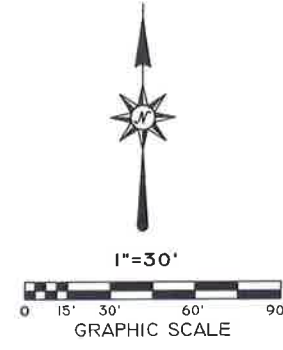
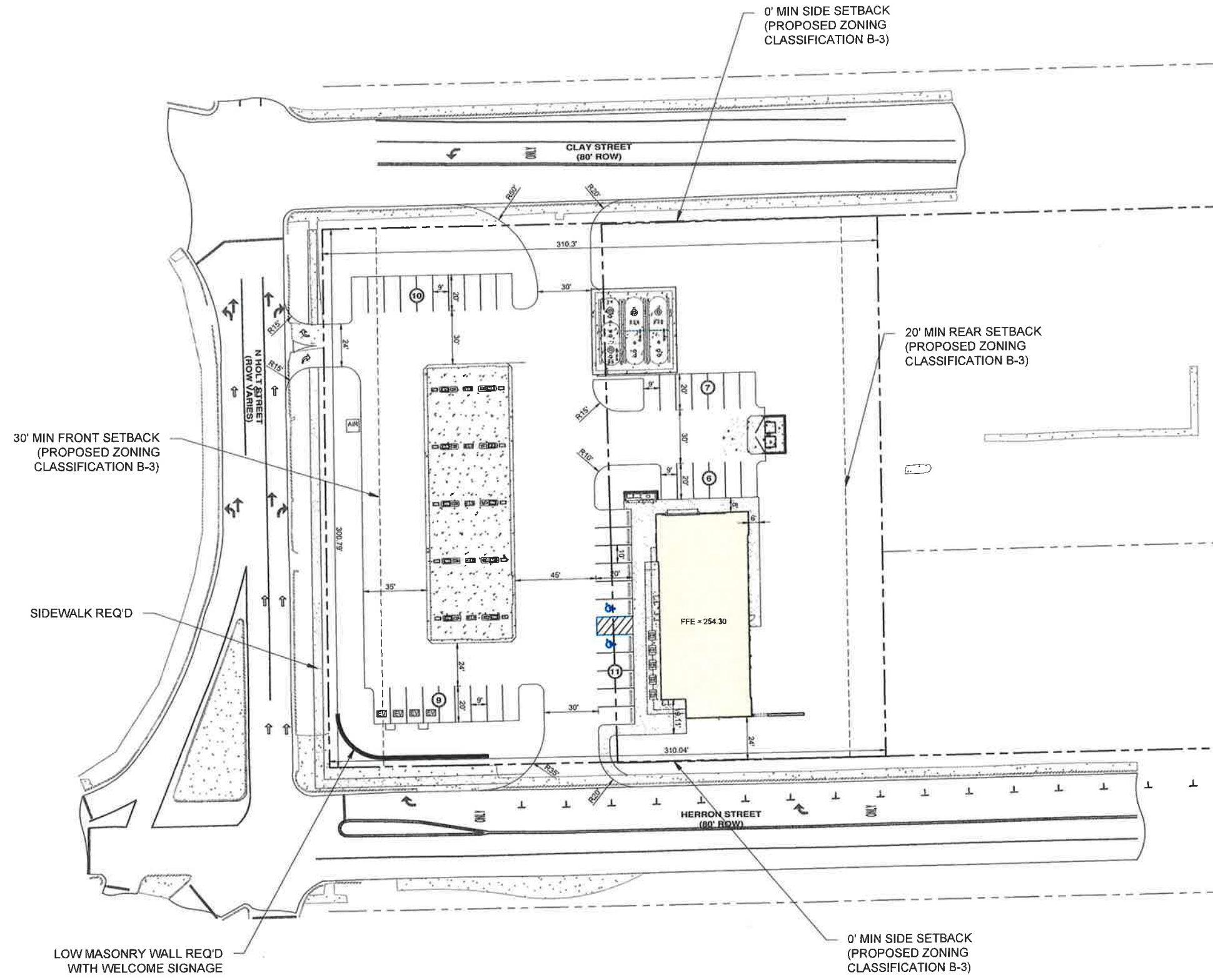


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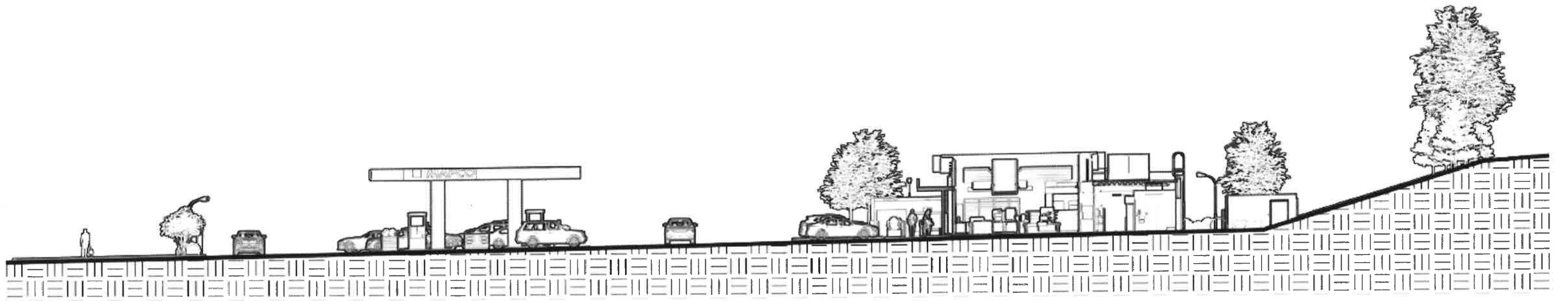
NO.	REVISIONS DESCRIPTION	DATE

**TITLE SITE LAYOUT PLAN**  
**MAPCO CONVENIENCE STORE**  
 HERON STREET  
 MONTGOMERY, ALABAMA  
**MAPCO**  
 FRANKLIN, TENNESSEE  
 DWN. BY J. BALDWIN  
 CRD. BY T. SMITH  
 SCALE 1" = 30'  
 DATE 07-30-2021

**GONZALEZ - STRENGTH & ASSOCIATES, INC.**  
 CIVIL ENGINEERING - TRANSPORTATION ENGINEERING - LAND SURVEYING  
 LAND PLANNING - LANDSCAPE ARCHITECTURE  
 1650 WOODS OF RIVERCHASE DRIVE SUITE 200  
 FRANKLIN, TN 37067  
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DWG NO.  
**C1.0**  
 PROJECT  
**20-0496**











INQUIRY #: 6596257.5

YEAR: 2017

1" = 500'







INQUIRY #: 6596257.5

YEAR: 2013

= 500'







INQUIRY #: 6596257.5

YEAR: 2009

= 500'







INQUIRY #: 6596257.5

YEAR: 2006

= 500'







INQUIRY #: 6596257.5

YEAR: 1998

= 500'







INQUIRY #: 6596257.5

YEAR: 1992

\_\_\_\_\_ = 500'







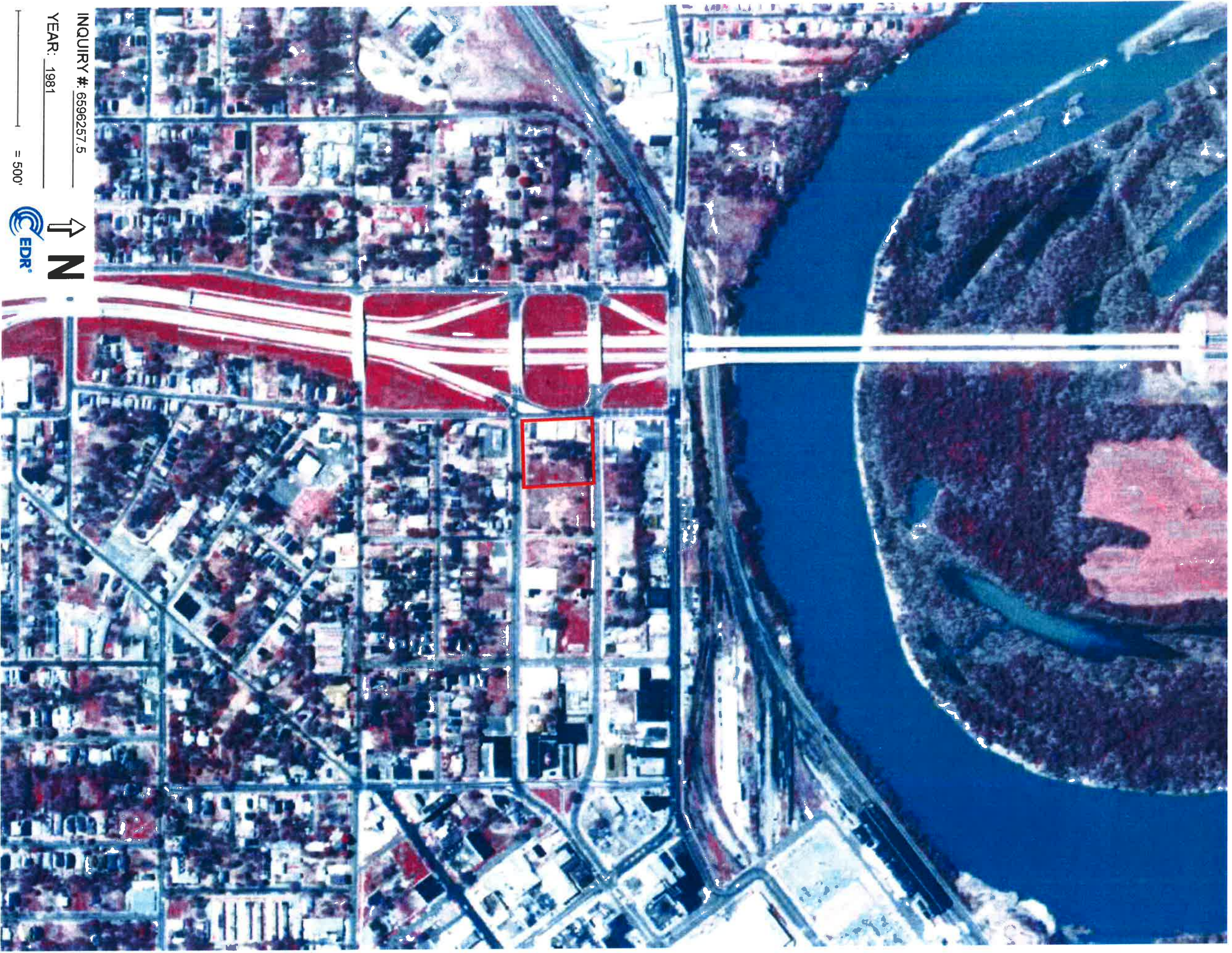
INQUIRY #: 6596257.5

YEAR: 1986

= 500'







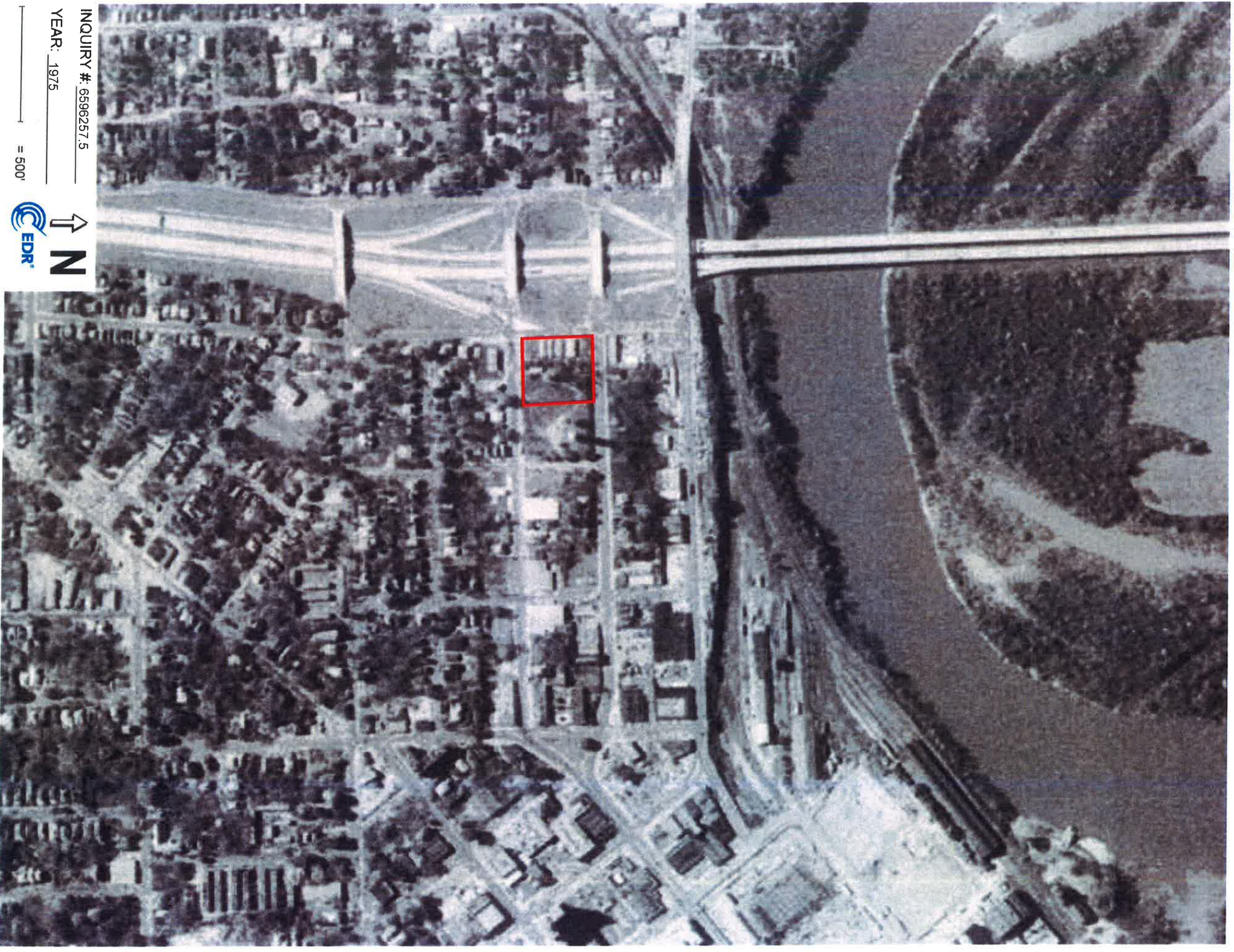
INQUIRY #: 6596257.5

YEAR: 1981

— = 500'







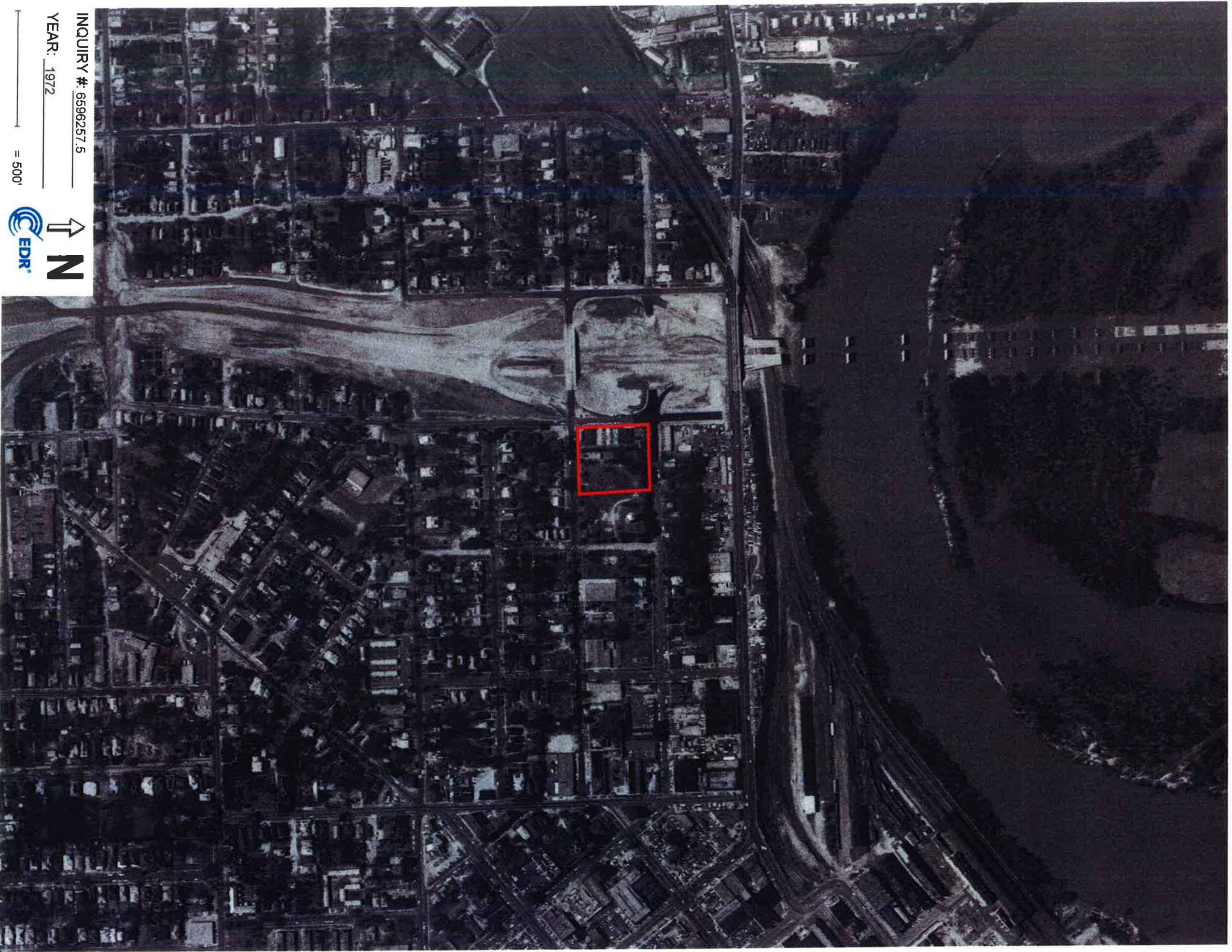
INQUIRY #: 6596257.5

YEAR: 1975

1" = 500'







INQUIRY #: 6596257.5

YEAR: 1972

= 500'









# HERRON ST FOCUSED FACADE OPTION

FINISH LEGEND - EXTERIOR					
MARK	DESCRIPTION	MANUFACTURER	MODEL	COLOR	COMMENTS
BR-1	STONE VENEER (EXTERIOR)	ECHELON	ARIA SLIM STONE (3 5/8" H X 35 5/8" L X 3 5/8")	GRAPHITE	GROUND/ SEALED
L-1	LOUVER	KAWNEER	VERSOLEIL - SINGLE BLADE	BRONZE FINISH	---
L-2	LOUVER	GEOLAM	SOLEO 6010, 5" x 2"	TEAK	---
MP-2	METAL WALL PANEL-HORIZONTAL	PAC-CLAD	REVEAL WALL PANELS, 7"	SLATE GRAY	22 GAUGE
MTL-1	BREAK METAL (PARAPET FLASHING)	PAC-CLAD	---	SLATE GRAY	---
MTL-2	ALUMINUM COMPOSITE PANEL (FASCIA/WALL FRAME)	REYNOBOND	---	COLOR MATCH PMS 363C "MAPCO GREEN"	---
MTL-3	ALUMINUM COMPOSITE PANEL (FASCIA)	REYNOBOND	---	SILVERSMITH	---
PT-5	PAINT (HM DOOR AND FRAME, LADDER, LADDER SECURITY GUARD, DUMPSTER GATE, DUMPSTER GATE POST & COLLAR HINGE)	PPG	PPG1010-6	DOWNPOUR	---
PT-6	PAINT (BOLLARD)	PPG	---	COLOR MATCH PMS 376C "MAPCO LIGHT GREEN"	---
PT-8	PAINT (BUILDING CANOPY PERIMETER BEAM)	PPG	---	COLOR MATCH PMS 138C "MAPCO ORANGE"	REF BAC BOX NOTE ON SHEET A121
PT-9	PAINT (BUILDING CANOPY COLUMN /OUTRIGGER BEAM)	PPG	---	COLOR MATCH STOREFRONT " CLEAR ANODIZED ALUMINUM"	---
WS-1	WOOD SOFFIT	GEOLAM	VERTIGO 5011 SOFFIT CLADDING	TEAK	---

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www.HFA-ac.com

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**MAPCO**

CORNER OF HERRON ST AND  
N HOLT ST  
MONTGOMERY, AL

JOB NUMBER: 06-21-60001

**ISSUE BLOCK**

NO.	DESCRIPTION	DATE

CHECKED BY: \_\_\_\_\_

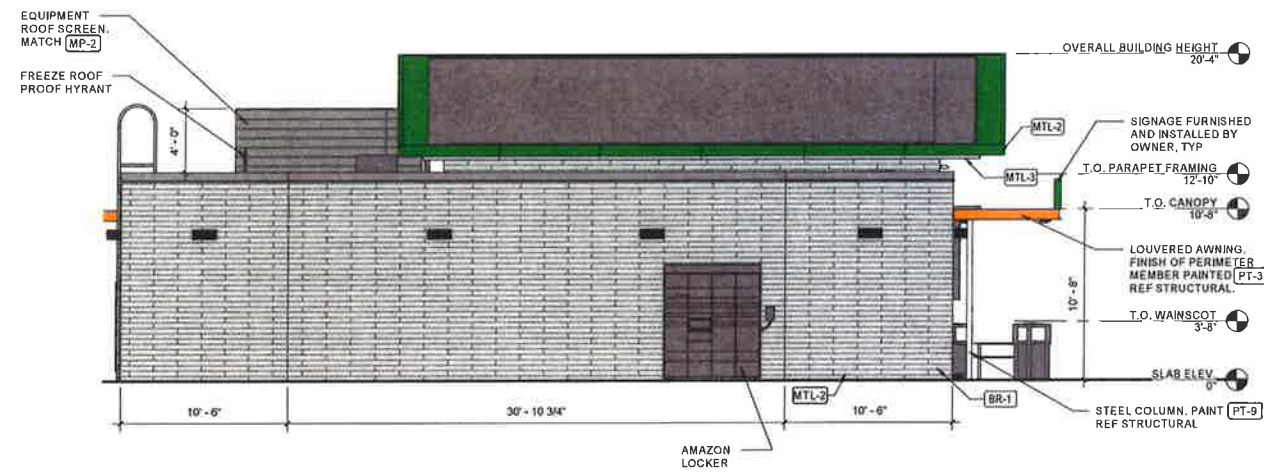
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DOCUMENT DATE: 11/08/21

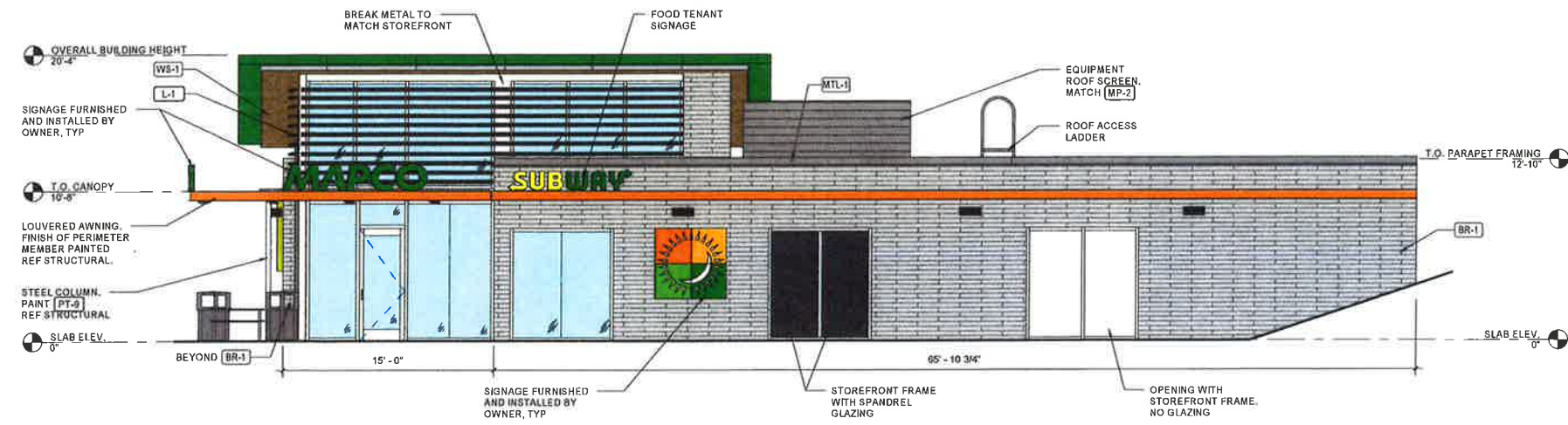
NOT FOR CONSTRUCTION

COLOR BUILDING ELEVATIONS

SHEET: **BE2**



**2 LEFT ELEVATION**  
3/16" = 1'-0"



**1 RIGHT ELEVATION**  
3/16" = 1'-0"

11/08/21 11:28 AM  
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22/08/2021 11:28 AM







# HERRON ST FOCUSED FACADE OPTION

- GENERAL NOTES**
- REF A151 FOR EQUIPMENT SCHEDULE
  - GC SHALL PROVIDE FIRE RATED 5/8" PLYWOOD BLOCKING OR 2X WOOD BLOCKING BETWEEN STUDS AT ALL WALL MOUNTED EQUIPMENT.
  - GC SHALL PROVIDE ALL HOLES IN COUNTER TOPS AND MILLWORK AS REQUIRED FOR GROMMETS.
  - FINAL GONDOLA ORDER TO BE REVIEWED BY OWNER SUPPLY CHAIN SPECIALIST.
  - SEAL ALL WALL MOUNTED EQUIPMENT AT PENETRATIONS - SHELVING UNITS, ICE MAKER WALL MOUNTED BRACKET
  - SEAL AROUND EDGE OF HANDSINK, MOPSINKS, AND ALL ASSOCIATED PLUMBING FIXTURE ACCESSORIES.
  - ALL STORAGE SHELVING SHALL BE MIN 6" OFF FLOOR FINISH.
  - PROVIDE EFFECTIVE EASILY CLEANABLE, SNEEZE GUARDS OR OTHER COUNTER PROTECTIVE DEVICES WHERE NEEDED, SALAD BARS AND HOT FOOD BUFFETS OF AN APPROVED TYPE AND PROPERLY INSTALLED.
  - WALK-IN COOLERS AND FREEZERS SHALL BE PROPERLY INSTALLED.
  - GAS LINES, WATER PIPES, ELECTRICAL LINES, PANEL BOXES, & CONDUITS SHALL BE LOCATED AND PROPERLY INSTALLED AS TO FACILITATE EASY CLEANING OF FLOORS, WALLS, CEILING, AND EQUIPMENT.

HARRISON FRENCH & ASSOCIATES, LTD  
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**MAPCO**  
 STORE NUMBER: 0000 - HERRON  
 CORNER OF HERRON ST AND N HOLT ST  
 MONTGOMERY, AL  
 JOB NUMBER: 06-21-6001

**ISSUE BLOCK**

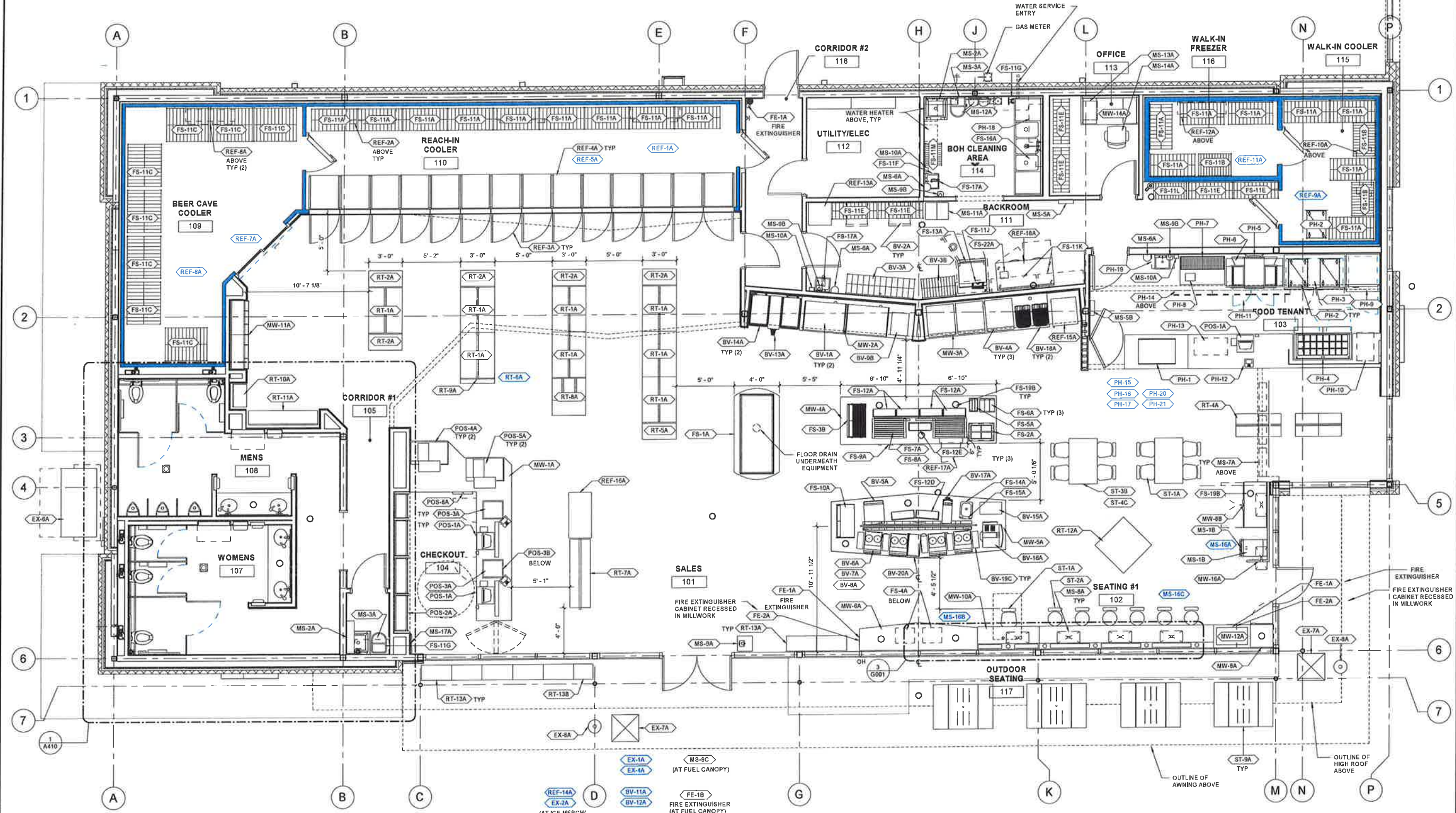
NO.	DATE	DESCRIPTION

CHECKED BY: JMC  
 DRAWN BY: PCL  
 DOCUMENT DATE: 11/08/21

NOT FOR CONSTRUCTION

**EQUIPMENT PLAN**

SHEET: **A150**



**1 EQUIPMENT PLAN**  
 1/4" = 1'-0"  
 REF SHEET: A200

11/08/21 10:34 AM  
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 PLOT BY: PCL



HERRON ST FOCUSED FACADE OPTION





HERRON ST FOCUSED FACADE OPTION





HERRON ST FOCUSED FACADE OPTION





HERRON ST FOCUSED FACADE OPTION



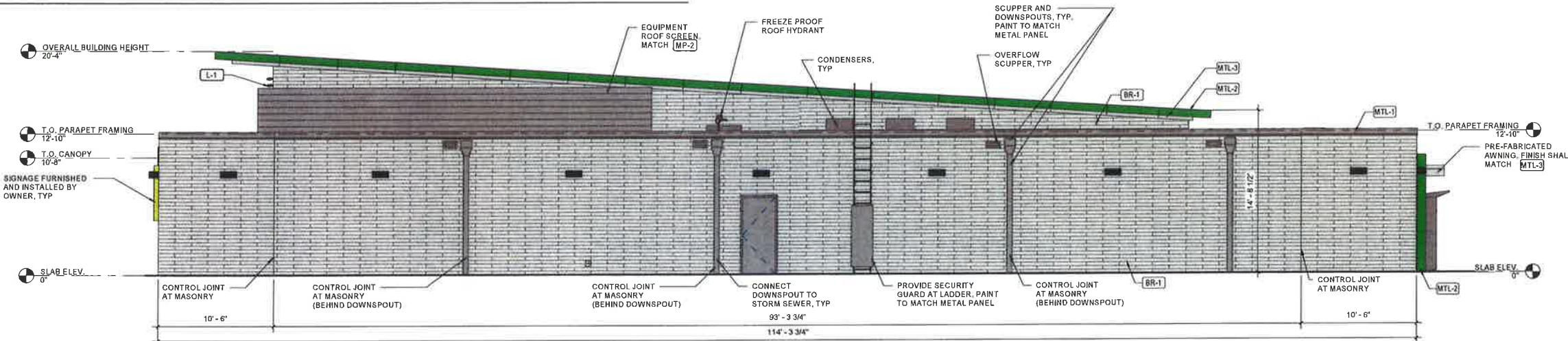


# PROTOTYPICAL MAPCO OPTION



5 3D VIEW

		FINISH LEGEND - EXTERIOR			
MARK	DESCRIPTION	MANUFACTURER	MODEL	COLOR	COMMENTS
BR-1	STONE VENEER (EXTERIOR)	ECHOLON	ARIA SLIM STONE (3 5/8" H X 3 5/8" L X 3 5/8")	GRAPHITE	GROUND/ SEALED
L-1	LOUVER	KAWNEER	VERSOCLEL - SINGLE BLADE	BRONZE FINISH	
L-2	LOUVER	GEGLAM	SOLEO 6010, 5" X 2"	TEAK	
MP-2	METAL WALL PANEL-HORIZONTAL	PAC-CLAD	REVEAL WALL PANELS, 7"	SLATE GRAY	22 GAUGE.
MTL-1	BREAK METAL (PARAPET FLASHING)	PAC-CLAD		SLATE GRAY	
MTL-2	ALUMINUM COMPOSITE PANEL (FASCIA/ WALL FRAME)	REYNOLBOND		COLOR MATCH PMS 363C "MAPCO GREEN"	
MTL-3	ALUMINUM COMPOSITE PANEL (FASCIA)	REYNOLBOND		SILVERSMITH	
PT-5	PAINT (PM DOOR AND FRAME, LADDER, LADDER SECURITY GUARD, DUMPSTER GATE, DUMPSTER GATE POST & COLLAR HINGE)	PPG	PPG1010-6	DOWNPOUR	
PT-6	PAINT (BOLLARD)	PPG		COLOR MATCH PMS 376C "MAPCO LIGHT GREEN"	
PT-6	PAINT (BUILDING CANOPY PERIMETER BEAM)	PPG		COLOR MATCH PMS 138C "MAPCO ORANGE"	REF BAG BOX NOTE ON SHEET A121
PT-9	PAINT (BUILDING CANOPY COLUMN /OUTRIGGER BEAM)	PPG		COLOR MATCH STOREFRONT "CLEAR ANODIZED ALUMINUM"	
WS-1	WOOD SOFFIT	GEGLAM	VERTIGO 5011 SOFFIT CLADDING	TEAK	



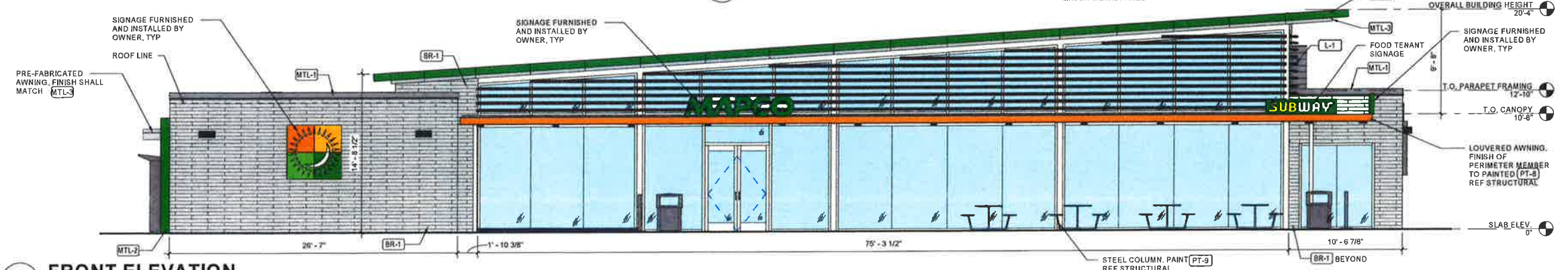
4 REAR ELEVATION  
3/16" = 1'-0"



3 RIGHT ELEVATION  
3/16" = 1'-0"



2 LEFT ELEVATION  
3/16" = 1'-0"



1 FRONT ELEVATION  
3/16" = 1'-0"

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JOB NUMBER: 08-21-00001

ISSUE BLOCK

NO.	DATE	DESCRIPTION

CHECKED BY: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
DOCUMENT DATE: 09/13/21

NOT FOR CONSTRUCTION

COLOR BUILDING ELEVATIONS

SHEET: BE1

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PROTOTYPICAL MAPCO OPTION









**PLANT SCHEDULE**

CANOPY TREES	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
	4	Alleé Elm / Ulmus parviflora 'Emer It' 5" Clear Trunk, Single, Columnar, Straight Central Leader, Full Upwept Branching, Even Branching, See Tree Specifications.	B & B	2.5" Cal	12'-14" HT
REPLACEMENT TREES	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
	10	D.D. Blanchard Magnolia / Magnolia grandiflora 'D.D. Blanchard' Full To Base, Full Dense Form, See Tree Specifications	B & B	2.5" Cal	10' HT
	3	Nuttall Oak / Quercus nuttallii 5" Clear Trunk, Single, Straight Central Leader, Evenly Branched, Full Symmetrical Crown, See Tree Specifications.	B & B	2.5" Cal	12'-14" HT
UNDERSTORY TREES	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
	12	Oklahoma Redbud / Cercis canadensis var. texensis 'Oklahoma' 4" Clear Single Trunk, Evenly Branched, Full Symmetrical Crown, See Tree Specifications	B & B	2.5" Cal	10'-12" HT
	9	Cherokee Princess Dogwood / Cornus florida 'Cherokee Princess' 4" Clear Single Trunk, Full Symmetrical Crown, See Tree Specifications	B & B	2.5" Cal	10'-12" HT
SHRUBS	QTY	COMMON / BOTANICAL NAME	CONT	WIDTH	
	61	Coppertone Distylium / Distylium 'Pidist-It' Full, Dense Form.	#7 Container		
	87	Grey Owl Juniper / Juniperus virginiana 'Grey Owl' Full, Heavy, Well Branched.	15' HT		
GROUND COVERS	QTY	COMMON / BOTANICAL NAME	CONT		
	19,433 sf	Drought Tolerant Fescue Blend / Fescue Seed Seed @ 8#/1000SF over finished grade free of debris and cover seeded area with straw	seed		
	21,983 sf	Rebell II Bermuda Sod / Turf Sod Install Sod as per specifications over finished graded area free of debris. Stagger seams, do not overlap. Roll twice.	sod		

**LANDSCAPE NOTES:**

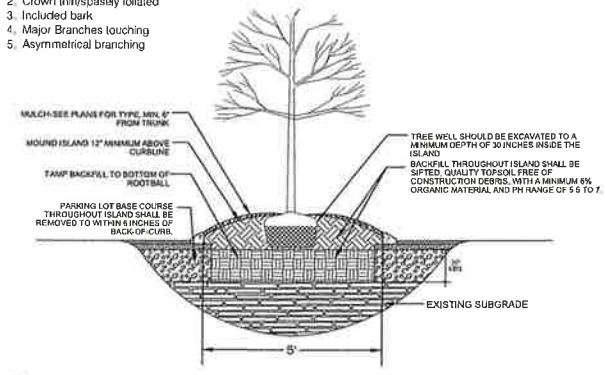
- Contractor responsible for locating and protecting all underground utilities prior to digging.
- Contractor responsible for protecting existing trees from damage during construction as shown on plans.
- Contractor to install 6" minimum depth of clean, friable topsoil at all planting beds and lawn areas prior to final grading - see topsoil specification sheet I-1.3.
- All shrub beds (existing and new) to be mulched with a 3-4 inch minimum layer of mulch.
- Existing grass in proposed planting areas to be killed and removed and area to be hand raked to remove all rocks and debris larger than 1 inch in diameter prior to planting shrubs or laying sod. Landscape contractor to provide final grading.
- Any existing grass disturbed during construction to be fully removed, re-graded and replaced. All lime marks and intention to be repaired.
- Soil to be tested to determine fertilizer and lime requirements and distributed prior to laying sod.
- Sod to be delivered fresh (cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod adjacent to mulch beds to be shovel out. All sod to be delivered in largest rolls available, there shall be no gaps between sod joints.
- Planting mix to be provided as specified in the landscape specifications.
- The landscape contractor shall guarantee all plants installed for one full year from date of acceptance. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The landscape contractor shall not be responsible for acts of god or vandalism.
- Any plant that is determined dead, in an unhealthy or unsightly condition, lost its shape due to dead branches or other symptoms of poor, non-vigorous growth, as determined by the landscape architect, shall be replaced by the landscape contractor at no cost to owner.
- Prior to installation, the landscape contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by general contractor and observe the site conditions under which the work is to be done. Notify general contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected.
- Water all plant material that are newly planted thoroughly twice in first 24 hours and apply mulch immediately.
- All trees and shrubs shall be coordinated with lighting plan prior to installation.
- All shrubs to be 3' back of curb.
- All areas of disturbance outside of landscape beds shall be repaired with turf.
- Any utility structure, light poles, sign, or other feature may not be added to any required landscape island in such a manner that would displace the required element(s) (trees, shrubs, etc.)

**TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:**

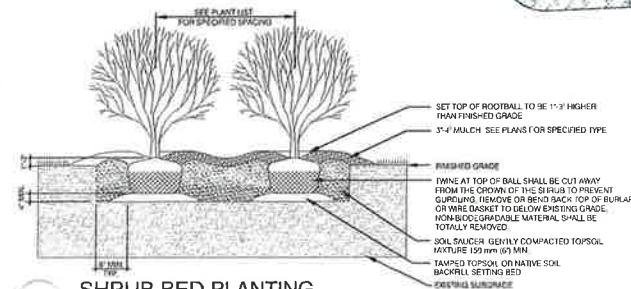
- Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
- Trees with forked trunks are acceptable if all the following conditions are met:
  - The fork occurs in the upper 1/3 of the tree.
  - One fork is less than 2/3 the diameter of the dominant fork.
  - The top 1/3 of the smaller fork is removed at the time of planting.
- No branch is greater than 2/3 the diameter of the trunk directly above the branch.
- The trunk and/or major branches shall not touch.
- Several branches are larger in diameter and obviously more dominant.
- Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
- Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.
- Crown spread shall look proportional to the tree.
- NO flush cuts or open trunk wounds or other bark injury.
- Root ball meets all ANSI standards and is appropriately sized.

**DEFICIENCIES NOT ACCEPTED:**

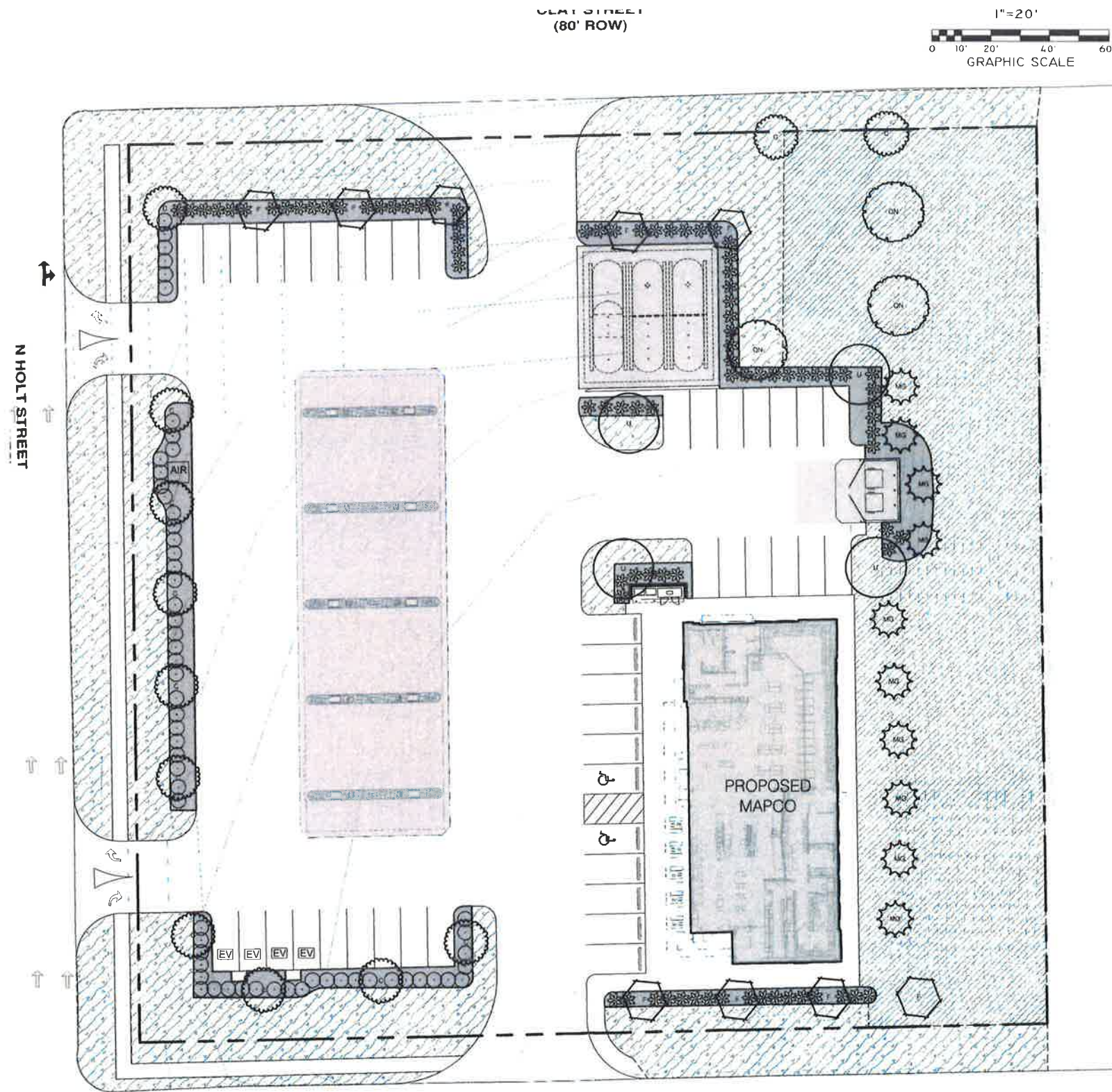
- Tip dieback on 5% of branches
- Crown thin/irregularly foliated
- Included bark
- Major Branches touching
- Asymmetrical branching



**PARKING ISLAND TREE PLANTING FOR PARKING LOT ISLAND OR MEDIAN**



**SHRUB BED PLANTING**



**HERRON STREET (80' ROW)**

- LANDSCAPE REQUIREMENTS**
- 8' LANDSCAPE BUFFER ADJACENT TO PUBLIC STREETS - PROVIDED
  - 4' LANDSCAPE BUFFER ADJACENT TO PARCEL LINES - PROVIDED
  - TREES TO BE 2.5" CALIPER - PROVIDED
  - SHRUBS TO BE 18" OR #7 CONTAINERS - PROVIDED
  - STREET FRONTAGE TREES 30' O.C. - PROVIDED
  - ONE INTERIOR LANDSCAPE ISLAND PER 12 SPACES - PROVIDED
  - EACH PARKING SPACE WITHIN 60' OF A TREE - PROVIDED
  - MIN. 1 TREE AND 2 SHRUBS PER LANDSCAPE ISLAND - PROVIDED
  - IRRIGATION REQUIRED - PROVIDED
  - 13 EXISTING TREES TO BE REMOVED (SEE EXISTING TREE MAP ON SHEET E.T.M.)
  - 13 PROPOSED REPLACEMENT TREES

**Heibert+Ball**  
LAND DESIGN  
Suite 400  
1894 Gen. George Patton Dr.  
Franklin, TN 37067-4668  
615.376.2421 www.hblanddesign.com

NO.	REVISIONS	DESCRIPTION	DATE

**CONCEPTUAL LAYOUT**  
**MAPCO TRUCK STOP**  
HERRON STREET  
MONTGOMERY, ALABAMA  
**MAPCO**  
FRANKLIN, TENNESSEE  
OWN. BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_

**GONZALEZ - STRENGTH & ASSOCIATES, INC.**  
CIVIL ENGINEERING - TRANSPORTATION ENGINEERING - LAND SURVEYING  
LAND PLANNING - LANDSCAPE ARCHITECTURE - ARCHITECTURE  
1550 WOODS OF RIVERCHASE DRIVE, SUITE 200  
HOOVER, ALABAMA 35224  
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FAX: (205) 942-2033  
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DWG. NO. \_\_\_\_\_  
**LANDSCAPE**  
PROJECT  
20-0496