



121 GOLDTHWAITE STREET



426 MARTHA STREET



422 MARTHA STREET



418 MARTHA STREET



103 GOLDTHWAITE STREET

NORTH SIDE OF MARTHA STREET



121 GOLDTHWAITE STREET



115 GOLDTHWAITE STREET



103 GOLDTHWAITE STREET

WEST SIDE OF GOLDTHWAITE STREET



PROJECT LOCATION
103 GOLDTHWAITE STREET



AERIAL NEIGHBORHOOD PLAN



108 GOLDTHWAITE STREET



600 MONTGOMERY STREET

EAST SIDE OF GOLDTHWAITE STREET



43 GOLDTHWAITE STREET



43 GOLDTHWAITE STREET



413 MARTHA STREET



415 MARTHA STREET



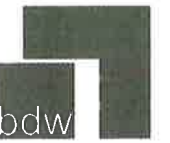
423 MARTHA STREET



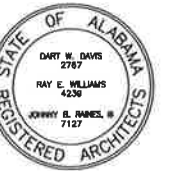
453 MARTHA STREET

SOUTH SIDE OF MARTHA STREET

Barganier
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RESTORATION & ADDITION
TO
**THE BENJAMIN WINSTON
WALKER HOUSE**
103 GOLDTHWAITE STREET
MONTGOMERY, ALABAMA 36104

REVISIONS	No.	Description	Date
A	1	ISSUED FOR REVIEW	05/03/21

Project No. 2021-105
Drawn By: BDW
Date: 5-3-2021
Scale: AS NOTED

Drawing Title:

NEIGHBORHOOD
PHOTOGRAPHS

Sheet No:

A0.1

DESIGN DOCUMENTS



2 EAST ELEVATION
A0.2 SCALE: NONE



3 NORTH ELEVATION
A0.2 SCALE: NONE



4 WEST ELEVATION
A0.2 SCALE: NONE



5 SOUTH ELEVATION
A0.2 SCALE: NONE

GENERAL NOTES

1. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO ANY FABRICATION OR CONSTRUCTION.
2. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES AND OBTAIN OWNER APPROVAL FOR ANY CHANGES.

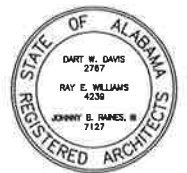
DEMOLITION NOTES

- A. REMOVE MASONRY WALL AND ASSOCIATED FOUNDATION TO BELOW FINISH GRADE.
- B. REMOVE VEGETATION AND SOIL FROM FACE & TOP OF BRICK RETAINING WALL.
- C. REMOVE MASONRY STEPS AND ASSOCIATED FOUNDATION TO BELOW FINISH GRADE.
- D. REMOVE GARAGE CONSTRUCTION IN ITS ENTIRETY, SALVAGE APPLICABLE MATERIALS FOR RE-USE IN NEW CONSTRUCTION. SALVAGE MATERIALS TO INCLUDE, BUT NOT LIMITED TO, WOOD TRIM, BRICKS, ETC.
- E. REMOVE WOOD GATES AND FENCING.
- F. REMOVE TREE AS APPROVED BY THE URBAN FORESTER, GRIND STUMP TO BELOW FINISH GRADE.
- G. REMOVE EXISTING CONCRETE STEPS AND LANDING.
- H. PARKWAY TREE TO BE REMOVED BY THE CITY OF MONTGOMERY.

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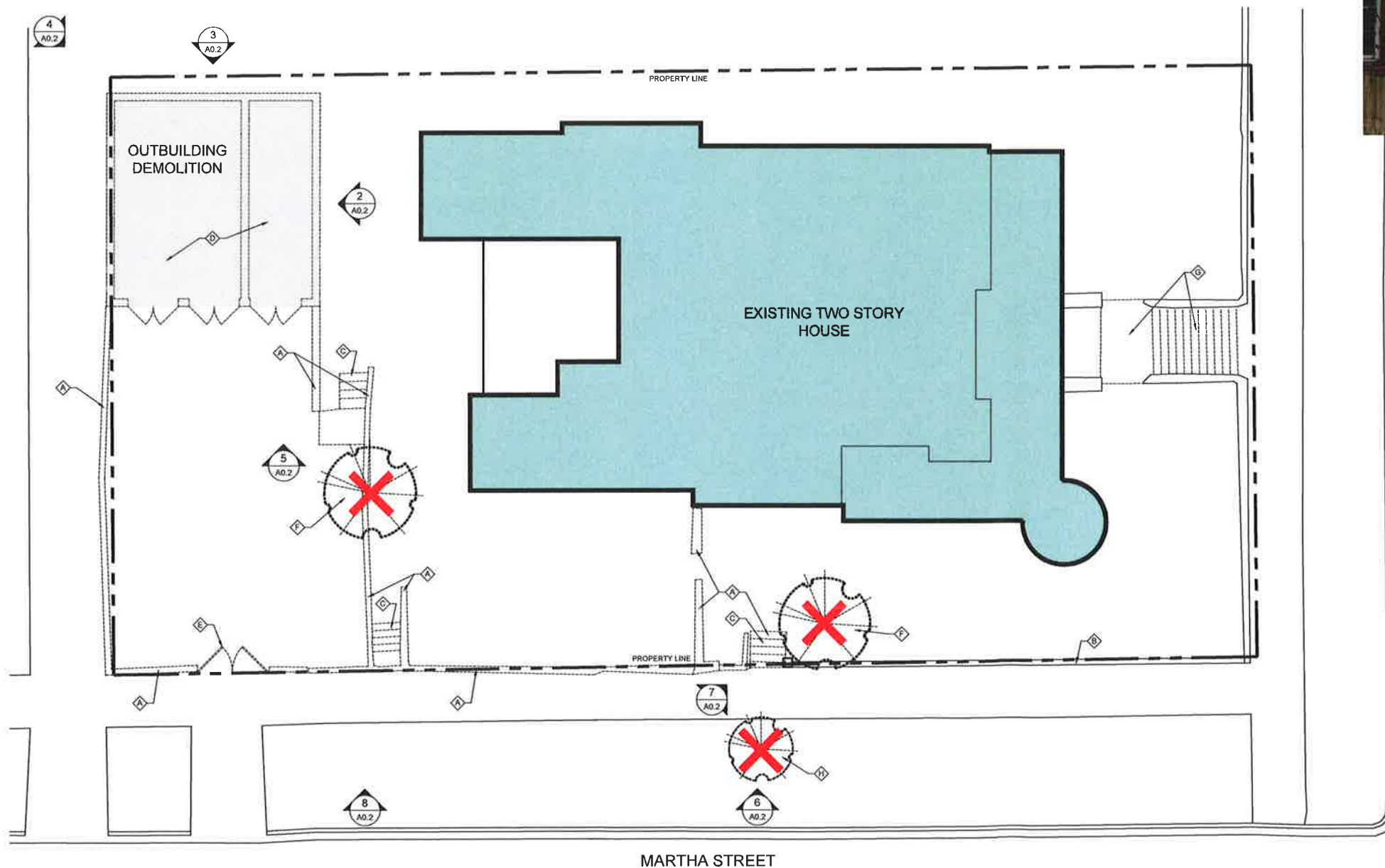
Drawing Title:

DEMOLITION
PLAN

Sheet No:

A0.2

DESIGN DOCUMENTS



1 DEMOLITION and TREE REMOVAL PLAN
A0.2 SCALE: 1/8" = 1'-0"



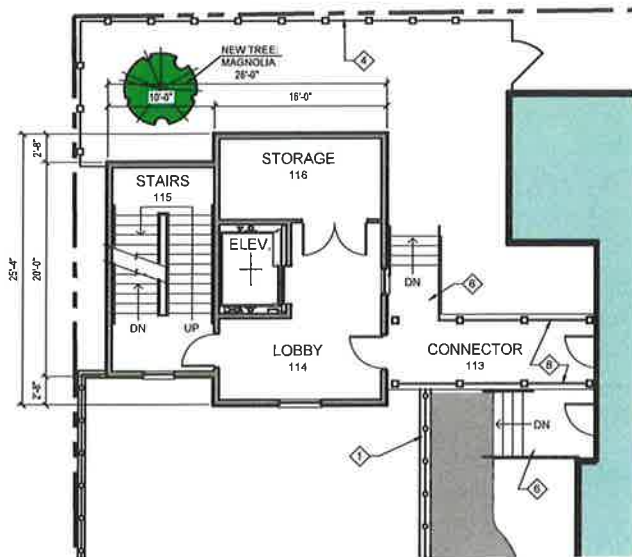
6 PARKWAY TREE
A0.2 SCALE: NONE



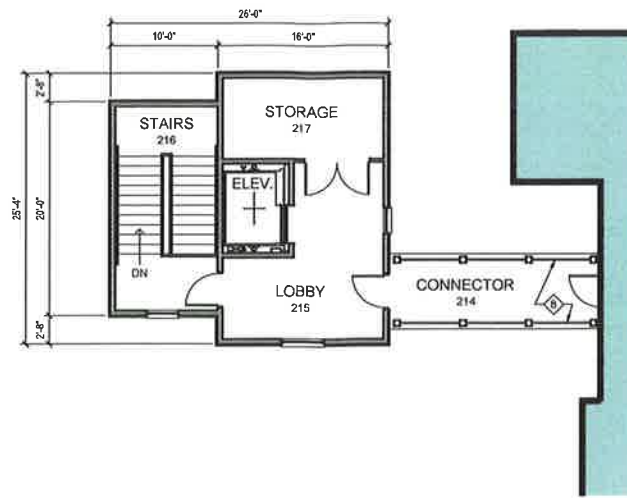
7 INTERIOR TREE
A0.2 SCALE: NONE



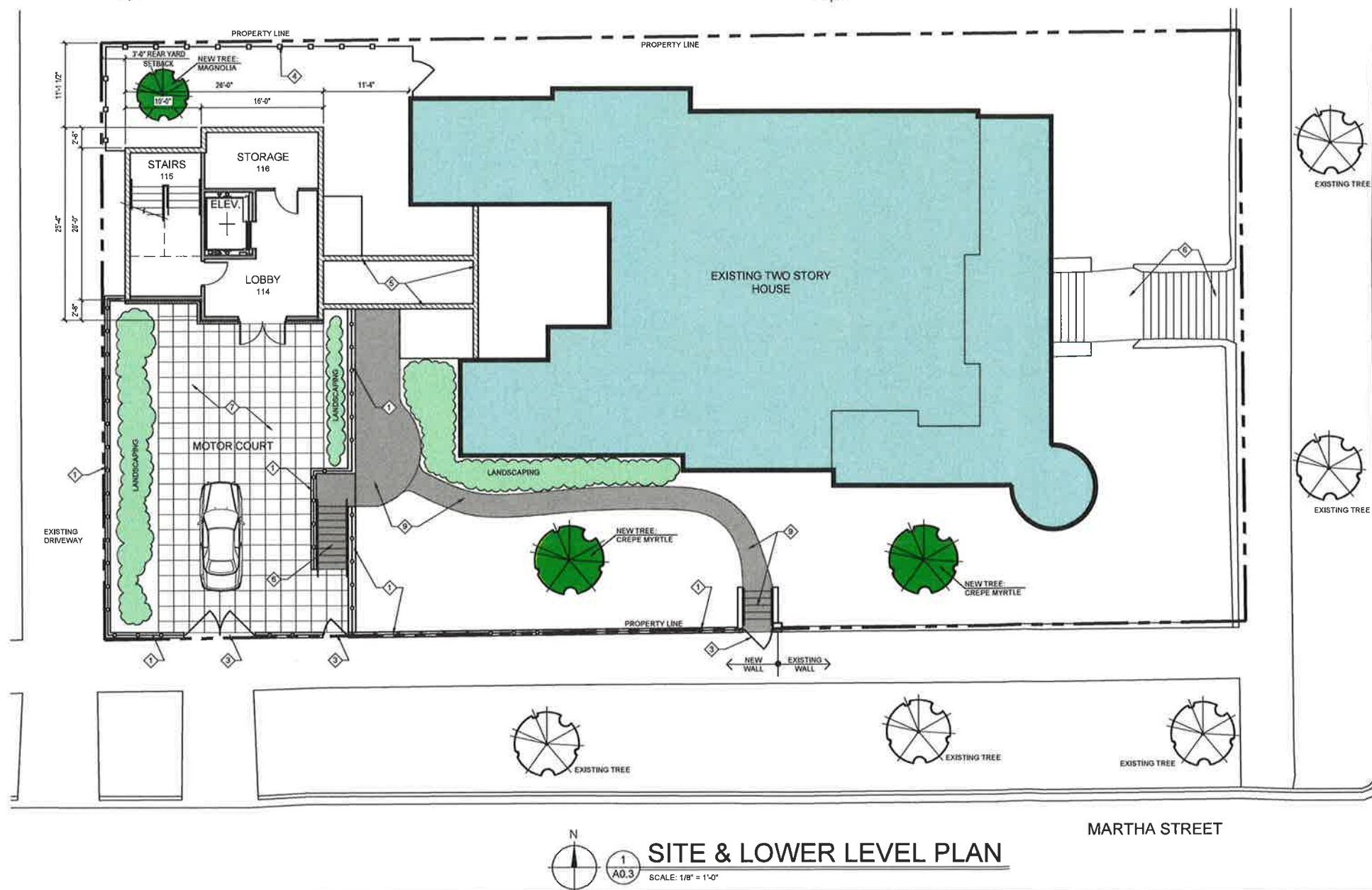
8 INTERIOR TREE
A0.2 SCALE: NONE



4
A0.3
SCALE: 1/8" = 1'-0"
FIRST FLOOR PLAN



3
A0.3
SCALE: 1/8" = 1'-0"
SECOND FLOOR PLAN



1
A0.3
SCALE: 1/8" = 1'-0"
SITE & LOWER LEVEL PLAN

GENERAL NOTES

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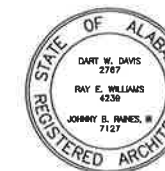
KEYNOTES

1. NEW BRICK VENEER WALL. RE-USE BRICK SALVAGED FROM DEMOLITION OF GARAGE AND RETAINING WALLS
2. NEW BRICK VENEER LANDSCAPE WALL, FENCE AND GATE. RE-USE SALVAGED BRICK FROM DEMOLITION OF GARAGE & RETAINING WALLS. PROVIDE NEW LIMESTONE CAP. NEW WROUGHT IRON STYLE DECORATIVE FENCE, ANODIZED "BLACK". REFER TO ELEVATIONS
3. NEW WROUGHT IRON STYLE DECORATIVE GATE, ANODIZED "BLACK". REFER TO ELEVATIONS
4. NEW 72" HIGH DECORATIVE WOOD PRIVACY FENCE, STAINED "CEDAR" WITH 48" WIDE ACCESS GATE. REFER TO ELEVATIONS
5. NEW CONCRETE & CONCRETE BLOCK FOUNDATIONS
6. NEW CONCRETE STAIRS & LANDING WITH DECORATIVE HANDRAIL, HANDRAIL PAINTED BLACK
7. NEW 24" x 24" CONCRETE PAVERS
8. NEW PVC COLUMNS AND GUARDRAILS, PAINTED "WHITE"
9. NEW CONCRETE SIDEWALK AND CONCRETE STEPS

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**SITE & FLOOR
PLANS**

Sheet No:

A0.3

DESIGN DOCUMENTS

GENERAL NOTES

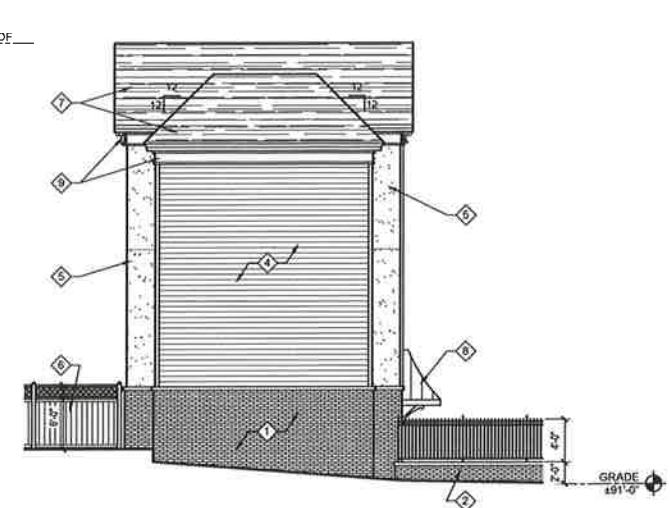
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2. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES AND OBTAIN OWNER APPROVAL FOR ANY CHANGES

KEYNOTES

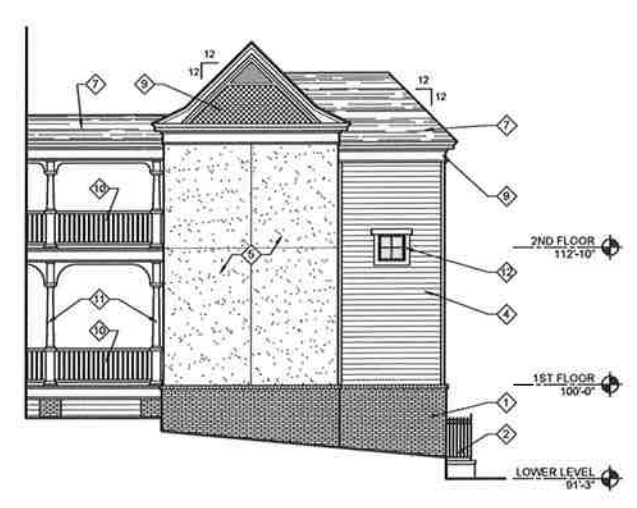
1. NEW BRICK VENEER WALL. SALVAGE AND RE-USE BRICK FROM DEMOLITION OF GARAGE
2. NEW BRICK VENEER. LANDSCAPE WALL AND FENCE. SALVAGE AND RE-USE BRICK FROM DEMOLITION OF RETAINING WALLS. PROVIDE NEW LIMESTONE CAP. NEW WROUGHT IRON STYLE DECORATIVE FENCE, ANODIZED "BLACK"
3. NEW WROUGHT IRON STYLE DECORATIVE GATE, ANODIZED "BLACK"
4. NEW CEMENTITIOUS SIDING VENEER WALL WITH 6" EXPOSURE AND 4" PVC CORNER BOARDS, PAINTED "WHITE"
5. NEW SYNTHETIC STUCCO VENEER WALL, PAINTED "LIMESTONE" TO MATCH EXISTING HOUSE
6. NEW DECORATIVE WOOD PRIVACY FENCE, STAINED "CEDAR"
7. ASPHALT "ARCHITECTURAL" SHINGLE ROOF, "LIGHT GRAY" TO MATCH EXISTING HOUSE
8. STANDING SEAM METAL ENTRANCE CANOPY, "RED COPPER" TO MATCH PORCH DOME AT EXISTING HOUSE
9. DECORATIVE WOOD MOLDING, TRIM, FASCIA BOARD, BRACKETS, ETC. TO MATCH EXISTING HOUSE, PAINTED "WHITE"
10. 42" HIGH PVC GUARDRAIL AND PICKETS, PAINTED "WHITE"
11. PVC COLUMNS, PAINTED "WHITE"
12. CLAD PICTURE WINDOW WITH PVC TRIM, "WHITE"
13. EXISTING BRICK WALL TO BE RESTORED AND REPOINT AND ADD SALVAGE BRICK TO THE TOP OF WALL TO A HEIGHT OF 3'-6".
14. NEW LIMESTONE WALL CAP



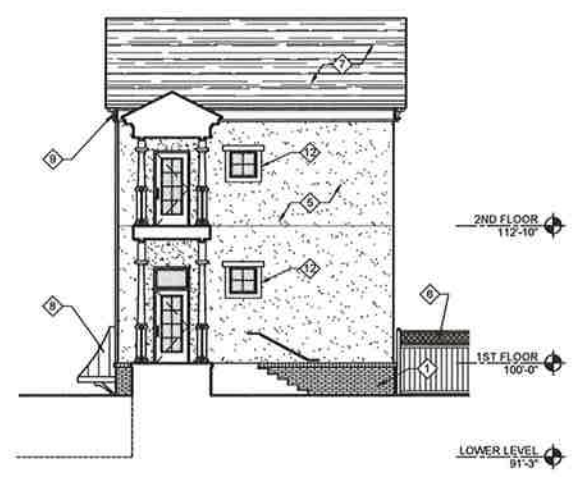
1 ADDITION SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



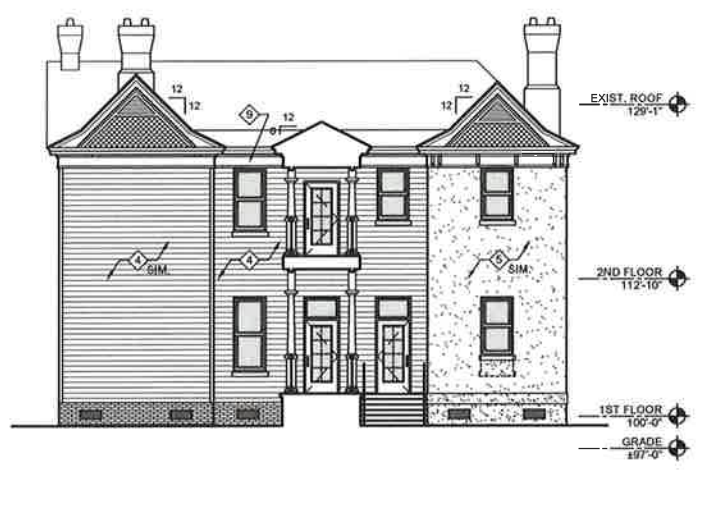
2 ADDITION WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 ADDITION NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4 ADDITION EAST ELEVATION
SCALE: 1/8" = 1'-0"



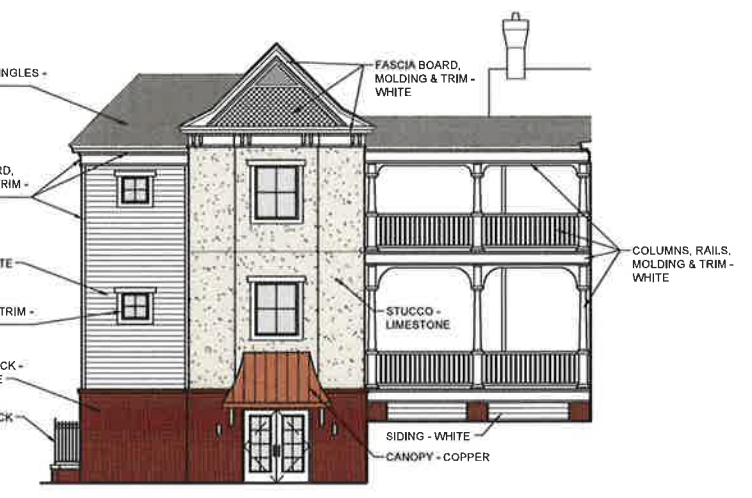
5 HOUSE WEST ELEVATION
SCALE: 1/8" = 1'-0"



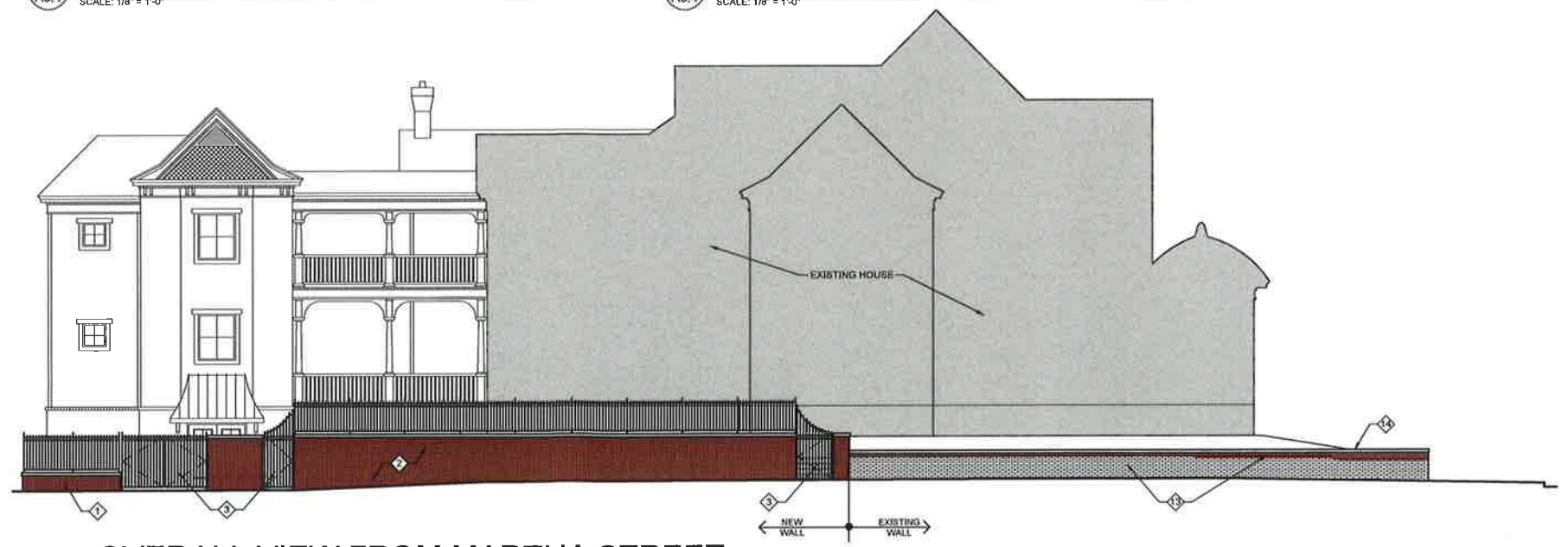
6 MARTHA STREET ELEVATION
SCALE: 1/8" = 1'-0"



**ARCHITECTURAL
DECORATIVE DETAILS**
PHOTO OF DETAILS TO MATCH RELATED TO THE COLUMNS AND UPPER COLUMN CORNICE. THE PICKETS WILL BE AS NOTED ON THE ELEVATIONS



7 TYPICAL COLOR PALLET
SCALE: 1/8" = 1'-0"



8 OVERALL VIEW FROM MARTHA STREET
SCALE: 1/8" = 1'-0"

REVISIONS

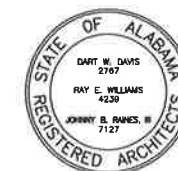
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Project No: 2021-105
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Scale: AS NOTED
Drawing Title:

EXTERIOR
ELEVATIONS

Sheet No:
A0.4

DESIGN DOCUMENTS



RESTORATION & ADDITION
TO
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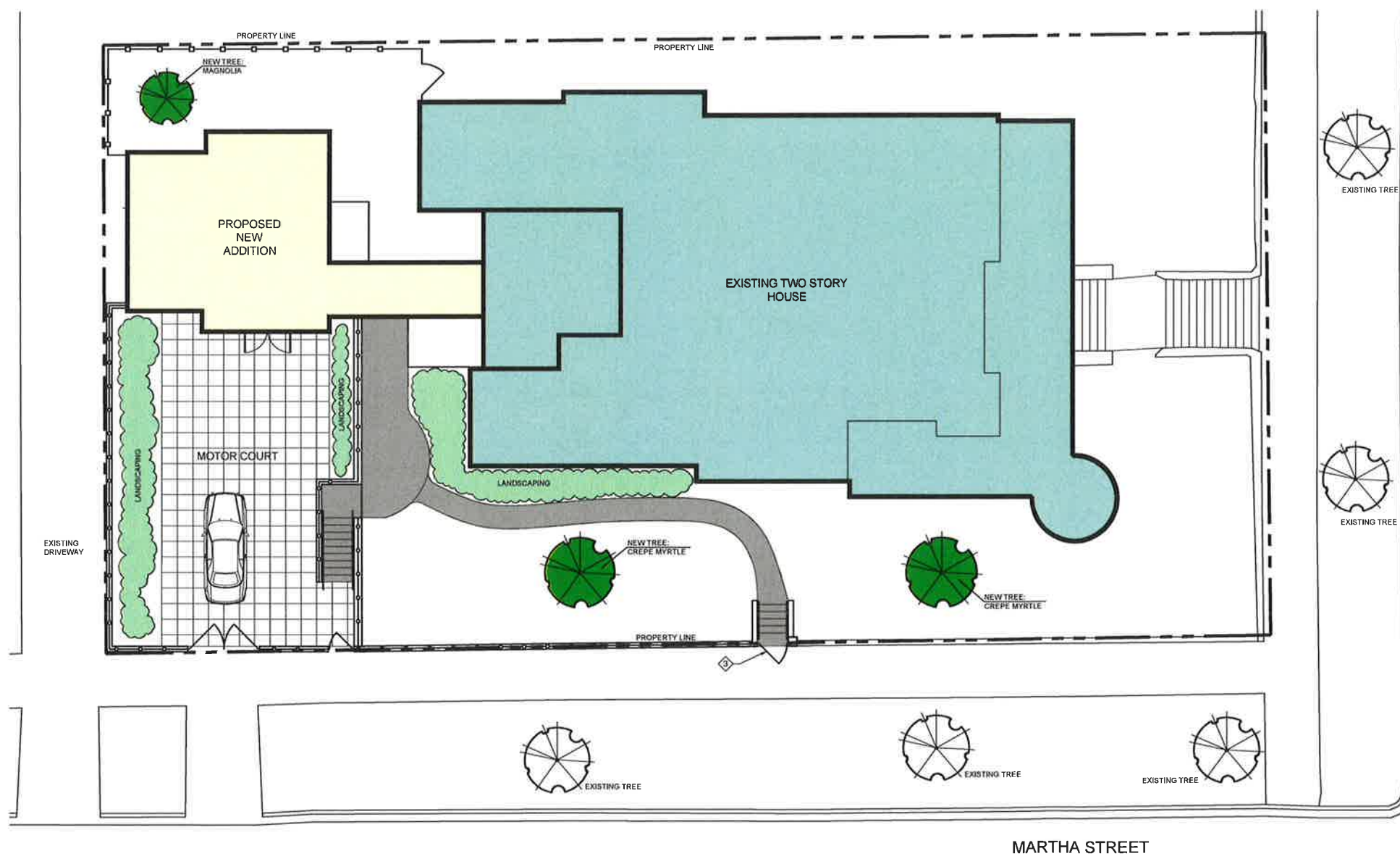
Drawing Title:

**TREE
REPLACEMENT
PLAN**

Sheet No:

A0.2.1

DESIGN DOCUMENTS



TREE REPLACEMENT PLAN
SCALE: 1/8" = 1'-0"



1
A0.6
EXISTING WEST ELEVATION
SCALE: NONE



2
A0.6
EXISTING WEST ELEVATION
SCALE: NONE



3
A0.6
EXISTING WEST ELEVATION
SCALE: NONE

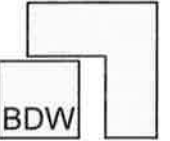
KEYNOTES

1. PRESSURE WASH AND APPLY RUBBED CONCRETE FINISH OVER EXISTING STUCCO WALL. FINISH WALL TO BE PAINTED.
2. REMOVE EXISTING STEPS. INSTALL NEW STEPS WITH RAILING AS DETAILED.
3. PRESSURE WASH AND APPLY RUBBED CONCRETE FINISH TO STEP WALLS. FINISHED WALL TO BE PAINTED. INSTALL NEW CAP MATERIAL ON WALL AS DETAILED.
4. CLEAN AND REPAIR EXISTING DOMED TIN METAL ROOF AND SLOPED PORCH ROOF AND APPLY NEW ROOF COATING - SEE SPECS
5. REPLACE ALL WINDOW SASHES WITH NEW VINYL CLAD WOOD SASHES, UNLESS NOTED OTHERWISE
6. REPAIR ALL EXISTING STUCCO WALL FINISHES ON THE EXTERIOR, INCLUDING REPAIRING CRACKS, REPLACING MISSING STUCCO, REPAIRING OUTSIDE CORNERS. REPAINTING OF THE STUCCO SHALL INCLUDE ONE COLOR FOR THE FAUX STONE AND ONE COLOR FOR THE TOOLED FAUX MORTAR JOINTS, SIMILAR TO THE ORIGINAL DESIGN.
7. REPLACE MISSING EXTERIOR RAIL COMPONENTS TO MATCH EXISTING.
8. SEE DRAWINGS FOR DESIGN OF FRONT AND SIDE PORCH COLUMNS, BRACKETS, BEAM, ETC.
9. REROOF ENTIRE BUILDING WITH NEW ARCHITECTURAL ASPHALT SHINGLES - SEE SPECS. PROVIDE ADD ALTERNATE FOR SYNTHETIC SLATE SHINGLES - SEE SPECS. REPLACE ROTTEN DECKING ENCOUNTERED, PARTICULARLY AROUND CHIMNEYS.
10. REMOVE BRICK RETAINING WALL ON SOUTH ELEVATION AND RECONSTRUCT PER DETAILS. REUSE EXISTING BRICK.
11. REMOVE EXISTING CONCRETE STEPS.
12. CLEAN, SCRAPE AND REPAINT ALL EXISTING WOOD SIDING AND TRIM AFTER REPAIRS ARE MADE.
13. REFLASH ALL CHIMNEYS.
14. CLEAN, REPOINT AND SEAL ALL BRICK VENEER TO REMAIN
15. REMOVE EXISTING TREE.
16. EXISTING CARRIAGE HOUSE TO BE DEMOLISHED IN PHASE I
17. REMOVE EXISTING CEMENT BOARD SIDING. REPLACE WITH HARDBOARD SIDING PER DRAWINGS. INSTALL NEW SHEATHING AND HOUSE WRAP AS REQUIRED.
18. RECONSTRUCT WALL - SEE DRAWINGS.
19. SEE PLANS FOR DEMOLITION AND NEW CONSTRUCTION IN THIS AREA ON WEST ELEVATION.
20. REPLACE EXISTING CROWN MOULDING
21. REPLICATE AND REPLACE EXISTING BRACKETS
22. REMOVE AND REPLACE BOTTOM 7 PIECES OF LAP SIDING TO MATCH - THIS ELEVATION
23. REPLACE CORNER BOARDS WITH PVC
24. REMOVE WINDOWS, INFILL WITH CONSTRUCTION TO MATCH ADJACENT WALLS
25. THIS SASH TO BE REPLACED WITH SPANDREL GLASS WINDOW AND CLOSED UP FROM INSIDE
26. INFILL VOID WITH MISSING FRAMING AND TRIM
27. RECONSTRUCT ROTTEN PORCH EDGE TO MATCH
28. SALVAGE TRIM FOR REUSE ON MAIN BUILDING
29. REPLACE MISSING PORCH SOFFIT TO MATCH
30. REPLACE INSIDE FACE OF PORCH BEAM WHERE MISSING
31. REMOVE AND REPLACE CEMENT BOARD WITH NEW SIDING PER DRAWINGS.

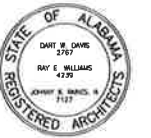
GENERAL NOTES

1. REPLACE MISSING FOUNDATION VENTS WITH SIMILAR DESIGN

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**EXTERIOR
ELEVATIONS
RENOVATION**

Sheet No:

A0.6

DESIGN
DOCUMENTS