

Planning Commission Agenda

May 27, 2021

Council Auditorium

City Hall

103 North Perry Street

PLANNING COMMISSION MEMBERS

Ann Clemons, *Chairman*

Reg Mantooth, *Vice-Chairman*

Frank Cook

Reggie Dunn

Buddy Hardwich

Reginald Hawkins

Crews Reaves

James Reid

Kippy Tate

**Land Use Division
25 Washington Ave., 4th Floor
Montgomery, AL 36104
(334)625-2722**

- I. Chairman's Message
- II. Approval of Minutes from the April 22, 2021 meeting

May 27, 2021

<u>Item</u>	<u>File No.</u>	<u>Petitioner</u>	<u>Location</u>	<u>Request</u>	<u>Page</u>
1.	9115	Jeffcoat Engineers & Surveyors	Charles Street	Plat	1
2.	9110	Pilgreen Engineering	South Palomino Dr.	Plat	2
3.	9111	“ “	Turfway Park	Plat	3
4.	9112	“ “	Halcyon Pointe Dr.	Plat	4
5.	9113	“ “	US Highway 31	Plat	5
6.	9114	“ “	Coliseum Boulevard	Plat	6
7.	RZ-2021-006	Ronald L. Robusky	Doris Circle	Rezoning	7

***The next Planning Commission meeting is on
June 24, 2021***

1. 9115 **PRESENTED BY:** Jeffcoat Engineers & Surveyors

REPRESENTING: Yvonne Hardin

SUBJECT: Request final approval of Yvonne Hardin Plat No. 1 located on the west side of Charles Street (Dagger Hole), approximately 800 ft. west of Wetumpka Highway. in an R-50 (Single-Family Residential) Zoning District.

REMARKS: This plat creates one (1) lot for residential use. Lot A (1.15 acres) has 83.78 ft. of frontage along Charles Street and a depth of 410 ft. This plat is in compliance with the Zoning Ordinance and Subdivision Regulations for this district.

CITY COUNCIL DISTRICT: 2

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, and applicable departmental approvals.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

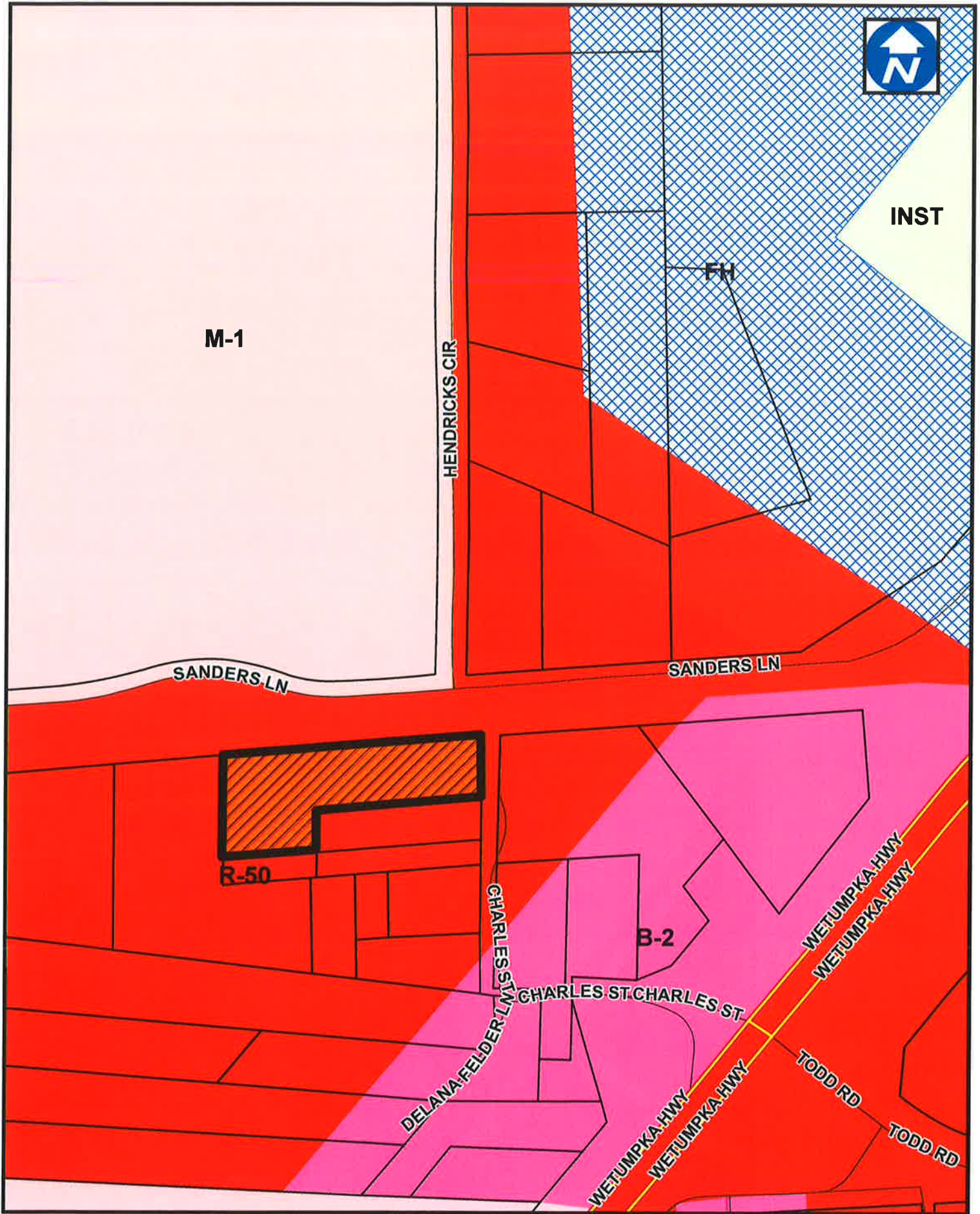
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____



PLATS

1 inch = 200 feet

SUBJECT PROPERTY



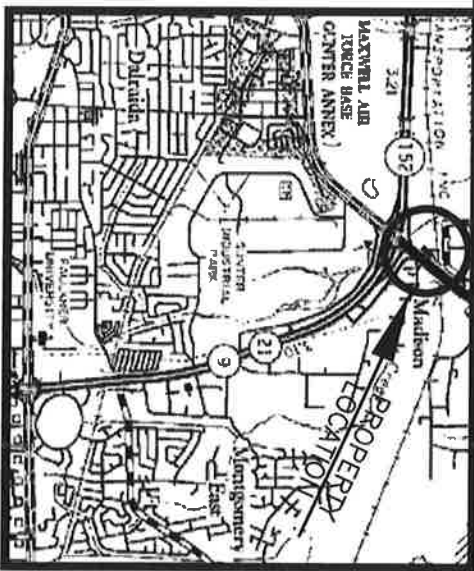
ITEM NO. 1A

YVONNE HARDIN PLAT NO. 1

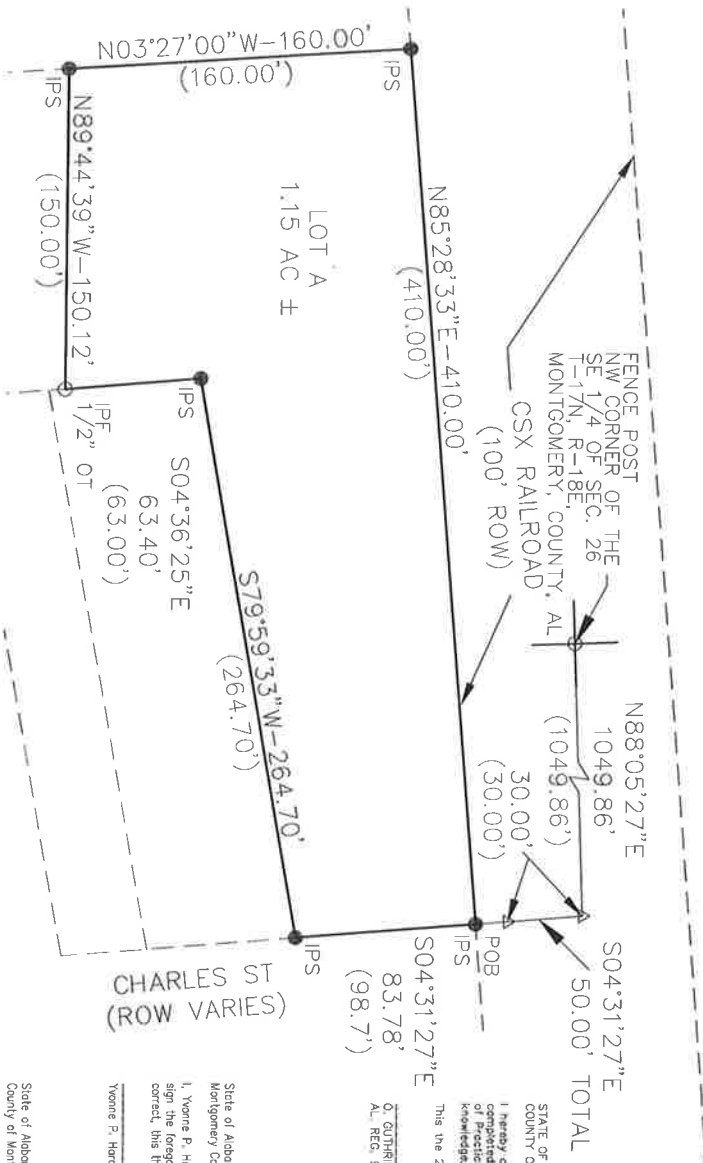
ALL LYING IN THE SE 1/4 OF SECTION 26, T-17N, R-18E, MONTGOMERY COUNTY, ALABAMA.

- LEGEND:
- IPS — IRON PIN SET (1/2" REBAR & RED PLASTIC ID CAP READING JEFFCOAT 9587)
 - IPF — IRON PIN FOUND
 - — — — — FENCE LINE
 - △ — CALCULATED POINT
 - — — — — POINT OF BEGINNING
 - P.O.B. — POINT OF COMMENCEMENT
 - R.O.W. — RIGHT OF WAY
 - CH. — CHORD
 - () — PLAT OR DEED CALL
 - C.T. — CRIMP TOP PIPE
 - O.T. — OPEN TOP PIPE

- SPECIAL NOTES:
1. THIS PLAT IS SUBJECT TO ANY RESTRICTIONS, COVENANTS, OR OTHER REQUIREMENTS OF THE ORIGINAL RECORDED PLAT.
 2. KILL ALL UNUSED WATER LATERALS AT WATER MAIN PER MWMSSB REGULATIONS.
 3. KILL ALL UNUSED SANITARY SEWER LATERALS AT CURB PER MWMSSB REGULATIONS.
 4. PARCEL LIES WITHIN FLOOD ZONE X (SHADED) ACCORDING TO FEMA FIRM PANEL 01070C011J DATED 1/7/75.



VICINITY MAP
SCALE: NTS



BASE OF BEARING:
THIS SURVEY HAS BEEN ROTATED TO MATCH THE STATE PLANE COORDINATE SYSTEM (ALABAMA EAST REGION)



SOURCE OF INFORMATION:
— MAP OF THE STATES WILLIAMS TRACT PG 7, PG 3
— R.P.V. 3897, PG 603
— MONTGOMERY COUNTY TAX MAPS

RESERVED FOR COURTHOUSE RECORDING

PREPARED BY:
JEFFCOAT ENGINEERS & SURVEYORS, L.L.C.
991 S. HULL ST.
MONTGOMERY, AL 36104
PHONE: 265-1246
FAX: 265-1289

CLAYTON
PHONE: 756-3677
TRACY
PHONE: 564-0030

COOD NAME: 2112CSV
DRAWN BY: JL
LEGAL BY: JL
PROJECT NO.: 21-12
DWG NO.: 2112SURVEY.DWG
LEGAL PROOFED BY: JL

CERTIFICATE OF APPROVAL BY THE MONTGOMERY COUNTY HEALTH DEPARTMENT

The lot on this plat is subject to approval or deletion by the Montgomery County UDH. No representation is made that the lot on this plat will accommodate an Onsite Sewage System (OSS). The appropriateness of the lot for wastewater (sewage) treatment and disposal shall be determined when an application is submitted. If permitted, the lot approval may contain certain conditions which restrict the use of the lot or obligate owners to special maintenance and reporting requirements, and these are on file with the said health department and are made a part of this plat as if set out here on.



STATE OF ALABAMA
COUNTY OF MONTGOMERY

I, Yvonne P. Hardin, as owner, shown on this plat, do hereby join in and sign the foregoing Surveyor's Certificate and adopt this Plat as true and correct, this the ____ day of April, 2021.

Yvonne P. Hardin, owner

STATE OF ALABAMA
COUNTY OF MONTGOMERY

Under the authority of a Notary Public in and for the said State of Alabama, I, Thomas W. Tyson, Jr., Notary Public, whose name is signed to the foregoing Surveyor's Certificate and Plat, and who is known to me, acknowledged before me the words and contents of said Certificate and Plat, as well as the contents of said Certificate and Plat, as signed and with full authority, executed the same voluntarily.

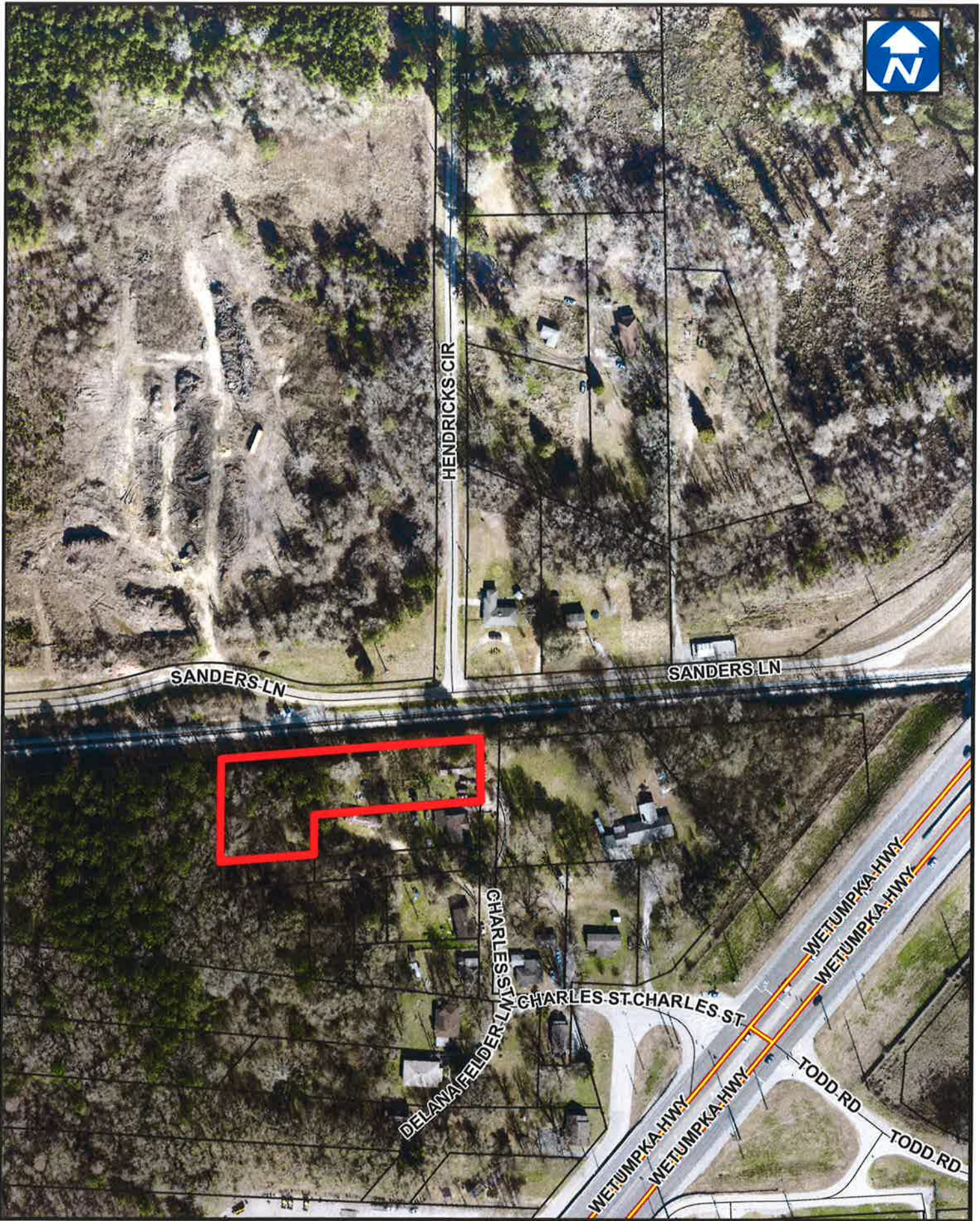
Given under my hand and official seal this the ____ day of _____, 2021.

NOTARY PUBLIC
My Commission Expires: _____

CERTIFICATE OF APPROVAL BY THE MONTGOMERY CITY PLANNING COMMISSION:

This plat was submitted to the City Planning Commission of Montgomery, Alabama, on _____, and is approved according to the Code of Alabama 11-52-32.

By: _____
Thomas W. Tyson, Jr., Executive Secretary



PLATS

1 inch = 200 feet

SUBJECT PROPERTY



ITEM NO.

10

2. 9110 **PRESENTED BY:** Pilgreen Engineering

REPRESENTING: Larry & Donna Cooper

SUBJECT: Request final approval of Ranchette Estates Plat No. 1-C located on the east side of South Palomino Drive, approximately 320 ft. south of Ranchette Boulevard in an AGR-1 (Residential Agriculture) Zoning District.

REMARKS: This plat replats two (2) lots into one (1) lots for residential use. Lot 1-A (1.15 acres) has 141.73 ft. of frontage along South Palomino Drive and a depth of 531.92 ft. This plat is in not compliance with the Zoning Ordinance and Subdivision Regulations for this district due to the lot size being less than 1.5 acres.

CITY COUNCIL DISTRICT: 9

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, and applicable departmental approvals.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

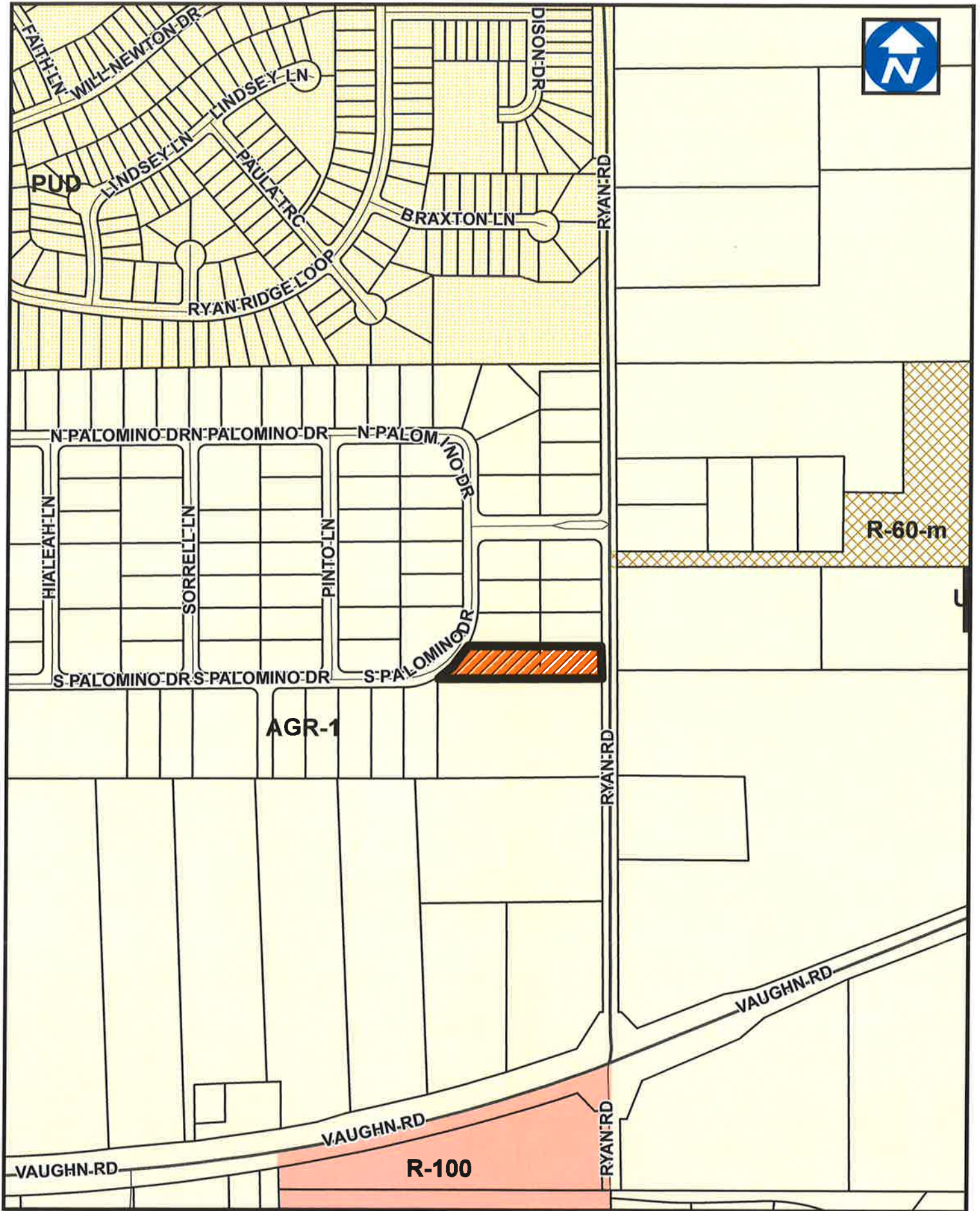
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____



PLATS

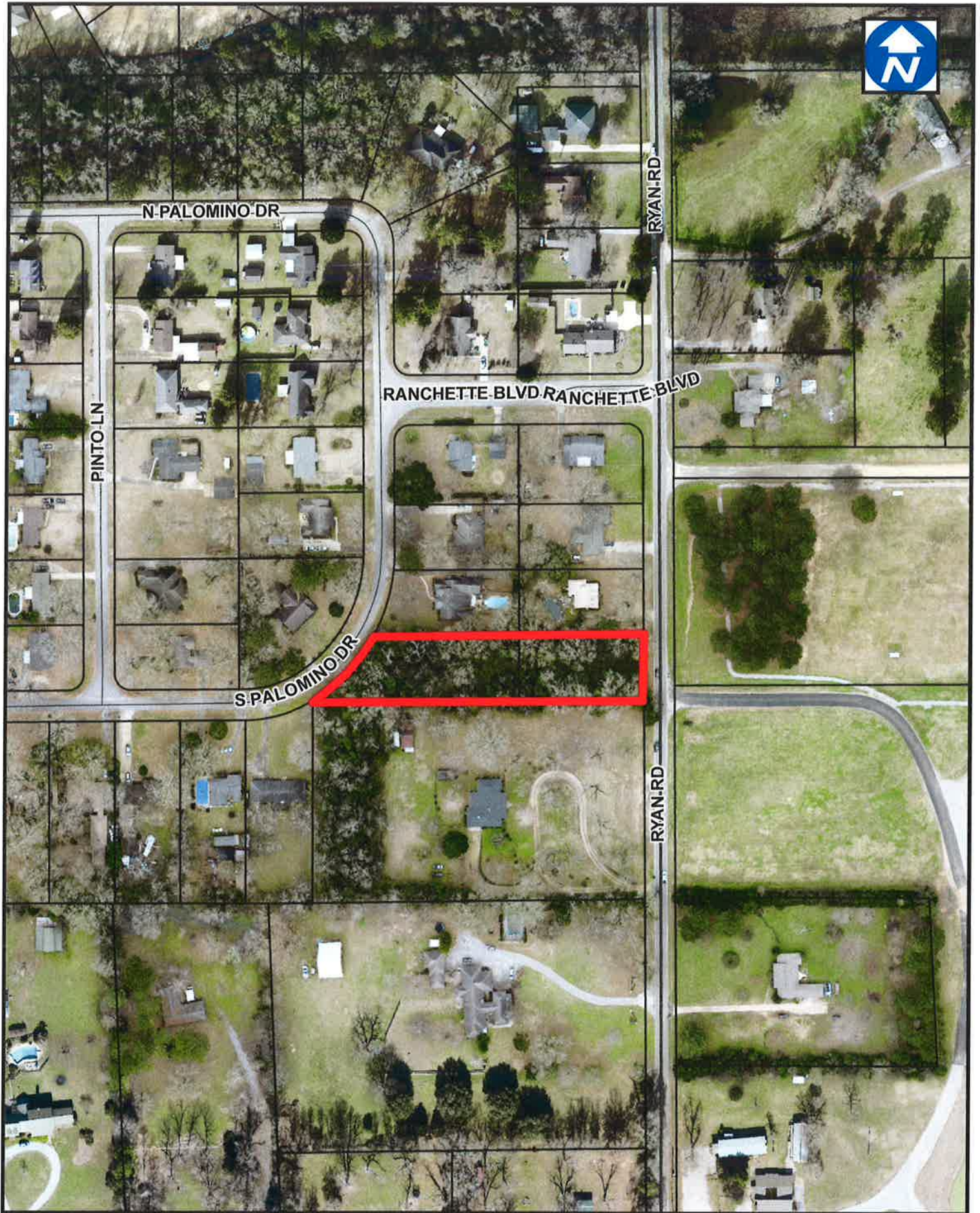
1 inch = 400 feet

SUBJECT PROPERTY



ITEM NO.

2A



PLATS

1 inch = 200 feet

SUBJECT PROPERTY



ITEM NO.

2C

3. 9111 **PRESENTED BY:** Pilgreen Engineering

REPRESENTING: Sammie & Danita Rose

SUBJECT: Request final approval of County Downs Plat No. 19A located on the south side of Turfway Park, approximately 300 ft. east of Pimblico Road, in an R-75-s (Single-Family Residential) Zoning District.

REMARKS: This plat replats two (2) lots into one (1) lot for residential use. Lot 7-A (0.71 acres) has 190.00 ft. of frontage along Turfway Park and a depth of 163.50 ft. This plat is in compliance with the Zoning Ordinance and Subdivision Regulations for this district.

CITY COUNCIL DISTRICT: 1

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, and applicable departmental approvals.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

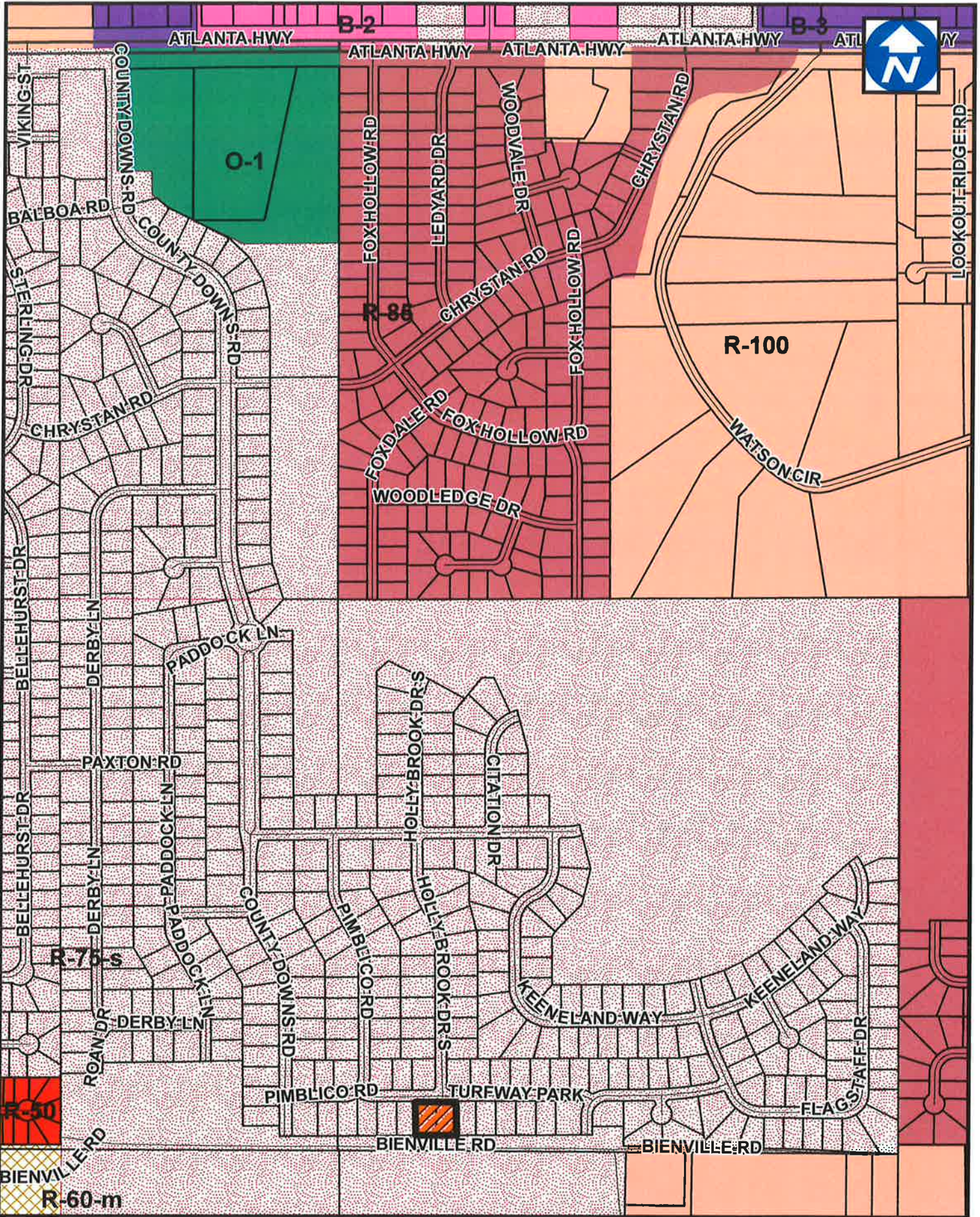
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____



PLATS

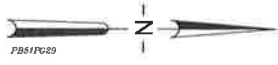
1 inch = 600 feet

SUBJECT PROPERTY



ITEM NO.

3A



County Downs Plat No. 19A

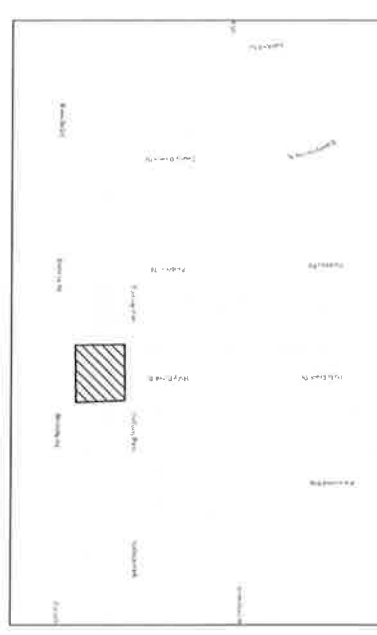
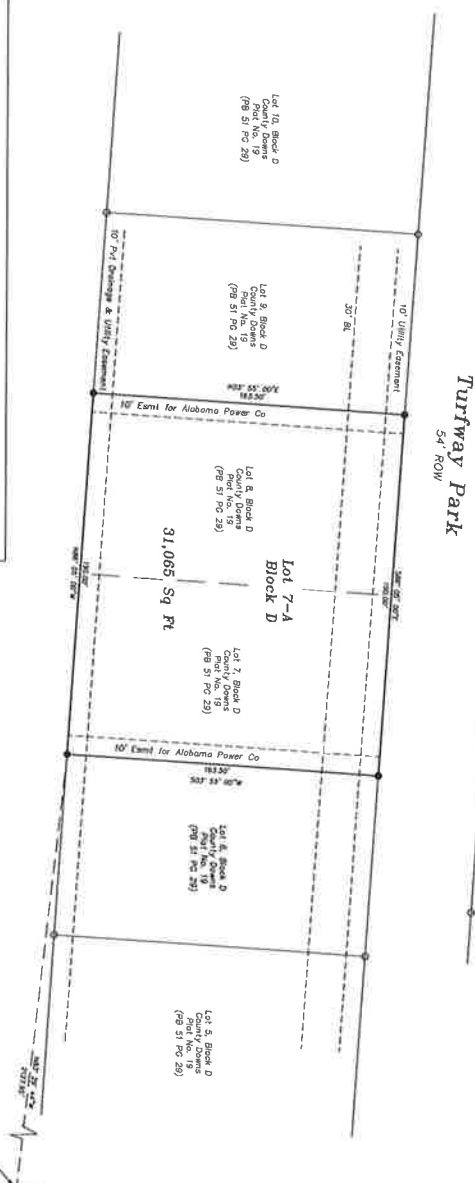
BEING A REPLAT OF
LOTS 1 and 8, BLOCK D
COUNTY DOWNS PLAT NO. 19 (PLAT BOOK 51 PAGE 29)

LOCATED IN
NE 1/4 OF SECTION 14, T-6-N, R-18-E
MONTGOMERY COUNTY, ALABAMA
CONTAINING 0.71 AC

Plygreen Engineering, Inc.
MONTGOMERY, ALABAMA
APRIL, 2001

Acres	Original Plat	Block	Lot
0.71	19	D	1
0.71	19	D	8
1.42	19	D	1-8

STATE OF ALABAMA
I, LYNN L. BARNUM, a registered land surveyor of Montgomery, Alabama, hereby certify that the property shown on this map is Plat and Contract for all corners and marked with iron pins or concrete monuments and that they actually exist.
I have compared the plat for this survey with the original survey and in accordance with the pertinent requirements of the Act of March 10, 1901, I have found that the same is correct and that the same is in accordance with the pertinent requirements of the Act of March 10, 1901, and I have caused the same to be recorded in the office of the Register of Deeds for the County of Montgomery, Alabama, on this 14th day of April, 2001.
LYNN L. BARNUM
REGISTER OF DEEDS
MONTGOMERY COUNTY, ALABAMA
APRIL 14, 2001



Vicinity Map NTS



GRAPHIC SCALE

STATE OF ALABAMA
MONTGOMERY COUNTY
I, LYNN L. BARNUM, REGISTER OF DEEDS, do hereby certify that the plat shown on this map and plat is correct and that the same is in accordance with the pertinent requirements of the Act of March 10, 1901, and I have caused the same to be recorded in the office of the Register of Deeds for the County of Montgomery, Alabama, on this 14th day of April, 2001.
LYNN L. BARNUM
REGISTER OF DEEDS
MONTGOMERY COUNTY, ALABAMA
APRIL 14, 2001

NOTES:
1. STREETS SHOWN HEREON ARE NOT PROBABLY EXISTING, AND ARE HEREBY DESIGNATED FOR FUTURE USE.
2. ALL PLATMENTS ON THIS PLAT ARE SUBJECT TO ALL RIGHTS OF WAY, EASEMENTS, AND INTERESTS IN THE LANDS SHOWN HEREON AND TO ALL RIGHTS OF WAY, EASEMENTS, AND INTERESTS IN THE LANDS SHOWN HEREON WHICH MAY BE CLAIMED BY ANY PERSON OR ENTITY AT ANY TIME.
3. ALL RIGHTS OF WAY, EASEMENTS, AND INTERESTS IN THE LANDS SHOWN HEREON ARE SUBJECT TO ALL RIGHTS OF WAY, EASEMENTS, AND INTERESTS IN THE LANDS SHOWN HEREON WHICH MAY BE CLAIMED BY ANY PERSON OR ENTITY AT ANY TIME.
4. ALL RIGHTS OF WAY, EASEMENTS, AND INTERESTS IN THE LANDS SHOWN HEREON ARE SUBJECT TO ALL RIGHTS OF WAY, EASEMENTS, AND INTERESTS IN THE LANDS SHOWN HEREON WHICH MAY BE CLAIMED BY ANY PERSON OR ENTITY AT ANY TIME.

THIS PLAT WAS SUBMITTED TO THE CITY PLANNING COMMISSION OF MONTGOMERY, ALABAMA, ON _____ AND IS APPROVED ACCORDING TO THE CODE OF ALABAMA 11-57-21.

3B



PLATS

1 inch = 200 feet

SUBJECT PROPERTY



ITEM NO. 3C

4. 9112 **PRESENTED BY:** Pilgreen Engineering

REPRESENTING: A J McLemore Development Properties LLC

SUBJECT: Request final approval of Willow Oak Trace Plat No. 1 located on the north side of Halcyon Pointe Drive, approximately 700 ft. west of Atlanta Highway in an R-65-m (Multi-Family Residential) Zoning District.

REMARKS: This plat creates two (2) lots for multi-family use. Lot 1 (4.57 acres) has 507.78 ft. of frontage along Halcyon Pointe Drive and a depth of 546.29 ft. Lot 2 (5.46 acres) has 53.14 ft. of frontage along Halcyon Pointe Drive and a depth of 1085.10 ft. This plat is in compliance with the Zoning Ordinance and Subdivision Regulations for this district.

CITY COUNCIL DISTRICTS: 1 & 9

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, and applicable departmental approvals.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

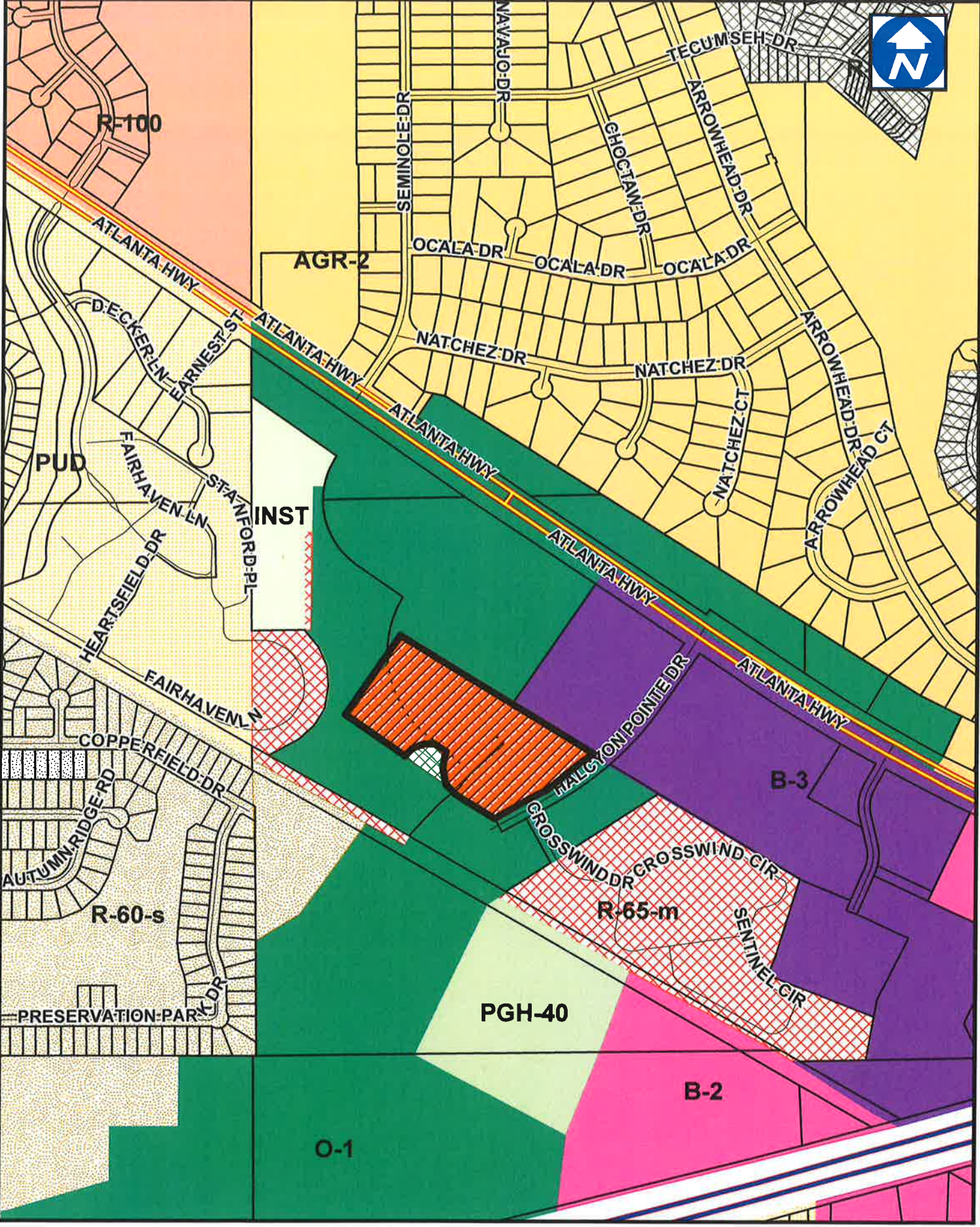
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____



PLATS

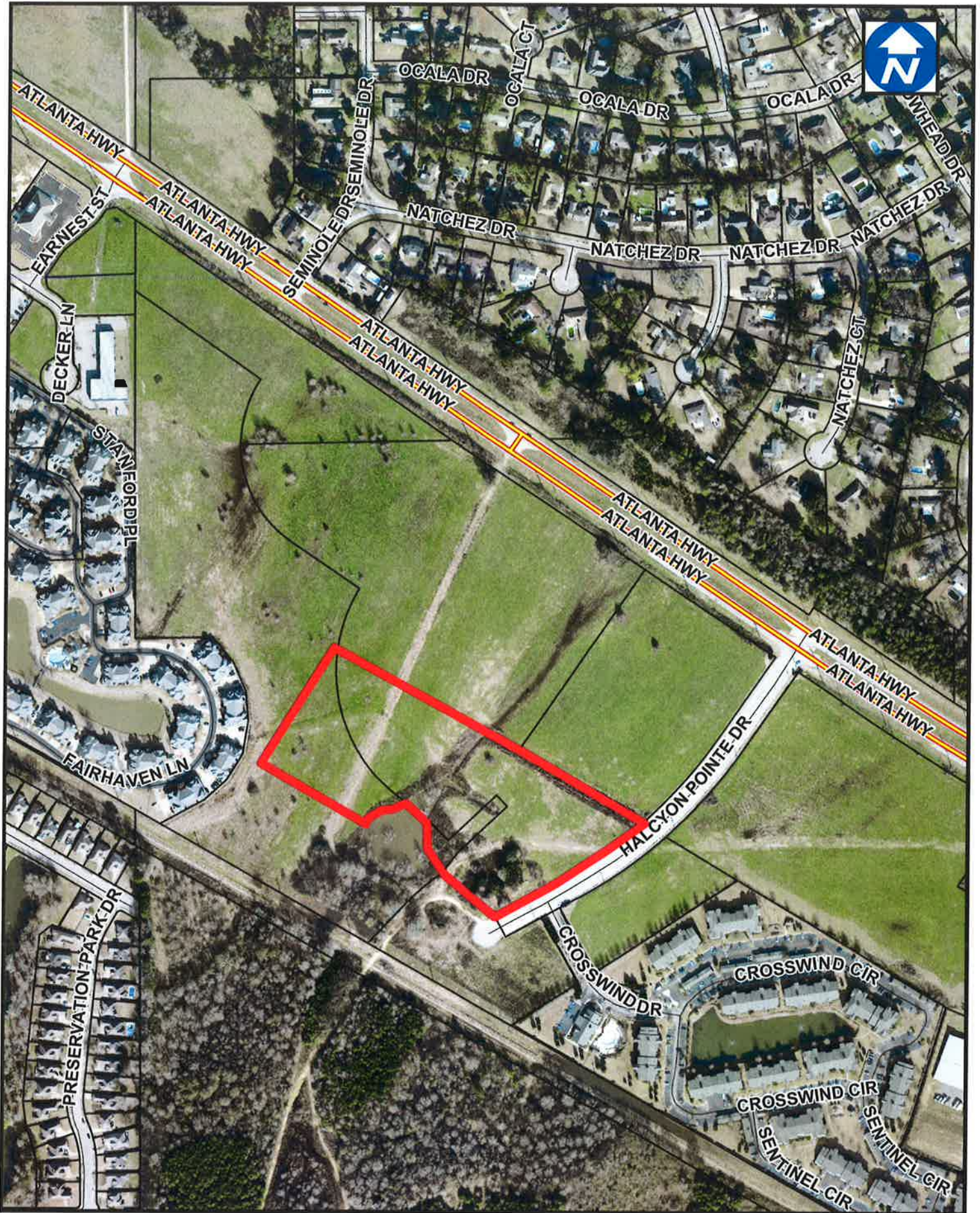
1 inch = 600 feet

SUBJECT PROPERTY



ITEM NO.

4A



PLATS

1 inch = 400 feet

SUBJECT PROPERTY



ITEM NO.

4C

5. 9113 **PRESENTED BY:** Pilgreen Engineering

REPRESENTING: Renita Flowers

SUBJECT: Request final approval of Renita Flowers Plat No. 1 located on the east side of US Highway 31 across from East McLean Road in an AGR-1 (Residential Agriculture) Zoning District.

REMARKS: This plat creates one (1) lot for residential agriculture use. Lot 2 (5.00 acres) is 216.30 ft. wide and a depth 1040.78 ft. Lot 2 is accessed by a 25 ft. access easement that will be recorded by separate document. This plat is in compliance with the Zoning Ordinance and Subdivision Regulations for this district.

CITY COUNCIL DISTRICT: Police Jurisdiction

COUNTY COMMISSION DISTRICT: 2

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, and applicable departmental approvals.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

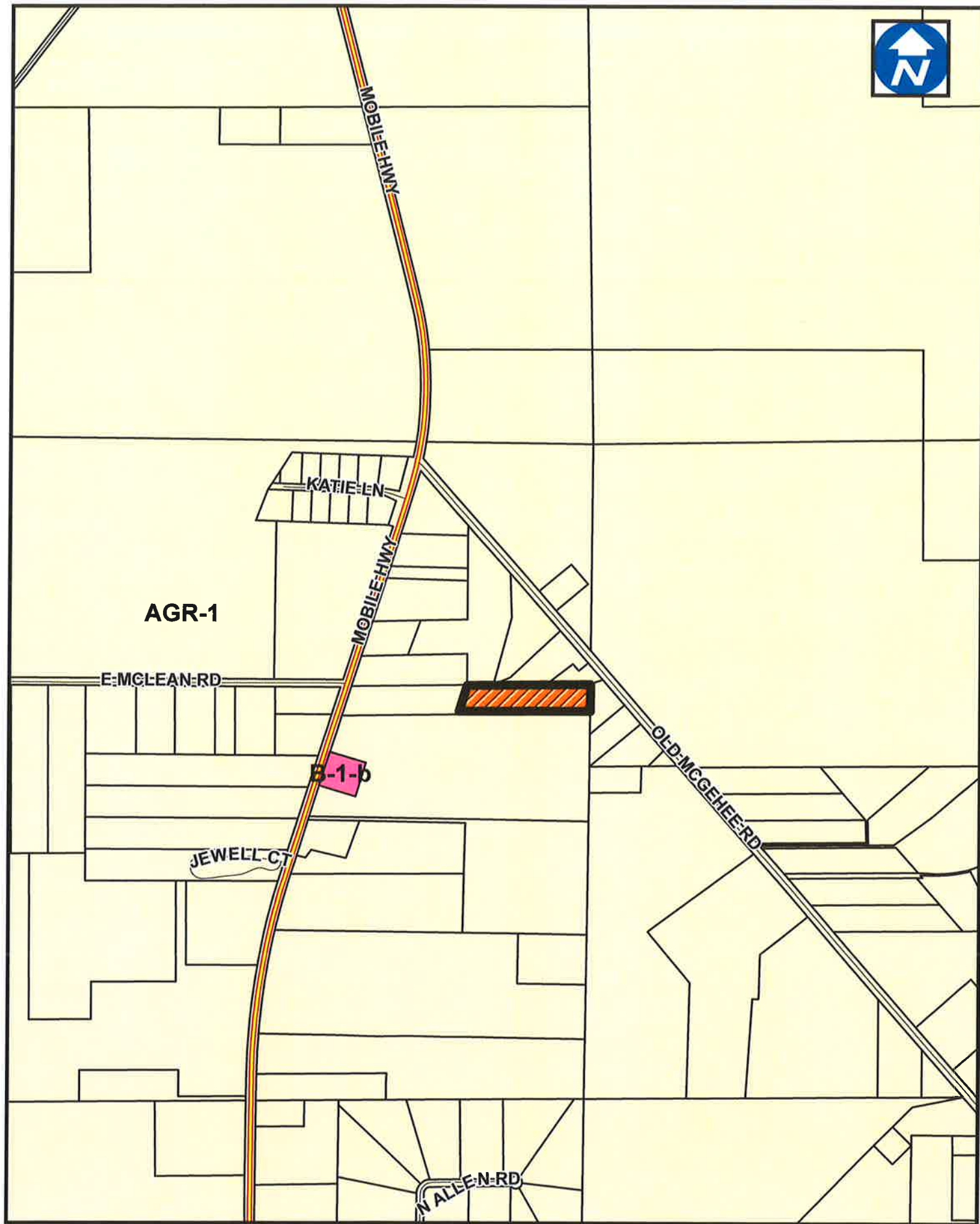
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____



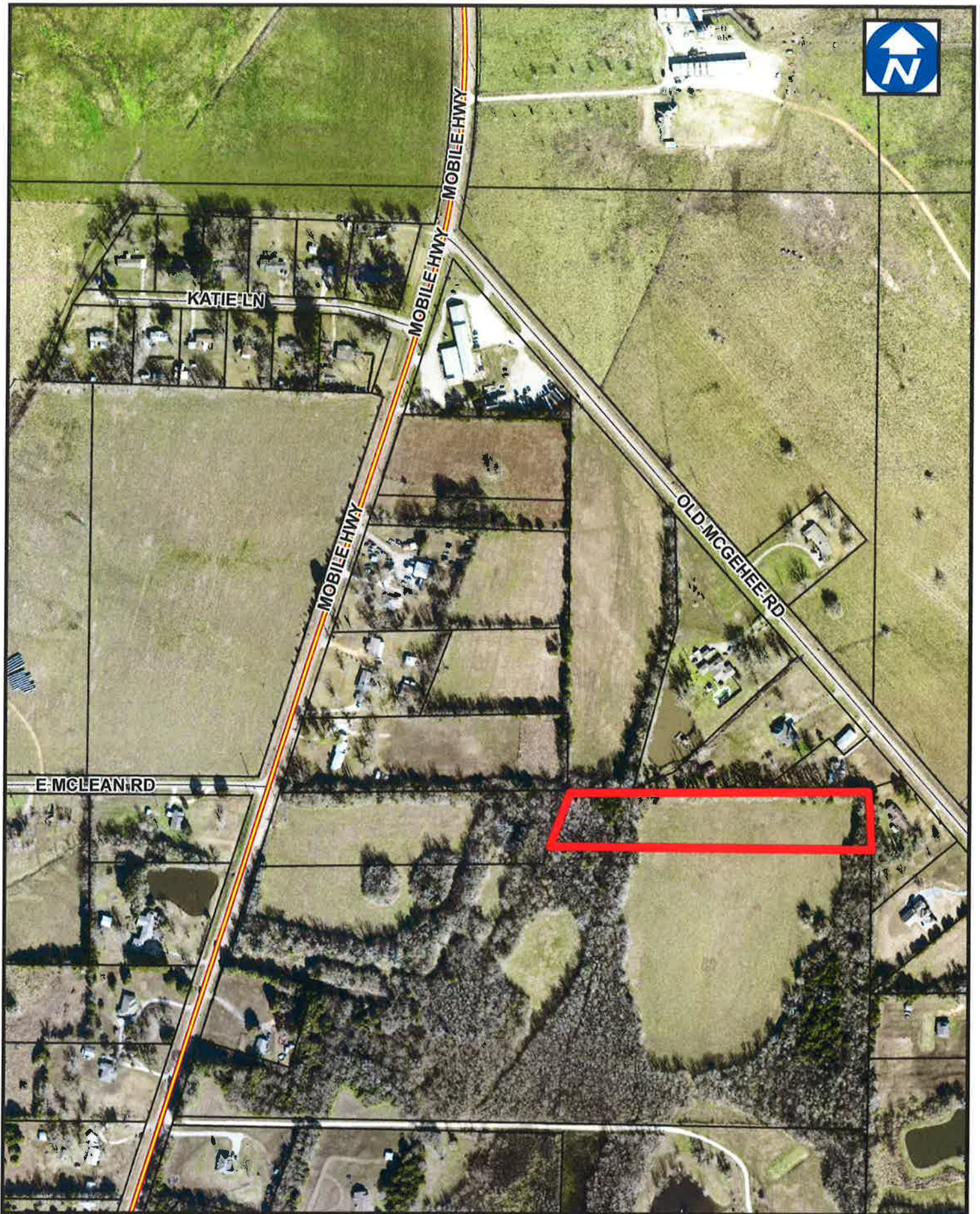
PLATS

1 inch = 1,000 feet

SUBJECT PROPERTY



ITEM NO. 5A



PLATS

1 inch = 400 feet

SUBJECT PROPERTY



ITEM NO. 5C

6. 9114 **PRESENTED BY:** Pilgreen Engineering

REPRESENTING: Eastbrook Properties, LLC

SUBJECT: Request final approval of Eastbrook Shopping Center LLC Plat No. 2 located on the northeast corner of Coliseum Boulevard and Pelzer Avenue in a B-5 (Commercial) Zoning District.

REMARKS: This plat replats one (1) lot into two (2) lots for commercial use. Lot 1 (7.46 acres) has 1,146.67 ft. of frontage along Coliseum Boulevard and a depth of 300 ft. Lot 2 (0.43 acres) has 150 ft. of frontage along Coliseum Boulevard and 124 ft. of frontage along Pelzer Avenue. This plat is in compliance with the Zoning Ordinance and Subdivision Regulations for this district.

CITY COUNCIL DISTRICT: 2

All requests are subject to Zoning Ordinance and/or Subdivision Regulations, and applicable departmental approvals.

DEPARTMENT COMMENTS

PLEASE NOTE: ALL DEPARTMENTAL COMMENTS WILL BE COMPLIED WITH PRIOR TO BEING RELEASED FOR PERMITTING.

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

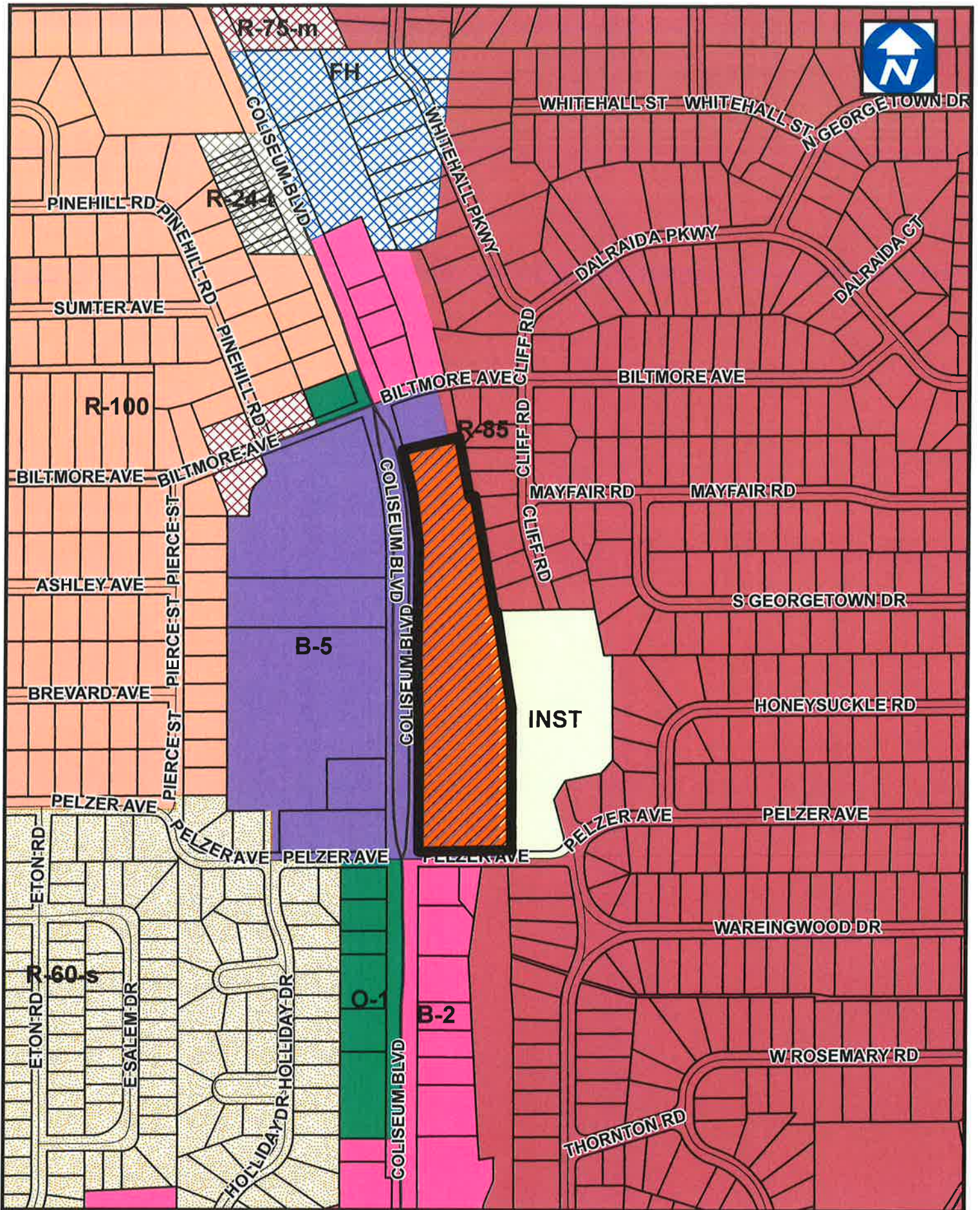
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

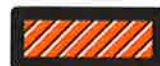
ACTION TAKEN: _____



PLATS

1 inch = 400 feet

SUBJECT PROPERTY



ITEM NO. 6A



PLATS

1 inch = 200 feet

SUBJECT PROPERTY



ITEM NO.

6C

7. RZ-2021-006 **PRESENTED BY:** Ronald L. Robusky

REPRESENTING: Lewis-Robusky Mortuary, LLC

SUBJECT: Request to rezone one (1) lot located 3402 Doris Circle from an R-75-m (Multi-Family Residential) Zoning District to a B-2 (Commercial) Zoning District.

REMARKS: The intended use for this property is a mortuary. The adjacent property has B-2 (Commercial) to the north, R-75-m (Multi-Family Residential) to the east and south, and R-65-d (Duplex Residential) to the west. The Envision Montgomery 2040 Comprehensive Plan recommends Residential Medium Density.

Department of Planning Comment(s): The City Planning Department objects to this rezoning request at this time. This rezoning request is not consistent with residential zoning that is immediately adjacent to the east, south and west or the proposed property requesting to be rezoned. Also, this rezoning request isn't consistent with the Newly Adopted City of Montgomery Envision Montgomery 2040 Comprehensive Plan future land use map that recommends residential medium density for the location proposed.

CITY COUNCIL DISTRICT: 7

DEPARTMENT COMMENTS

ENGINEERING DEPARTMENT: No objections.

TRAFFIC ENGINEERING: No objections.

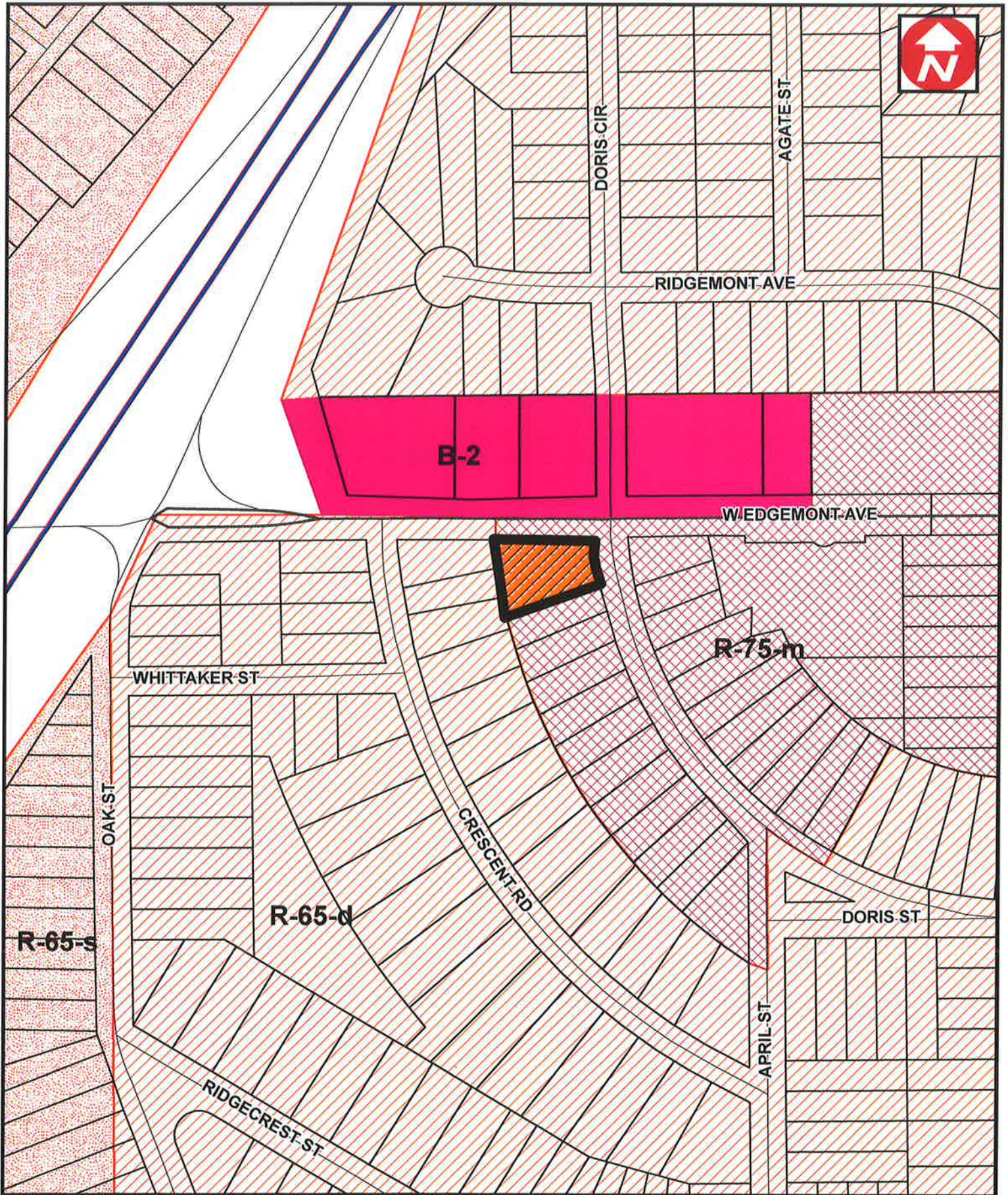
FIRE DEPARTMENT: No objections.

WATER AND SEWER: No objections.

COUNTY HEALTH DEPARTMENT: No objections.

COMMENTS: _____

ACTION TAKEN: _____



REZONING REQUEST

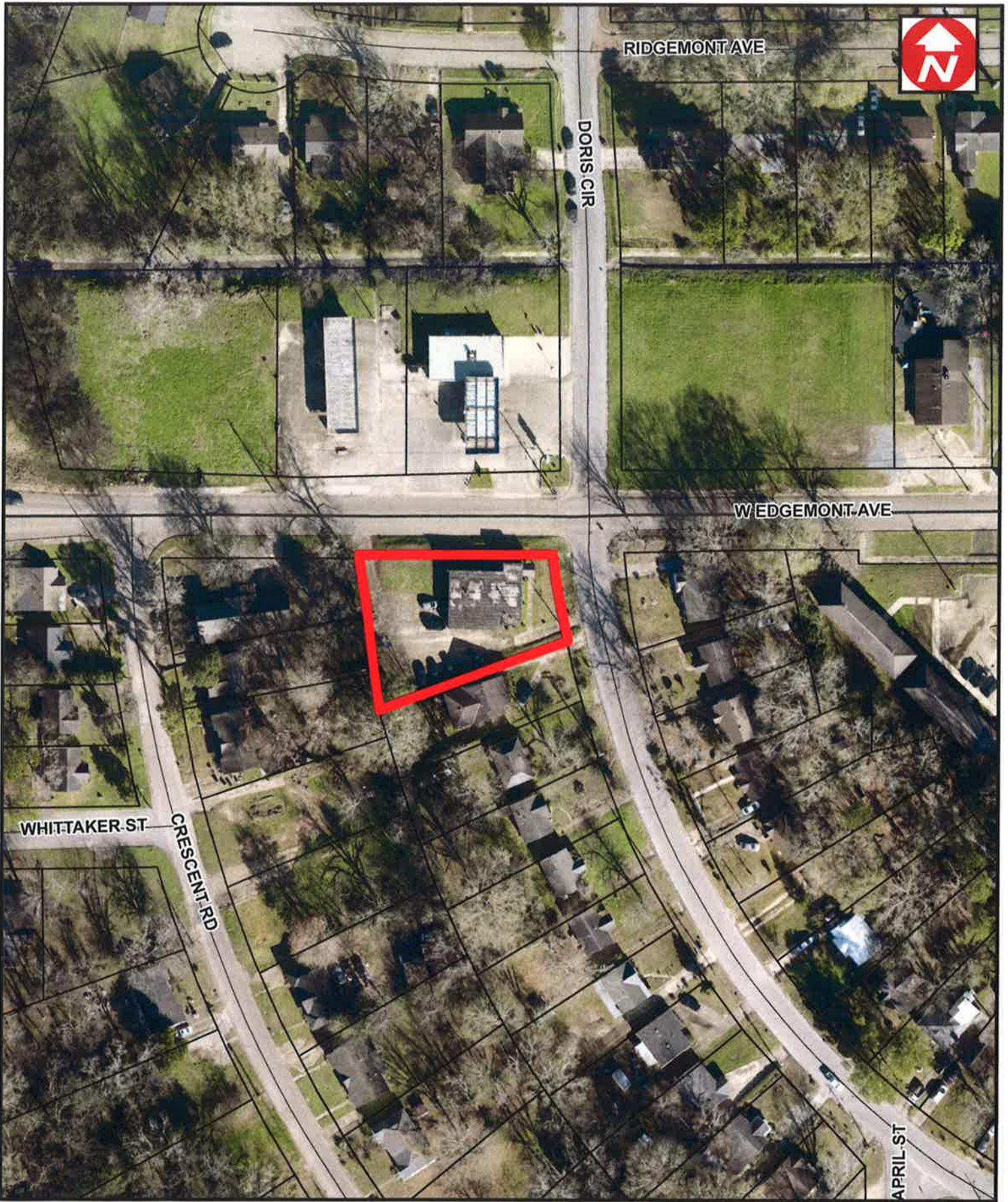
SUBJECT PROPERTY



ITEM NO.

7A

1 inch = 200 feet



REZONING REQUEST

SUBJECT PROPERTY



ITEM NO.

7B

1 inch = 100 feet