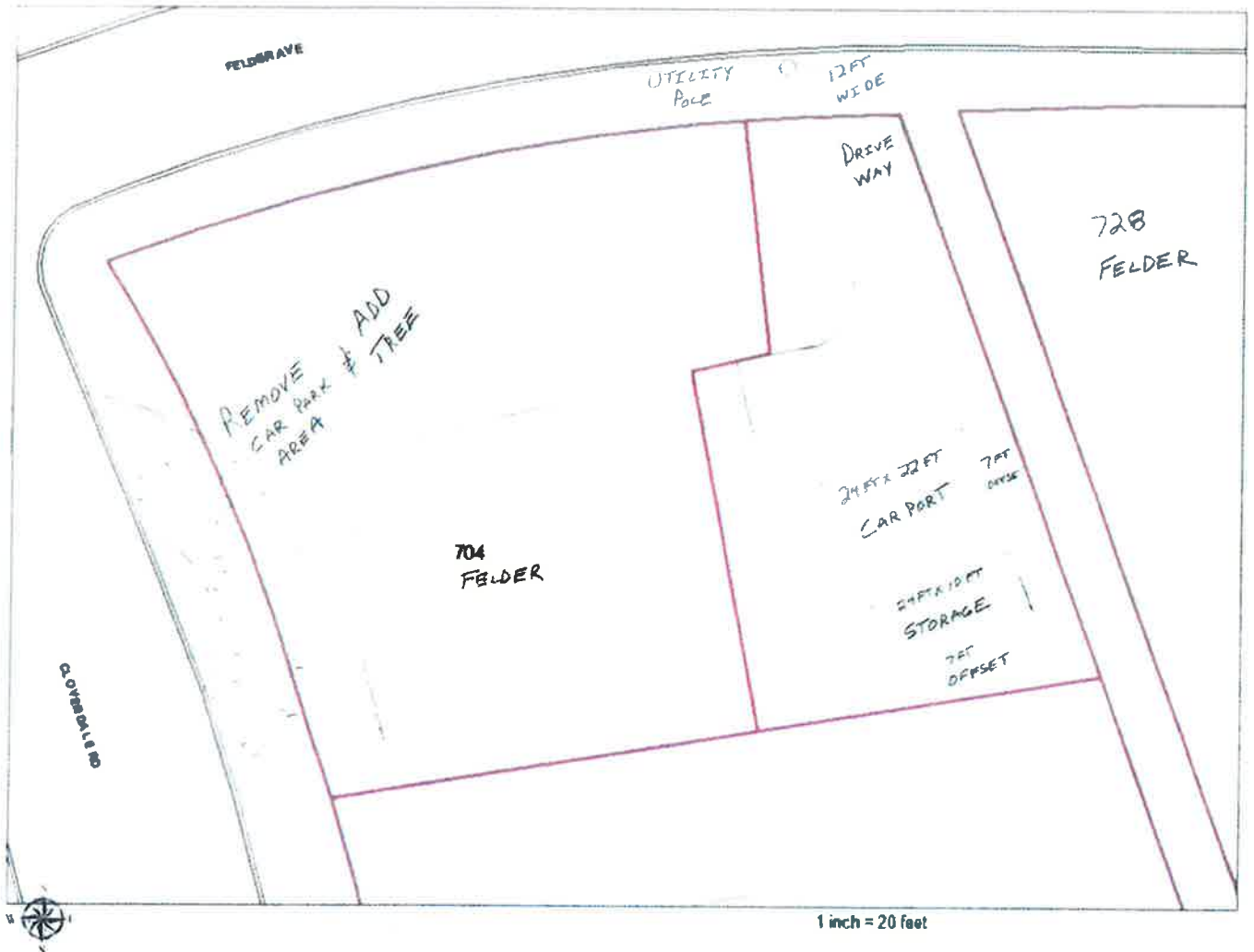
704 Felder Ave



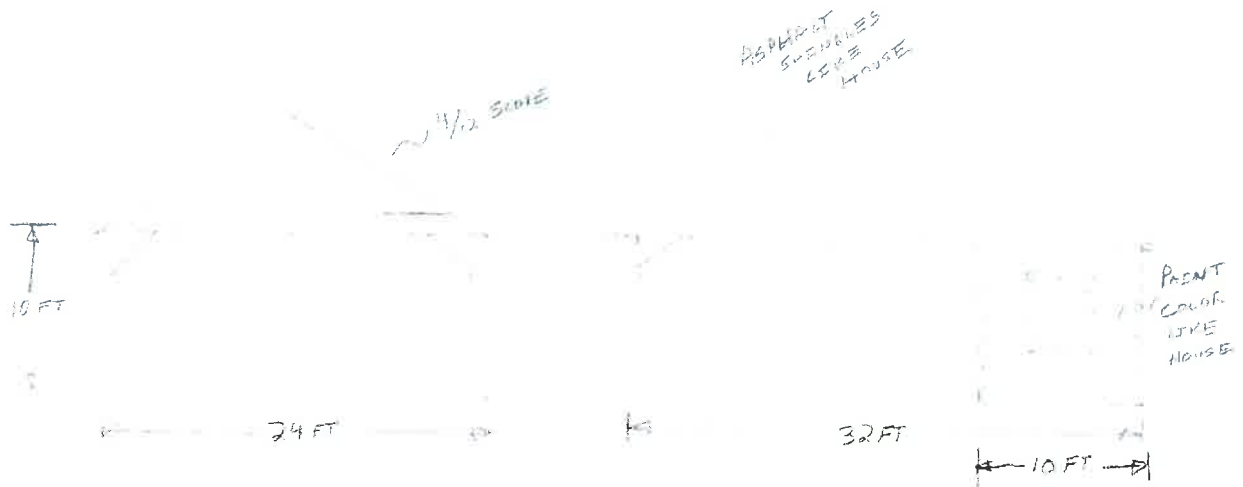
Remove car park area in photo below and replace with green space including a tree. The car park area is along Cloverdale Rd that has the walking/bike lane.



Site Plan



Sketch of Carport



Corner braces and ends of rafters will be similar to the shapes on the front porch. The carport will be a wood structure, paint colors same as house, and asphalt shingles same as house.



Proposed site for Carport East of House



Shed will be removed. Trees marked in yellow below will need to be removed. One tree is 12 inches in diameter and the other three trees are smaller.



Proposed site of driveway

Proposed location of driveway is in yellow below, left of the utility pole. We will need to remove the bushes and fence in that location for the driveway. The fence and bushes right of the utility pole will remain the same.



A closer view of where the driveway will be.



5. PRESENTED BY: MAPCO Express, Inc

SUBJECT: Request for approval of demolition of two historic structures, tree removals, grading, and construction of a gas station inclusive of a convenience store, canopy, signage, and landscaping, for the properties located at 204 N. Holt Street, 637 Clay Street, 638 Herron Street and a portion of parcel 11 01 12 3 011 001.000 between Herron and Clay Streets (Cottage Hill).

REMARKS: The petitioner is requesting the following for the above-mentioned properties (property to be platted into one if all necessary approvals are granted):

Demolition: The petitioner is requesting permission to demolish 2 historic structures, a c. 1945 commercial building fronting N. Holt Street, and c. 1940 house facing Clay Street. Please see attached assessment of the property, citing vacancy, some condition issues with the structures and retaining wall, and the house has been declared a nuisance by the city. The commercial property was occupied by Stern Brothers Furniture until they went out of business. The owner has marketed to other tenants with no success. The structures would have to be removed to accommodate the project as proposed.

Tree removal and excavation: The removal of 13 trees, 11 oaks 12", 18", 24", and 2 hackberries, 18", 24" are proposed. The trees need to be removed in order to excavate the remaining parcel to accommodate the proposal. Replacements would be required, as would landscaping to conform with the City's landscaping requirements under T4-C. (see attached site plan with trees and landscaping plan.

New Construction/replacement structure:

Site plan: The proposed site plan features entrances on the three street frontages, a gas canopy toward Holt Street, with the convenience store located closer to the interior (east) lot line. The building has been placed asymmetrically on the lot to provide a secondary entrance from Herron Street, a new sidewalk is proposed on all frontages.

Building: The proposed replacement structures are a gas island canopy and convenience store. The canopy is a flat roofed structure. The convenience store is an asymmetrical roofed building, primarily comprised of glass and masonry panels (see attached materials list and elevation renderings). Renderings have been provided showing illumination impact (dark sky compliant). The gas island/canopy has been reduced from the original 5 islands to 4 in the current proposal.

Signage: Signage is displayed on the building and canopy in the renderings, but details have not been provided for the building. Internal illumination and message boards are not permitted. A free-standing sign appears in the current submission (sheet 5II, 5NN, 5OO), but no details have been provided.

Other approvals: Plan will have to be reviewed by the Consolidated Review Committee (CRC) for any item not explicitly addressed or under the purview of the ARB. Plans will also go through a Development Plan review (fire, engineering, traffic engineering, water).

Note: This submission was made after additional consultation with staff and ARB members on April 22, 2022, and was presented to Cottage Hill on September 8, 2022. A comment made by a resident framed the issue nicely, MAPCO has a brand—a look, concept, philosophy, etc., but Cottage Hill also has it's own brand that they have invested in—are these two things compatible?

Full submission is available for review, staff removed construction and interior detail information from the agenda package.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

DEPARTMENT COMMENTS

Zoning: T4-R (rezoning request for T4-C has been requested to accommodate this use)



Demolition:

15-127 (a) Before the board approves the proposed demolition of an existing building within a historic district, the board must find that the removal of such building will not be detrimental to the historic or architectural character of that historic district or the board must find that, after balancing the interest of the city in preserving the integrity of the district against the interests of the property owner in the use and benefits of his property, approval of the plans for demolition is required by consideration of reasonable justice and equity.

Demolition in a Historic District guidelines: Statement of purpose of the demolition, with reference to the future land use of the site. It is the policy of the ARB to require the submission of plans for any building or other project which will be constructed on the site, before the issuance of a demolition permit. The applicant shall present evidence on the present condition of the building and the cost of rehabilitating it and maintaining it. *If the ARB determines the building to be of architectural or historic value it may delay demolition for 6 months while alternatives such as moving the building are explored.*

- The Board needs to determine if these buildings are significant vestiges of Cottage Hill's evolution as a neighborhood into the twentieth century.
- The demolition application states "New Construction must be compatible with the surrounding properties in scale, orientation, setback and materials."
- When the Board has approved demolitions of buildings that have been deemed significant, as built drawings and interior and exterior photographs have generally been required prior to final demolition approval.
- As the ARB is not in the business of creating vacant lots, any request for demolition should be delayed or subject to a *suitable* replacement plan is submitted and approved. Any approval for demolition should be contingent upon all other reviews and approvals being granted for the project as submitted (rezoning and development plan review). Any alterations to the approved submission as a result of those review processes would require re-review by the ARB.

Tree removal and excavation:

15-126 (a)(4) Landscaping includes without limitation grading, paving, construction of walkways, driveways, pools, and all other surface additions and improvements, but does not include the mere planting or removal of plant materials, other than the removal of trees larger than 12 inches in diameter at ground level, whose removal will nevertheless be permitted except where, all aspects of the removal having been considered, removal would, in the judgment of the board, have a net material adverse impact on the character and appearance of the historic property or historic district.

- The extent of the excavation proposed will materially alter the landscape. This block historically had been developed as a residential block with the Cottage Hill School situated on the high point in the block.
- The submitted landscaping plan does not meet SmartCode requirements. Urban Forestry notes that it is moving in the right direction, but the plan needs more trees and some alternate species would be recommended in this location.
- Due to the amount of site work required, it is recommended that no vegetation be installed in compacted soil, and if the project is approved, the required landscape screening will need to be maintained, e.g. any trees and shrubs that do not survive will need to be replaced.



New Construction

15-127(a) Before the board approves the plans for a proposed new building located within a historic district, the board shall find that such building neither in itself nor by reason of its location will materially impair the architectural or historic value of other buildings or sites in that historic district.

The demolition application states “New Construction must be compatible with the surrounding properties in scale, orientation, setback and materials.”

New Construction in a Historic District Guidelines:

New buildings that are constructed in historic districts should try to harmonize with adjacent buildings and the neighborhood through the use of scale, materials, design elements, roof style, and landscaping. It is not necessary to attempt to duplicate a particular historic period or style.

The appropriateness of each proposed structure will be evaluated by whether it fails to substantially contradict the following elements:

SCALE: New buildings should be similar in proportion to existing buildings in the neighborhood. They should not be noticeably shorter, wider, or narrower than adjacent buildings. Design elements within the building, such as windows, doors, railings, sidings, and similar details, should be similar to the neighborhood buildings. Setbacks should be similar.

MATERIALS: New materials should complement the materials used in the district—wood siding, stone, brick, stucco.

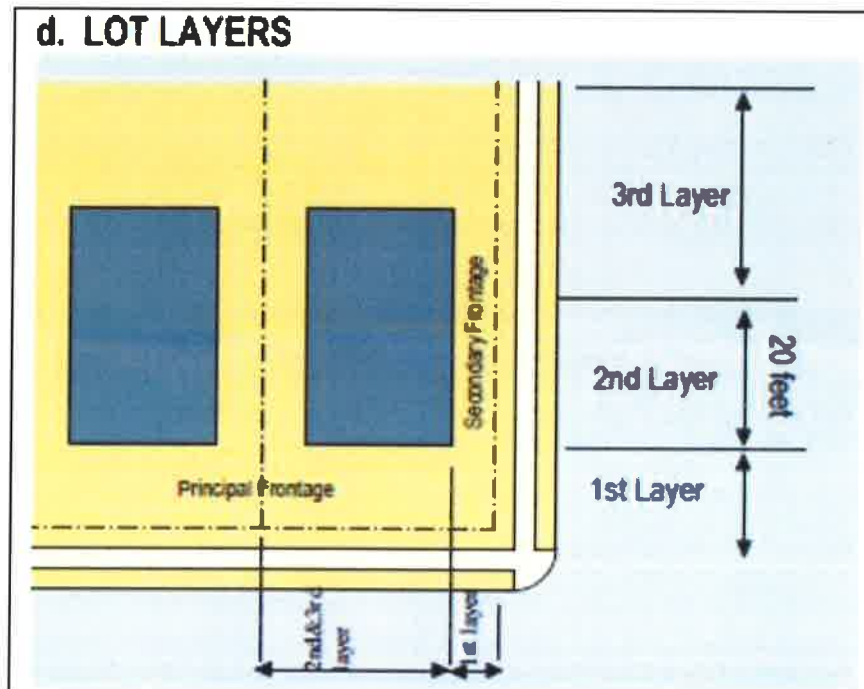
DETAILS: Details such as cornices, arches, lintels, column styles, and chimneys should be compatible with those on nearby buildings. Duplication of existing styles is unnecessary. The colors used on new buildings should also coordinate with those on the historic buildings.

ROOFS: Roof shapes and materials for new buildings should harmonize with the shapes and scale of those in the historic district because it is such a noticeable building element.

LANDSCAPING: Landscaping of the new building should be compatible with nearby buildings in visual effect and types of plants. Paving materials that are similar to those in the historic district would be considered favorably.

- The Board takes into consideration zoning requirements that may not be fully addressed under the guidelines, particularly with regards to setbacks, landscaping and signage.
- This location falls under SmartCode downtown. SmartCode is a form based code, which reinforces historic preservation principles regarding pedestrian friendly, urban form. When the opportunity arises with new construction/development, we need to seek good, pedestrian friendly urban form.
- The Downtown Plan called for a re-establishment of residential properties in this block.
- Does the demolition of historic buildings to build a standard layout gas station at a downtown and historic district gateway “materially impair” the district? The revised Downtown Development Plan calls for: Improve highway entrances to downtown. (Long term: 5+ years) Could include traffic flow changes to better connect downtown and surrounding neighborhoods, improved I-85 underpasses, and new commercial and mixed-used development along the interstate. Does this development “improve” a gateway to downtown or Cottage Hill?

- The bulk of the conversations with Mapco have revolved around the site plan. This property is currently comprised of 4 parcels that front 3 different streets. If the demolition was approved, staff advised the most critical visual relationship to maintain would be anchoring the Herron/Holt corner, or having a building facing Herron Street with gas pumps to the rear of the lot. Because Clay Street is not a primary approach and the adjacent land is vacant or new construction, we determined



- this was less of a visual concern, we have made our assessments with Herron Street as the principal frontage. Mapco was provided with examples of some “gas backwards” facilities (see attached), one of which is in Auburn, which would provide a pedestrian friendly storefront entrance on Herron Street while vehicular customers would be serviced from the rear of the building (Love and Pilot travel centers have figured this out for cars and semis, the premise is the same but for pedestrians and cars).
- SmartCode regulations consider fueling areas as parking: 5.5.4h “All parking areas except for driveways shall be located at the Third Lot layer as illustrated in Table 15D.” Currently the parking area encroaches on the first lot layer and extends through the third lot layer. This does not conform to the zoning regulations.
 - The goal of these recommendations was to offer a way to meet the Zoning and Historic District regulations and minimize the visual impact of a 24/7 gas station on nearby residential properties. At the most recent design review consultation with Mapco, the property owner, and a couple of ARB members, it was suggested that more glazing on the Herron Street side to more closely approximate a traditional storefront, and additional landscaping to provide more screening could create something that blends in better with the neighborhood. Those suggestions have been

incorporated into the current plan. See 5EE, 5FF, 5MM, and oversized landscape plan.

- SmartCode 5.5.1c: Buildings shall be disposed in relation to the boundaries of their lots according to Table 9 and Tables 14G & H. The proposed building disposition does not conform to zoning regulations.

From Table 9 for T4-C

<p>c. Rear Yard: A building that occupies the full frontage, leaving the rear of the lot as the sole yard. This is a very urban type as the continuous façade steadily defines the public thoroughfare. The rear elevations may be articulated for functional purposes. In its residential form, this type is the rowhouse. For its commercial form, the rear yard can accommodate substantial parking.</p>		<p>T4 T5</p>
<p>d. Court Yard: A building that occupies the boundaries of its lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, lodging and schools. The high security provided by the continuous enclosure is useful for crime-prone areas.</p>		<p>T4-C T5</p>

Table 14 F, G, H:
Montgomery, Alabama

	T1 Natural Zone	T2 Rural Zone	T3 Sub-Urban Zone	T4-R, O General Urban Zone	T4-C Corridor Zone	T5 Urban Center Zone
F. BUILDING SETBACK (see Tables 14A-14C)				*0 ft. allowed in T4-O		
Front	Exception	48 ft. min	24 ft. min	6 ft. min-24 ft. max*	0 ft. min – 24 ft. max	0 ft. min – 12 ft. max
Side	Exception	96 ft. min	12 ft. min	0 ft. min	0 ft. min – 12 ft. max	0 ft. min – 24 ft. max
Rear	Exception	96 ft. min	12 ft. min	3 ft. min**	3 ft. min**	3 ft. min
				** or 12 ft. from alley centerline		
G. BUILDING DISPOSITION (see Table 9)						
Edgeyard	Permitted	Permitted	Permitted	Permitted	Prohibited	Prohibited
Sidyard	Prohibited	Prohibited	Prohibited	Permitted	Permitted	Permitted
Rearyard	Prohibited	Prohibited	Prohibited	Permitted	Permitted	Permitted
Courtyard	Prohibited	Prohibited	Prohibited	Prohibited	Permitted	Permitted
H. PRIVATE FRONTAGES (see Table 7)						
Common Yard	N/A	Permitted	Permitted	Permitted	Prohibited	Prohibited
Porch & Fence	N/A	Prohibited	Permitted	Permitted	Prohibited	Prohibited
Terrace or L.C.	N/A	Prohibited	Prohibited	Permitted	Permitted	Permitted
Forecourt	N/A	Prohibited	Prohibited	Permitted	Permitted	Permitted
Stoop	N/A	Prohibited	Prohibited	Permitted	Permitted	Permitted
Shopfront / Awning	N/A	Prohibited	Prohibited	Permitted	Permitted	Permitted
Gallery	N/A	Prohibited	Prohibited	Permitted	Permitted	Permitted
Arcade	N/A	Prohibited	Prohibited	Prohibited	Permitted	Permitted

- SmartCode 5.5.1e: Facades shall be built parallel to the principal Frontage Line (*in this case Herron St*) or parallel to the tangent of a curved principal Frontage Line. Alterations to the proposed design which added more glazing to Herron Street visually address this in spirit.

- SmartCode 5.5.1f: Setbacks for principal buildings shall be as shown in Table 14F (see above). If Herron Street is accepted as a “false” front, this appears to fall within the front setback.
- It has been the contention of staff that the focus should be in the direction of the neighborhood and not the interstate to maintain an edge against encroachment of a vehicle intensive nature. The layout as proposed, even with the amendments to the plan, still embraces the interstate.
- It is also a concern that with the availability of other vacant lots along Clay and Herron Streets, this could precipitate other incompatible development, a la the Ann Street corridor. Highland Park does not have historic protection along that edge, but commercial encroachment has eroded the edge of that neighborhood.
- Absent any other building setbacks to conform with on these frontages, following the SmartCode guidelines for principal frontages and building disposition, this proposal does not entirely meet the standards set forth above. Permeability at street level of the principal frontage needs to be 70% glazing (5.5.5e), which appears to be addressed in this iteration. See sheet 5CC.2 for the evolution of the submission summary.
- As to the building design itself, a revised submission includes the use of a stone veneer system to emulate a masonry “brick” (see Exterior Finishes). The design is



modern, but is similar to another mid-century building (c. 1964) on the next block. It is noted that this “end” fronts the street, but it is on a narrow interior lot. Most of the commercial/industrial buildings between N. Holt and N. Goldthwaite are brick or concrete block.

- Is a masonry panel a sufficient facsimile to a concrete block or brick?
- Is the design too modern? Would a more traditional storefront building be better suited for this location, more closely emulating the building that demolition is being requested for?
- MAPCO gas stations have been “dark sky” compliant.
- The Board has followed the City’s Landscaping requirements to screen large expanses of pavement and tree replacements. In T4-C, a street screen is required, vegetative screening follows the Landscape Ordinance.

A. STREETSCREEN

Streetscreen maximum height, 8 ft. If solid material, must be articulated above 4.5 ft.

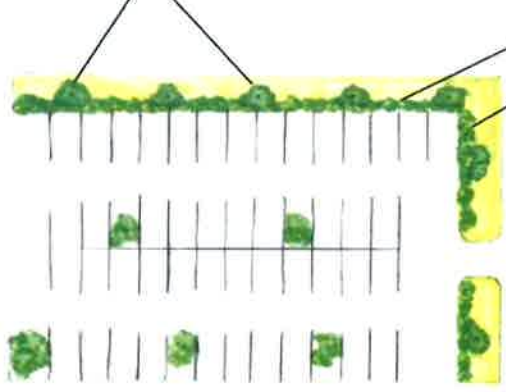
Streetscreen minimum height 3.5 ft. May be shrub, brick, wood, stucco or match adjacent building. Planted shrub must be a minimum 1.5 ft. high at installation, capable of a minimum 3.5 ft. at maturity.



B. PARKING LOT LANDSCAPING

Canopy trees along edge of parking area, 30 ft. on center.

Streetscreen along public frontages.



Interior landscape islands: in order to provide shade for area, trees shall be arranged so that each parking space is within 40 ft. of a canopy tree.

All landscape areas are to be irrigated.

- In order to review the landscape plan/tree replacement plan for SmartCode compliance, the project will need to meet site layout requirements. SmartCode landscaping is directly affected by the building frontage and parking orientation.

- Signage. Historic district guidelines recommend no more than 20 SF of sign face, exterior illumination. SmartCode regulations further restrict T4-C signage to a single (1) blade sign attached to the building with exterior illumination not to exceed 15 SF of sign face. T4-C also allows band signs of 3' in height by any length (5.5.8c & d), also with an exterior light source. Specific dimensions and light sources for the proposed signage need to be provided to determine compliance and would not be approvable at this time. Information on canopy lighting is found on 5GG. No information on building illumination or the free-standing gas sign (sheet 5II, 5NN, 5OO) have not been provided and should not be considered part of the submission. Signs are not to have moving or flashing lights as part of their display area.

COMMENTS _____

ACTION _____



204 N. Holt Street, 637 Clay Street, 638 Herron Street and a portion of parcel 11 01 12 3 011 001.000
between Herron and Clay Streets



204 N. Holt Street, 637 Clay Street, 638 Herron Street and a portion of parcel 11 01 12 3 011 001.000 between Herron and Clay Streets



204 N. Holt Street, 637 Clay Street, 638 Herron Street and a portion of parcel 11 01 12 3 011 001.000 between Herron and Clay Streets



GONZALEZ – STRENGTH & ASSOCIATES, INC.

CIVIL ENGINEERING • TRAFFIC & TRANSPORTATION ENGINEERING • LAND SURVEYING • LAND PLANNING • LANDSCAPE ARCHITECTURE

RECEIVED

OCT 03 2022

LAND USE DIVISION

Christy Anderson
Land Use Division
City of Montgomery
4th Floor
25 Washington Avenue
Montgomery, AL36104
334-625-2041

RE: ARB Application for MAPCO-Herron Street

Mrs. Anderson,

MAPCO Express Inc. is requesting approval from the Architectural Review Board for the redevelopment of a site that consists of the following subject properties:

1. Parcel ID 11 01 12 3 011 003.000, located at 204 N Holt Street.
2. Parcel ID 11 01 12 3 011 004.000, located at 638 Herron Street.
3. Parcel ID 11 01 12 3 011 002.000, located at 637 Clay Street.
4. A portion (to be subdivided) of Parcel ID 11 01 12 3 011 001.000, located at Clay Street and Hanrick Street.

All of the parcels are currently zoned T4-R, and pending ARB approval, MAPCO is going to subsequently request, through the Planning Commission, for them to be rezoned T4-C.

MAPCO has tried to incorporate feedback from the surrounding residents and city staff into plans for the development to create a site plan that will be an asset to the City as a whole, and in particular, to the surrounding district.

The most significant influence on the best and highest use of the site is its location immediately adjacent to I-65 and street access to and from the interstate highway.

The existing topography of the site is such that it is naturally acclimated more directly toward the interstate than it is to the properties to the East, and its grade and topography are such that a natural and effective line of separation between the site and the properties to the East can be established by the grade and landscape buffering. In using this natural topography of the site, it actually suits the neighborhood better by placing the building further away from the interstate and closer to the neighboring residents that will be served.

The proposed development of the site represents an investment of over five million dollars, and will provide access for area residents to a new, upscale store which provides groceries and on-site dining that is walkable and convenient to the neighborhood. The site plan has been configured to allow pedestrian access that does not cross or conflict with automobile access, which is directed by the curb cuts and drives to the West, toward the interstate. Conventional convenience store layouts center the building on the fuel canopy. In order to provide a more pedestrian friendly building and accommodate a closer desired street setback, the building has been pulled as close to Herron Street as practical. The proposed site plan brings the building to Herron Street and extends the Herron face of the building toward the back line of the site to create a more prominent presence along Herron Street. The project also anticipates construction of new sidewalk along Holt Street without any steps that will be more easily travelled by pedestrians. The proposed site plan will also include a short masonry wall along the Herron Street frontage to further enhance the presence on Herron Street.

The extension of the façade of the building along Herron Street includes architectural features in keeping with other commercial buildings in the Cottage Hill historic district to the East and enhances its character and appearance along Herron Street. Building materials, colors, and architectural features incorporated into the proposed plan for the new building, which are also found in other buildings in the district, include:

1. Full height glazing at the entry and public facing masonry walls
2. Awnings which delineate the entry point and provide visual interest
3. Clearstory windows which give an elevated feeling to the exterior and provide light for the interior
4. Flat, angled roof which creates a sense of height without adding stories
5. Roof overhang which provides a sense of shelter while not being overbearing
6. Usage of metal wall materials to differentiate commercial spaces from neighboring homes without detracting from them.

These are consistent with the features of buildings located at the following addresses throughout the district, photos of which are found on the attached Historic District Photographs Exhibit:

1. 121 North Goldthwaite Street
2. 441 Clay Street
3. 530 Herron Street
4. 215 Whitman Street

For nearly a decade, all of the properties immediately adjacent to this site, except for the Hatton Brown Publishers building which is owned by the current landowner, have either been vacant, or the interstate.

The subject site has not been improved with residential dwellings of any significance for over 60 years, as can be seen on the attached historical aerial photographs dating back to the construction of the interstate. The proximity of the site to I-65 is such that it's not plausible that the site will be redeveloped for residential use, or any other use not compatible with the intensive use of the interstate.

The current owner of the properties intended to acquire all parcels on the entire block bounded by Herron, Holt, Clay, and Hanrick Streets. This began with the initial purchase of the properties at Herron and Hanrick Streets in 1996.

The current owner of the properties acquired the parcel located at 201 North Holt Street in May, 2001, and leased it to the then current owner of the original business for approximately 16 years. When that lease was terminated, the landlord had to invest approximately \$50,000 into the building, mostly on the roof, before he could attempt to attract new tenants. Once those repairs were finished, the owner listed it and has attempted to lease the building for approximately 4 years without success. The existing building was constructed with the specific business in mind (Stern Brothers office supply company), and the limited amount of parking spaces (current zoning of the property would require approx. 78 parking spaces for a retail use in the existing building), in the opinion of the current owner, make the existing building unattractive for a retail type business.

The current owner acquired the parcel located at 637 Clay Street in March 2020, which includes the white block house that had already fallen into such a state of disrepair that the city has issued a request for it to be demolished.

According to the attached report prepared by Cole & Cole architects, Inc, the main structures on North Holt Street have no particular architectural significance, and their structure is such that it is not feasible to bring

these buildings to a condition appropriate for any productive use. The proposed site plan brings the new building to Herron Street and provides a much more significant presence along Herron Street than the existing buildings.

MAPCO will be requesting T4-C zoning through the Planning Commission because T4-R zoning does not allow for Convenience Store usage. As mentioned above, there is a clear and natural break between the site and the properties to the East, and there is a significant impact by the interstate upon the site, which is not felt by the properties to the East.

The proposed development of the site includes significant landscaping, which represents a vast improvement to the appearance of the site, and a much more attractive entrance to the district and the City. Please see the attached landscape plans prepared by Heibert + Ball Land Design. The landscape improvements include the following: parking lot screening with Juniper and Distylium, Alee Elm canopy trees, Oklahoma Redbud and Cherokee Princess Dogwood understory trees, D.D. Blanchard Magnolia and Nuttall Oak tree installation, Bermuda Sodding and Fescue seeding.

Renderings of the exterior of the proposed development improvements, building elevations, floor plan, landscape plans, proposed site plan, neighborhood photo exhibit, and historic district photo exhibit are attached.



C. Todd Smith, PE
Gonzalez Strength and Associates, Inc.



November 22, 2021

Mr. Neil Weber
Director of Design & Development
Mapco
801 Crescent Centre Drive, Suite 300
Franklin, TN 37067

Re: 204 N. Holt Street, Montgomery, AL

Dear Mr. Weber:

Mapco Inc. requested that we survey the referenced property to evaluate the condition of the buildings.

The original warehouse/showroom was apparently constructed between 1946-1948. Four additional warehouse structures were added in subsequent years.

The foundation consists of different slabs on grade that step between each building with the slope of the property. This creates accessibility issues. Numerous areas of cracking and settlement were observed. The walls are primarily concrete block with some wood frame infill and also show significant signs of cracking and settlement. Many areas of water intrusion were visible at the ceiling level below the wood-truss roof structure. The electrical and HVAC systems are antiquated, and I assume do not meet code.

The modestly constructed buildings are in poor condition and have no architectural significance. In my opinion, they have outlasted the original intended use.

Sincerely,
Les Cole

Les Cole
President



ORIGINAL STRUCTURE (Circa 1946-1948)



CURRENT SATELITE VIEW (Looking north)



STREET VIEW (South)



SIDE VIEW (West)



REAR VIEW (North)



INTERIOR – FIRST WAREHOUSE (South)



WATER INTRUSION/DAMAGE



INTERIOR – SECOND WAREHOUSE (South)



INTERIOR – THIRD WAREHOUSE (South)



INTERIOR – THIRD WAREHOUSE (North)



INTERIOR – FOURTH WAREHOUSE (East)



INTERIOR – FOURTH WAREHOUSE (South)



INTERIOR – FIFTH WAREHOUSE (South)



INTERIOR - FIFTH WAREHOUSE (East)



ANTIQUATED ELECTRICAL SYSTEM

EXAMPLES OF EXISTING COMMERCIAL AND INDUSTRIAL STRUCTURES WITHIN HISTORIC DISTRICT WITH SIMILAR BUILDING APPEARANCE FEATURES



B - EXISTING COMMERCIAL SITE AT 441 CLAY ST. HAS RELATABLE MASSING WITH PUBLIC FACING MASONRY WALLS ON SIDE AND REAR WALLS, BUT LARGE GLASS AREAS ON THE BUSINESS FRONT PAST THE PARKING AREA, CREATING A SENSE OF PLACE AT THE FRONT OF THE BUILDING. THE SYSTEM WINDOWS ALSO VISUALLY RELATE TO THE NEW MAPCO EXTERIOR, GIVING AN ELEVATED FEELING TO THE EXTERIOR AND PROVIDING LIGHT FOR THE INTERIOR.



A - EXISTING COMMERCIAL SITE AT 421 N. GOLDTHWAITE ST. EXHIBITS FULL HEIGHT GLAZING AT THE ENTRY AND MASONRY WALLS. SIMILAR MASSING RELATE TO THE NEW MAPCO EXTERIOR. THE AWKINGS AT THIS SITE AND ON THE NEW MAPCO STORE DELINEATE THE ENTRY POINT AND PROVIDE VISUAL INTEREST.



D - EXISTING COMMERCIAL SITE AT 215 WHITMAN ST. DEMONSTRATES THE USE OF METAL WALL MATERIALS TO DIFFERENTIATE COMMERCIAL SPACES FROM NEIGHBORING HOMES WITHOUT DETRACTING FROM THEM.



C - EXISTING COMMERCIAL SITE AT 530 HERRON ST. HAS MASSING THAT RESEMBLES THE NEW MAPCO STORE, WITH FLAT, ANGLED ROOF CREATING A SENSE OF HEIGHT WITHOUT ADDING STORES. THE ROOF OVERHANG IS VISUALLY SIMILAR TO THE NEW STORE AS WELL, PROVIDING A SENSE OF SHELTER WHILE NOT BEING OVERBEARING.

NO.	DESCRIPTION	DATE

HISTORIC DISTRICT PHOTOGRAPH EXHIBIT

MAPCO CONVENIENCE STORE

1000 WOODS CIRCLE
HERRON, ALABAMA 36044

MAPCO
MONTGOMERY, ALABAMA

DATE: 07/20/2011

SCALE: 1"=20'

DESIGNED BY: [blank]

APPROVED BY: [blank]

DATE: [blank]

GONZALEZ - STRENGTH & ASSOCIATES, INC.

CIVIL ENGINEERING - TRANSPORTATION ENGINEERING - LANDSCAPE ARCHITECTURE - LAND PLANNING - LANDSCAPE ARCHITECTURE

1800 WOODS CIRCLE
HERRON, ALABAMA 36044

PHONE: (205) 942-2800
FAX: (205) 942-2800
WWW.GONZALEZ-STRENGTH.COM

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PRELIMINARY
NOT FOR
CONSTRUCTION,
PERMITS OR
PURPOSES OR
IMPLEMENTATION

DATE: 07/20/2011
SCALE: 1"=20'



GONZALEZ – STRENGTH & ASSOCIATES, INC.

CIVIL ENGINEERING · TRAFFIC & TRANSPORTATION ENGINEERING · LAND SURVEYING · LAND PLANNING · LANDSCAPE ARCHITECTURE

Christy Anderson
Land Use Division
City of Montgomery
4th Floor
25 Washington Avenue
Montgomery, AL36104
334-625-2041

RE: Demolition Application for MAPCO-Herron Street

Mrs. Anderson,

MAPCO Express Inc. is requesting approval for the demolition of structures located on the following subject properties:

1. Parcel ID 11 01 12 3 011 003.000, located at 204 N Holt Street.
2. Parcel ID 11 01 12 3 011 002.000, located at 637 Clay Street.

The existing structure located on subject property (1) above is described as:

Gray Building – The building is large, rectangular shaped, spans almost one full block and is a mix of materials including cmu, brick and siding. The perimeter of the building has multiple foundation cracks and a visible sign of leakage from the connection of the canopy to the building. The arched roof sloping south is uneven. The building has been vacant and unconditioned for many years and the owner has actively tried to find another tenant for years, with no success. Retaining walls adjacent to this building are failing, jeopardizing the use and structural components of the building. There is evidence of squatters along the front of this building.

The existing structure located on subject property (2) above is described as:

White Building – The building is small, square shaped and it is a mix of materials including cmu, brick and wood siding. At the rear/south of the house the roof is visibly collapsing inward, and the walls are inundated with graffiti. While the north of the building is boarded up with visible cracks in the exterior walls, a crumbling brick foundation and rusted metal columns holding up the roof on the front porch. Also, the entry stair has broken tiles at the landings and rotting fascia that surrounds the perimeter of the building. The City of Montgomery has deemed this a "Blighted and distressed property" and sent notification to the property owner that the building has been declared unsafe and deemed a public nuisance, asking the property owner to demolish the building. There is evidence of squatters in this building.

Photographs of the structures described above are attached.

C. Todd Smith, PE
Gonzalez Strength and Associates, Inc.



50



5R

PRIVATE PROPERTY
NO PARKING





51



50



5R





51



BR



BR



50



5R



50



51







KISS ME
Rain or Shine



5X



54



52

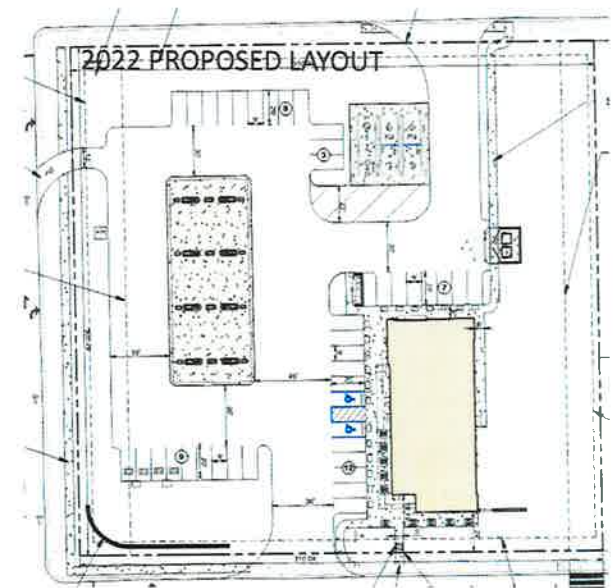
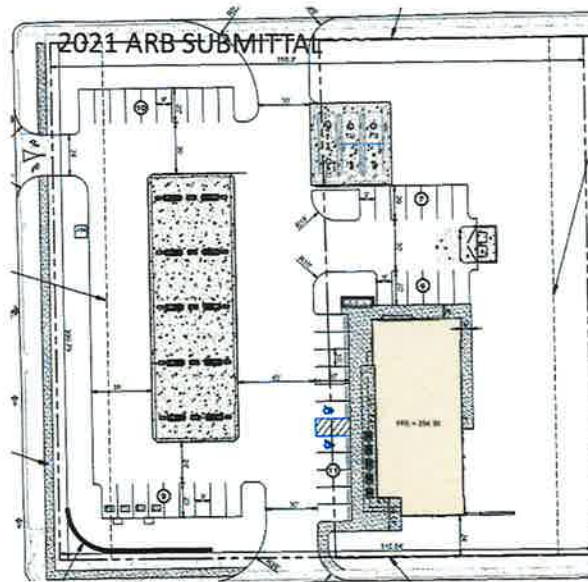
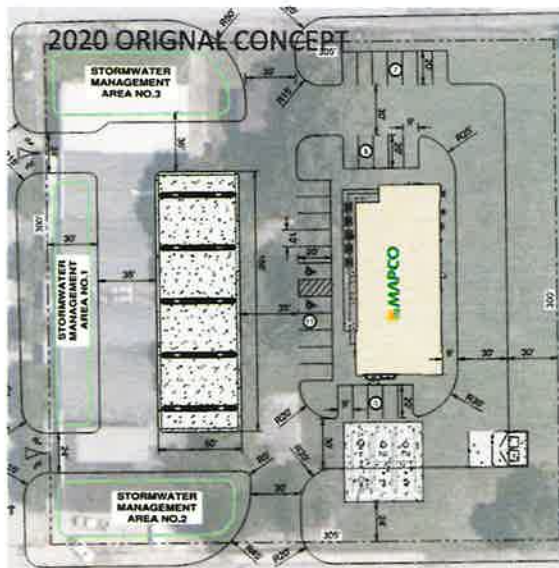


EMA



582

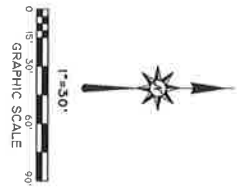
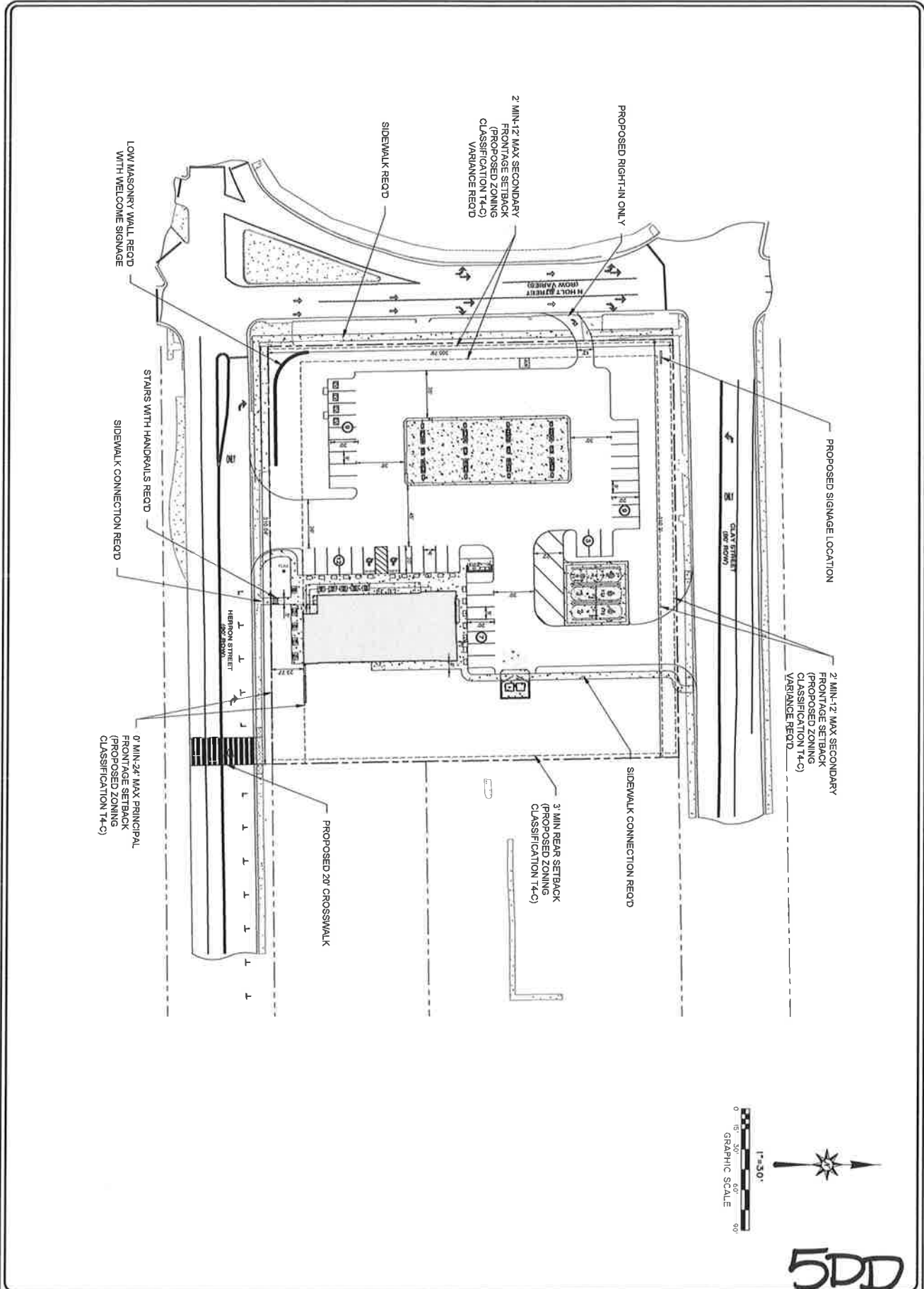




SITE SPECIFIC DESIGN CHANGES

- SHIFTED BUILDING TO HERRON ST PER ARB COMMENTS ALIGNING WITH OTHER COMMERCIAL BUILDING SETBACKS
- ENLARGED HERRON ST FRONTAGE FOR MORE SIGNIFICANT STREET PRESENCE PER ARB REQUEST TO CREATE STREETWALL EFFECT
- ADD PATIO AREA ALONG HERRON FRONTAGE FOR PEDESTRIAN ENGAGEMENT
- COORDINATE WITH CITY TO ADD A PEDESTRIAN CROSSING AT HERRON ST TO CREATE SAFER CONDITIONS FOR CROSSING HERRON
- BUILD NEW SIDEWALKS ALONG PORTIONS OF HERRON ST AND HOLT ST TO PROMOTE PEDESTRIAN CIRCULATION AROUND BLOCK. CONNECT CLAY TO STORE WITH SIDEWALK
- ADD MASONRY WALL WITH WELCOME TO COTTAGE HILL SIGNAGE
- REDUCED NUMBER OF DRIVEWAYS PER ARB REQUEST
- REDUCED CANOPY SIZE AND SHIFT CANOPY TO NORTHWEST CORNER OF SITE TO INCREASE DISTANCE BETWEEN CANOPY AND NEIGHBORHOOD TO SOUTH
- MOVE TANKS TO NORTH SIDE OF THE PROPERTY
- MOVE THE DUMPSTER ENCLOSURE TO OPPOSITE SIDE OF BUILDING, AWAY FROM HERRON ST
- PROVIDE ENHANCED LANDSCAPING ALONG SOUTHWEST CORNER OF SITE PER NEIGHBOR REQUESTS TO LIMIT VIEWS TO UNDER CANOPY
- ELIMINATE ACCESS DRIVE AROUND BUILDING TO WORK MORE COHESIVELY WITH EXISTING TOPOGRAPHY
- CONCENTRATE ALL DETENTION AT SOUTHWEST CORNER OF LOT TO CREATE MORE LANDSCAPE BUFFER BETWEEN HERRON AND CANOPY

Design Evolution



5DD

DATE: 11/11/11
 DRAWN BY: JGARCIA
 CHECKED BY: TSMITH
 PROJECT: 110210-0001
 SHEET: 20-04-088

GONZALEZ - STRENGTH & ASSOCIATES, INC.
 CIVIL ENGINEERING - TRANSPORTATION ENGINEERING - LAND SURVEYING
 LAND PLANNING - LANDSCAPE ARCHITECTURE
 1560 WOODS OF REVERCHARE DRIVE SUITE 200
 HOOVER, ALABAMA 35224
 PHONE: (205) 942-2488
 FAX: (205) 942-3033
 www.Gonzalez-Strength.com
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TITLE: SITE LAYOUT PLAN
MAPCO CONVENIENCE STORE
 HERON STREET
 MONTGOMERY, ALABAMA
MAPCO
 FRANKLIN, TENNESSEE

DRAWN BY: JGARCIA EXD. BY: TSMITH SCALE: 1"=50'
 DATE: 11/11/11

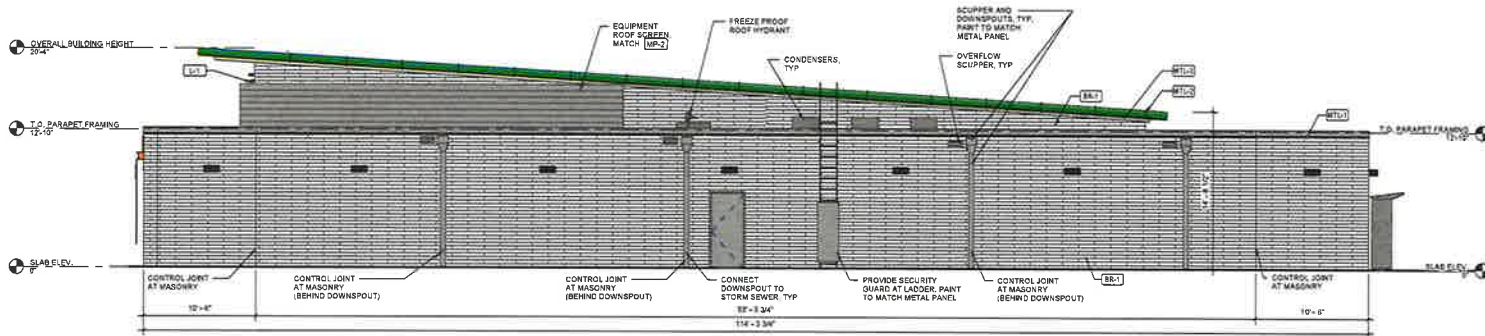
NO.	REVISIONS DESCRIPTION	DATE



3 3D VIEW

FINISH LEGEND - EXTERIOR					
MARK	DESCRIPTION	MANUFACTURER	MODEL	COLOR	COMMENTS
SM-1	STONE VENEER (EXTERIOR)	COBRELON	ARIA ALUM STONE (1 1/4" X 3 1/2" X 3 1/4")	GRAPHITE	GROUND SEALES
L-1	LOUVER	MANIBEX	VELOCOL - SINGLE BLADE	BRONZE FINISH	
L-2	LOUVER	DEGLAM	SOLE 4816 5' x 2'	TEAK	
M-1	METAL WALL PANEL (HORIZONTAL)	FACOLAD	REVEAL WALL PANELS 1"	SLATE GREY	2" GAUGE
M-1.1	BREAK METAL (TRANSIT FLASHING)	FACOLAD		SLATE GREY	
M-1.2	ALUMINUM COMPOSITE PANEL (FACON FULL FRAME)	REYWOODCO		COLOR MATCH FINE RED "MAPCO GREEN"	
M-1.3	ALUMINUM COMPOSITE PANEL (FACON)	REYWOODCO		SILVER/SMITH	
PT-1	PAINT (HAW DOOR AND FRAME, LADDER, LADDER SECURITY GUARD, CHAMPIER SAFE, CHAMPIER GATE POST & COLUMN FINISH)	PPG	PPG10105	DOWNPOUR	
PT-2	PAINT (MULLARD)	PPG		COLOR MATCH FINE TND "MAPCO LIGHT GREEN"	
PT-3	PAINT (BUILDING CANOPY PERIMETER BEAM)	PPG		COLOR MATCH FINE TND "MAPCO ORANGE"	REF BAC B06 NOTE ON SHEET A-01
PT-4	PAINT (BUILDING CANOPY COLUMN OUTRODDER BEAM)	PPG		COLOR MATCH STORE/FRONT - CLEAR ANODIZED ALUMINUM	
W-1	WOOD GRAFF	DEGLAM	VERTICO 3811 8011 CLADDING	TEAK	

HERRON ST FOCUSED FACADE OPTION



2 REAR ELEVATION



1 FRONT ELEVATION

HARRISON FRENCH ARCHITECTS, LTD



1-770-271-7861
1705 G. Thibault Blvd., Suite 3
Brewer's Hill, Arkansas 72712
www.hfa.com

MAPCO PROJECT NUMBER
1705 G. Thibault Blvd., Suite 3
Brewer's Hill, Arkansas 72712
www.hfa.com

MAPCO
STORE NUMBER: 0000 - HERRON
CORNER OF HERRON ST AND N HOLT ST
MONTGOMERY, AL
JOB NUMBER: 03-11-0000

ISSUE BLOCK	

CHECKED BY:	
DRAWN BY:	
DOCUMENT DATE:	06/15/21

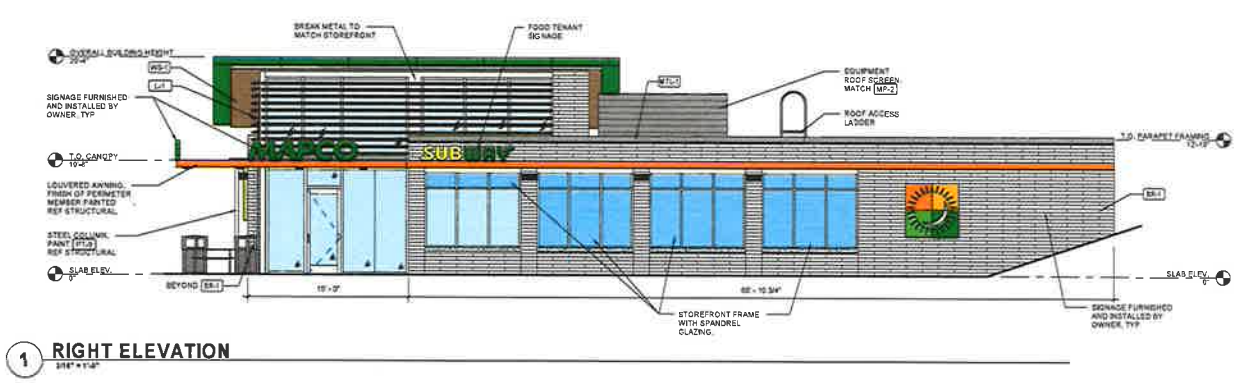
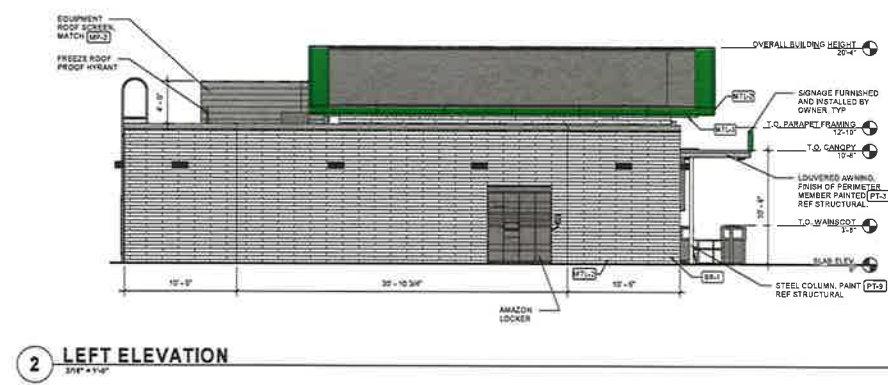
NOT FOR CONSTRUCTION

COLOR BUILDING ELEVATIONS

SHEET
BE1

FINISH LEGEND - EXTERIOR					
MARK	DESCRIPTION	MANUFACTURER	MODEL	COLOR	COMMENTS
SP-1	STONE VENEER (EXTENSION)	EDGECOR	RAW SLAB STONE (1.59" H X 3.55" W L X 3.59" D)	GRAPHITE	GROUND/SEALED
LS	Louver	MANNEER	VENUEBLADE - WINDOL BLADE	BRONZE FINISH	
LS-1	Louvers	ADGLAM	SOLEID 6011 5" X 2"	TRIM	
MP-2	METAL WALL PANEL - HORIZONTAL	PARACAD	REVEAL WALL PANELS, P	SLATE GRAY	12 GAUGE
MT-1	BREAK METAL, PARADEPT FLASHINGS	PARACAD		SLATE GRAY	
MT-2	ALUMINUM COMPOSITE PANEL, PASADU WALL FRAME	PERTECHNO		COLOR MATCH FMS 316C "MAPCO GREEN"	
MT-3	ALUMINUM COMPOSITE PANEL, PASADU	PERTECHNO		COLOR MATCH FMS 316C "MAPCO GREEN"	
PF-8	PAINT (HM DOOR AND FRAME, LAUNDER, LAUNDRY SECURITY GUARD, DUMPSTER GATE, DUMPSTER GATE POST & COLLAR HOOKS)	PPG	PPG12135	DOWNPOUR	
PF-6	PAINT (SILLARCS)	PPG		COLOR MATCH FMS 316C "MAPCO LIGHT GREEN"	
PF-8	PAINT (BUILDING CANOPY PERIMETER BEAM)	PPG		COLOR MATCH FMS 316C "MAPCO ORANGE"	REF SAC EOK NOTE ON SHEET A121
PF-8	PAINT (BUILDING CANOPY COLUMN OUTDOOR BEAM)	PPG		COLOR MATCH STOREFRONT CLEAR ANODIZED ALUMINUM	
W-1	WOOD DOOR	DEGLAM	VERTIGO 1011 DOOR CLADDING	TRIM	

HERRON ST FOCUSED FACADE OPTION



HFA
HARRISON PRITCHETT ARCHITECTS, LLP
1479 27th TRF
1714 S. Walton Blvd., Suite 2
Birmingham, Alabama 35274
www.hfa.com

PERMANENT FOR RECORD
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MAPCO
CORNER OF HERRON ST AND MONTGOMERY, AL
USE NUMBER 08-140011

ISSUE BLOCK

CHECKED BY: _____
DRAWN BY: _____
DOCUMENT DATE: 06/13/22

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COLOR BUILDING ELEVATIONS

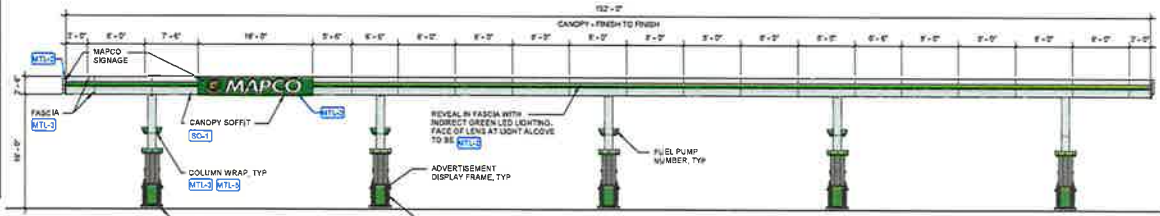
SHEET: BE2

577

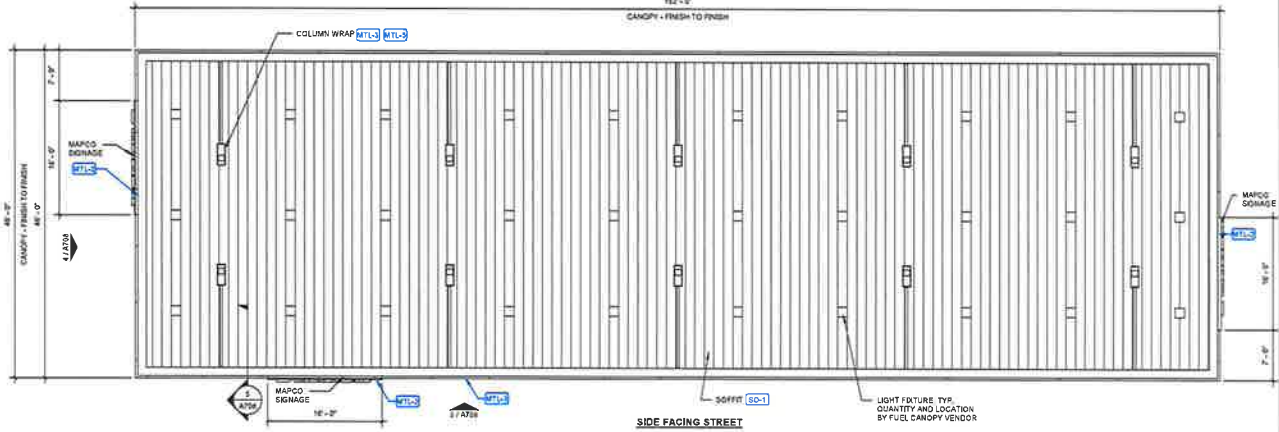
FINISH LEGEND - EXTERIOR					
MARK	DESCRIPTION	MANUFACTURER	MODEL	COLOR	COMMENTS
EC1	CONCRETE CURB, PLANTER AND UTILITY RECEPTACLE			CONCRETE	USE SCREWS THAT MATCH COLOR OF COMPOSITE DECKING. AT ANGLES WHERE CORNER OF COMPOSITE DECKING IS EXPOSED, PROVIDE SEALER PER MANUFACTURER'S RECOMMENDATION. PROVIDE EAGLE PREMIUM CLEAR COAT.
EC-2	EXPANDED CONCRETE (ISLAND)			BLACK	
MTL-3	ALUMINUM COMPOSITE PANEL (SIGNAGE BOX)	RETROBOND		COLOR MATCH PAWS 3602 "MAPCO GREEN"	
MTL-5	ALUMINUM COMPOSITE PANEL (CANOPY FASCIA, COLUMN WRAP)	RETROBOND		SILVERSMTW	
MTL-9	STEEL PANEL (COLUMN WRAP)	FASHION			MATCH SILVERSMITH (METIC SILVER).
MTL-14	METAL BULLNOSE (CANOPY ISLAND)				1/4 GA STEEL. ONLY AT MID SECTION OF COLUMN WRAP WHERE ADVERTISEMENT BOARDS ARE PLACED. REF ELEVATION AND PERSPECTIVE.
PT-6	PAINT (PLANTER AND UTILITY RECEPTACLE)	PPG	PPG1025D	DOWNPOUR	
TK-1	SOFFIT (EMBEDDED DECK)			WHITE	FRESH STAINLESS STEEL.

NOTE: FUEL CANOPY DRAWINGS SHEETS A738 AND A739 ARE FOR DESIGN INTENT REFERENCE ONLY. REF FUEL CANOPY VENDOR DRAWINGS FOR FINAL DETAILS, PLANS, AND ELEVATIONS FOR CONSTRUCTION OF FUEL CANOPY.

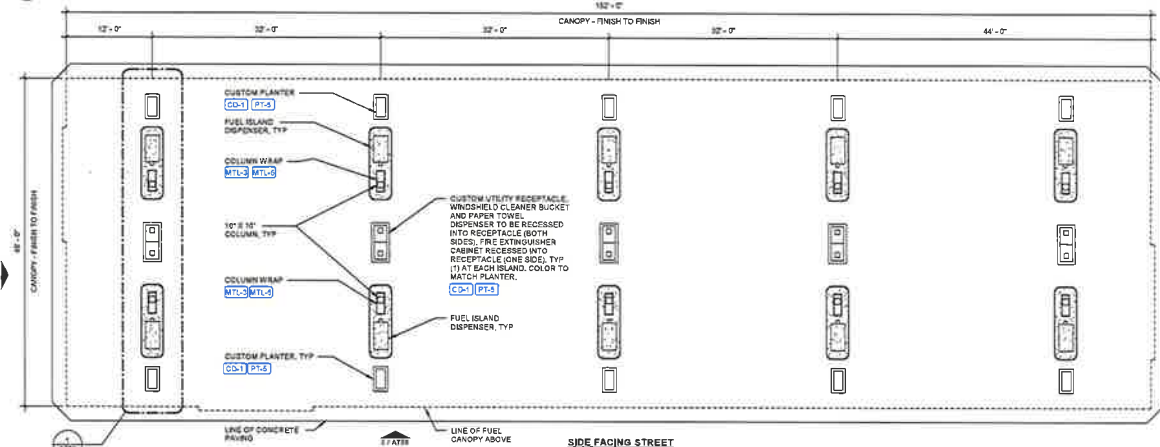
NOTE: GC AND SIGNAGE VENDOR SHALL VERIFY WITH LOCAL JURISDICTION TO DETERMINE IF SEE, QUANTITY, AND LOCATION OF SIGNAGE AS INDICATED IN FUEL CANOPY DRAWINGS ARE IN COMPLIANCE.



3 FRONT ELEVATION AT FUEL CANOPY
1/8" = 1'-0"

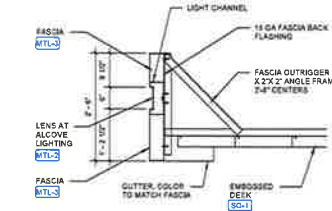


2 REFLECTED CEILING PLAN AT FUEL CANOPY
1/8" = 1'-0"

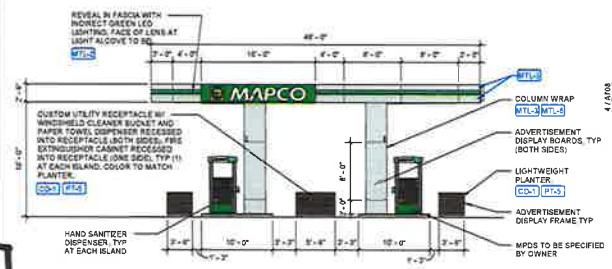


1 FLOOR PLAN AT FUEL CANOPY
1/8" = 1'-0"

5 SECTION DETAIL AT CANOPY FASCIA
1/8" = 1'-0"



4 SIDE ELEVATION AT FUEL CANOPY
1/8" = 1'-0"



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REGISTRATION FOR REGISTERED PROFESSIONAL ENGINEER
STATE OF ALABAMA
NAME: HARRISON FRENCH
LICENSE NO.: 37212
EXPIRES: 12/31/2025

MAPCO
CORNER OF HERRON ST AND H. HOLT ST
MONTGOMERY, AL
336-222-1001

NO.	REVISION	DATE	BY	CHKD

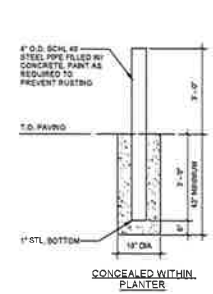
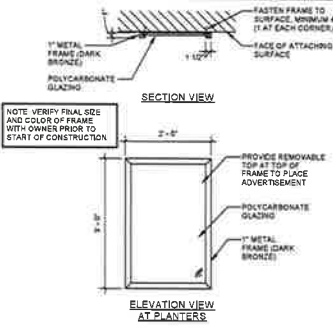
DESIGNED BY: JWC
DRAWN BY: PCL
DOCUMENT DATE: 06/15/21

NOT FOR CONSTRUCTION

FUEL CANOPY
PLANS AND
ELEVATIONS

SHEET
A708

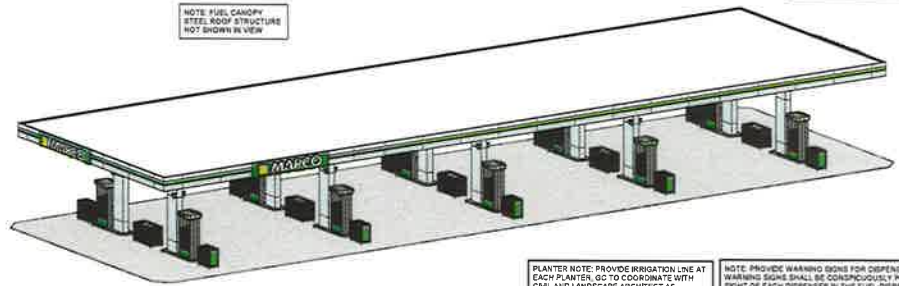
DESIGN



BOLLARD GENERAL NOTES

- PIPE BOLLARDS SHALL BE 4" OUTSIDE DIA AND 2" x 4" x 1/2" AFF OF T.O. PAVING/DRIVE LANE.
- BOLLARDS ARE CONCEALED BY PLANTER AT CANOPY.
- INSTALL ALL BOLLARDS PRIOR TO INSTALLATION OF PLANTER.

NOTE: FUEL CANOPY STEEL BEAM STRUCTURE NOT SHOWN IN VIEW



NOTE: FUEL CANOPY DRAWINGS SHEETS A7M AND A7S ARE FOR DESIGN INTENT REFERENCE ONLY. SEE FUEL CANOPY VENDOR DRAWINGS FOR FINAL DETAILS PLANS AND ELEVATIONS FOR CONSTRUCTION OF FUEL CANOPY.

10 ADVERTISEMENT DISPLAY BOARD
3/4" x 1/4"

9 PIPE BOLLARD DETAIL
1/2" x 1/4"

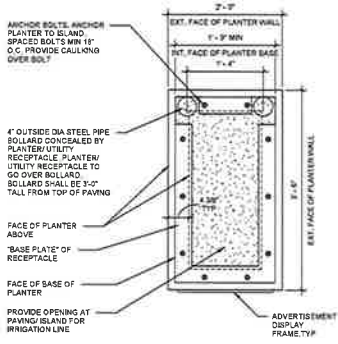
8 PERSPECTIVE

PLANTER NOTE: PROVIDE IRRIGATION LINE AT EACH PLANTER. SEE TO COORDINATE WITH CIVIL AND LANDSCAPE ARCHITECT AS REQUIRED FOR LINE RUN AND LOCATION WITHIN PLANTER.

NOTE: PROVIDE WARNING SIGNS FOR DISPENSERS IN FUEL AREA. WARNING SIGNS SHALL BE CONSPICUOUS, 1 FOOTED ABOVE HEIGHT OF EACH DISPENSER IN THE FUEL-DISPENSING AREA AND SHALL STATE THE FOLLOWING:

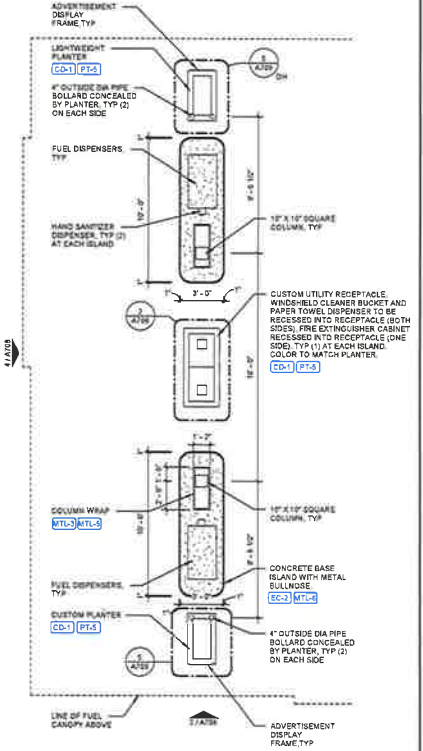
- NO SMOKING
- SHUT OFF MOTOR
- DISCHARGE YOUR STATIC ELECTRICITY BEFORE FUELING BY TOUCHING A METAL SURFACE AWAY FROM THE NOZZLE.
- TO PREVENT STATIC CHARGE, DO NOT REENTER YOUR VEHICLE WHILE GASOLINE IS PUMPING.
- IF A FIRE STARTS, DO NOT REMOVE NOZZLE. BACK AWAY IMMEDIATELY.
- IT IS UNLAWFUL AND DANGEROUS TO DISPOSE GASOLINE INTO UNAPPROVED CONTAINERS.
- NO FILLING OF PORTABLE CONTAINERS IN OR ON A MOTOR VEHICLE. PLACE CONTAINER ON GROUND BEFORE FILLING.

NOTE: PROVIDE ONE 10 LB FIRE EXTINGUISHER AND ONE FIRE EXTINGUISHER CABINET (SEMI-RECESSED) AT EACH ISLAND TO CABINET MFR. ULINE-10000 FE MFR. KMS/ROUGH PRE EXTINGUISHER SERVICEABLE MINIMUM RATING OF 2-A-20-B-C.



6 PLANTER SECTION
3/4" x 1/4"

5 ENLARGED PLAN AT PLANTER
3/4" x 1/4"

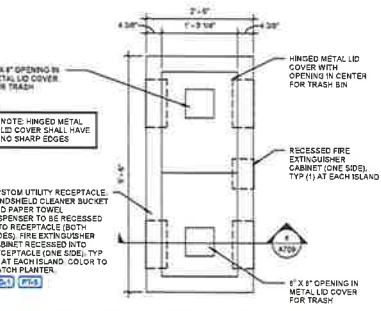


7 ENLARGED PLAN AT PLANTER
1" x 1/4"

NOTE: COMPOSITE WOOD DECKING "SLATS" SHALL HAVE MITERED CORNERS THROUGHOUT

NOTE: RECESSED FIRE EXTINGUISHER CABINET (ONE SIDE), TYP. (1) AT EACH ISLAND

NOTE: CUT BOTTOM FACE OF SLATS AT SLIGHT ANGLE



4 UTILITY RECEPTACLE SECTION
3/4" x 1/4"

3 PLANTER ELEVATION
1/2" x 1/4"

2 ENLARGED PLAN AT UTILITY RECEPTACLE
3/4" x 1/4"

1 ENLARGED PLAN AT FUEL ISLAND
3/4" x 1/4"

HARRISON FRANCHI
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Meaningful Plans

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MARPCO

CORNER OF HERRON ST AND N. HOLY ST
MONTGOMERY, AL

JOB NUMBER: 18-131-0001

ISSUE BLOCK

NO.	DATE	DESCRIPTION

CHECKED BY: _____
DRAWN BY: _____
DOCUMENT DATE: 09/13/22

NOT FOR CONSTRUCTION

FUEL CANOPY ISLAND PLAN AND DETAILS

SHEET
A709

HERRON ST FOCUSED FACADE OPTION



STI

HERRON ST FOCUSED FACADE OPTION



511

HERRON ST FOCUSED FACADE OPTION



5/27

HERRON ST FOCUSED FACADE OPTION



5LL

HERRON ST FOCUSED FACADE OPTION



SMM

HERRON ST FOCUSED FACADE OPTION

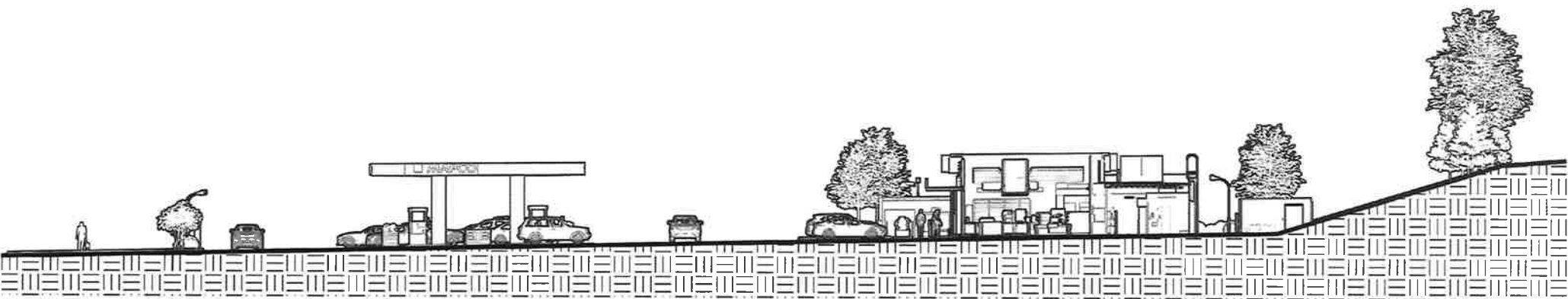


ANN

HERRON ST FOCUSED FACADE OPTION



500



SPP

Mapco Exterior Finishes

Note: Reference color building elevations for visual aid of where materials are located at the building.

Building Finishes

BR-1 – STONE VENEER (EXTERIOR)

- Primary material of the building that is located on all four exterior walls of the building.
- Indicated as stone but has a masonry 'brick' look when assembled
- Manufacturer/ model: Echelon – Aria Slim Stone
- Color – Graphite
- <https://www.echelonmasonry.com/assets/3450>

L-1 – LOUVER –

- Sun shading devices at the upper storefront on the front and right side of the building. Adds another layer of 'texture' to building.
- Manufacturer/ Model: Kawneer - Versoleil
- Color – Bronze Finish
- https://www.kawneer.com/kawneer/north_america/en/product.asp?prod_id=4314&desc=storefront-sytems-single-blade-sun-shades

L-2 – LOUVER –

- Aluminum tubes with wood composite finish. Located between the front face of the storefront and the orange perimeter beam. Used to infill the orange canopy.
- Manufacturer/ Model - GEOLAM – Soleo 6010; 5" x 2" –
- Color finish: Teak
- <https://www.geolam.com/en/products/soleo-6010-128x53-mm>

MTL-1 – BREAK METAL (PARAPET FLASHING) –

- Break metal flashing used as a cap to the exterior walls. Located at top of masonry wall and metal panel wall (parapet).
- Manufacturer/ Model: Pac-Clad
- Color: Slate Gray - <http://www.pac-clad.com/e-binder/pdf/general/Color%20Chart.pdf>
- <https://www.pac-clad.com/products/wall-panels/flushreveal-wall-panels/>

MTL-2 – ALUMINUM COMPOSITE PANEL (ACM)

- Aluminum Composite Metal. Installed at the high roof of the building and around the amazon locker at the left side of the building.
- Manufacturer/ Model: Reynobond
- Color: Color match PMS 363 C "Mapco Green"
 - <https://www.pantone.com/color-finder/363-C>
- https://www.alpolic-americas.com/?gclid=EAlaIqobChMIILuPyNLw6gIVt_3jBx2mzQtbEAAAYASAAEgIeQvD_BwE

MTL-3 – ALUMINUM COMPOSITE PANEL (ACM)

- Aluminum Composite Metal. Installed at high roof of the building, below the green ACM (MTL-2)
- Manufacturer/ Model: Reynobond
- Color: Silver Smith
 - <https://www.alpolic-americas.com/samples/?corporate-id=&colors=silversgreys&finishes=&pg=1>
- https://www.alpolic-americas.com/?gclid=EAlaIqobChMILLuPyNLw6gIVt_3jBx2mzQtbEAAAYASAAEgleQvD_BwE

PT-5 – PAINT – “GRAY”

- Paint used for hollow metal doors and frames, ladder, ladder security guard, dumpster gate, dumpster gate post and collar hinge)
- Manufacturer/ model: PPG
- Color: Downpour PPG1010-5
- <http://www.pac-clad.com/e-binder/pdf/general/Color%20Chart.pdf>

PT-6 – PAINT – “LIGHT GREEN”

- Paint used at the bollards that are in front of the dumpster enclosure.
- Manufacturer/model: PPG
- Color match PMS 376 C “Mapco Light Green”
 - <https://www.pantone.com/color-finder/376-C>

PT-8 – PAINT – “ORANGE”

- Paint used at the perimeter beam of the canopy at the front of the building.
- Manufacturer/model: PPG
- Color match PMS 138C “Mapco Orange”
 - <https://www.pantone.com/color-finder/138-C>

PT-9 – PAINT – “CLEAR ANODIZED ALUMINUM”

- Paint used to paint the building canopy columns/ outrigger beams.
- Manufacturer/model: PPG
- Color match storefront “kawneer finish no. 14 clear ”
 - https://www.kawneer.com/kawneer/north_america/catalog/pdf/Finishes/Anodize-finish-chart--F.pdf

WS-1 – WOOD SOFFIT

- Aluminum sheet with wood composite finish. Located on the underside (soffit) of the high roof.
- Manufacturer/ Model - GEOLAM – Vertigo 5011
- Color finish: Teak
- <https://geolaminc.com/product/vertigo-5011/>