

ABBREVIATIONS			
ADD'L	ADDITIONAL	KD	KNOCKDOWN KNOCKDOWN
ADJ	ADJUSTABLE	KO	KNOCKOUT KNOCKOUT
AFT	ABOVE FINISH FLOOR	KV	KILOVOLT KILOVOLT
ALT	ALTERNATE	KVA	KILOVOLT-AMPERES KILOVATT
ALUM	ALUMINUM	KW	KILOWATT
APPL	APPLICABLE		
AMP	AMPERE	LB	POUND
APPROX	APPROXIMATELY	LF	LINEAR FEET
ARCH	ARCHITECTURAL	LH	LEFT HAND
ACT	ACOUSTICAL CEILING TILE	LIG	LIGHTING
		LTS	LIGHTS
		M	MARBLE
BD	BOARD	MAS	MASONRY
BLDG	BUILDING	MAT'L	MATERIAL
BLKG	BLOCKING	MAX	MAXIMUM
B.O.	BOTTOM OF	MEMB	MEMBRANE
BOT	BOTTOM	MFG	MANUFACTURER
BRG	BEARING	MICRO	MICROWAVE
BTWN	BETWEEN	MIN	MINIMUM
		MISC	MISCELLANEOUS
		MO	MASONRY OPENING
CFM	CUBIC FEET PER MINUTE	MR	MOISTURE RESISTANT
CJ	CONTROL JOINT	MTD	METAL
CLG	CEILING	MTL	METAL
CL	CLOSET	MECH	MECHANICAL
CLR	CLEAR(ANCE)	MEZZ	MEZZANINE
CMU	CONCRETE MASONRY UNIT		
COL	COLUMN	N	NORTH
COMM	COMMUNICATION	NIC	NOT IN CONTRACT
CONC	CONCRETE	NO	NUMBER
CONF	CONFERENCE	NTS	NOT TO SCALE
CONST	CONSTRUCTION		
COORD	COORDINATE(NON)	OC	ON CENTER(S)
CORR	CORRODE	OFF	OFF
CT	CERAMIC TILE	OPNG	OPENING
		OPP	OPPOSITE
		PCF	POUNDS PER CUBIC FOOT
DBL	DOUBLE	PLAM	PLASTIC LAMINATE
DEMO	DEMOLITION	PLYWD	PLYWOOD
DF	DIAMETER	PL	PANEL
DN	DOWN	PNL	PANEL
DN	DOWN	POL	POLISHED
DNWNLTS	DOWNLIGHTS	PSF	POUNDS PER SQUARE FOOT
DR	DOOR	PTD	PAINTED
DWG	DRAWING	PS	PULL STATION
		PWR	PRESSURE TREATED
		PT	PRESSURE TREATED
		QTY	QUANTITY
EA	EACH		
EJ	EXPANSION JOINT		
EL	ELEVATION		
ELEC	ELECTRICAL	RAD	RADIUS
ELEV	ELEVATOR	REC	RECEPTACLE
EQUIP	EQUIPMENT	REF	REFRIGERATOR
EXST	EXISTING TO REMAIN	REIN	REINFORCE(ING)
EW	EACH WAY	REQ'D	REQUIRED
EWC	ELECTRIC WATER COOLER	RES	RESILIENT
EXH	EXHAUST	REV	REVISION(S) REVISED
EXST	EXISTING	RH	RIGHT HAND
EXP	EXPANSION	RM	ROOM
EXT	EXTERIOR	RO	ROUGH OPENING
FA	FIRE ALARM	SC	SOLID CORE
FC	FLOOR COVERING	SCW	SOLID CORE WOOD VENEER
FE	FIRE EXTINGUISHER	SD	SECTION
FEC	FIRE EXTINGUISHER CABINET	SECT	SECTION
FHVC	FIRE HOSE VALVE CABINET	SECT	SECTION
FIN	FINISH	SECY	SECRETARY
FLR	FLOOR(ING)	SIM	SIMILAR
FLUOR	FLUORESCENT	SPEC	SPECIFICATIONS
F.O.	FACE OF	SF	SQUARE FEET
FR	FIRE RATING	STD	STANDARD
FRM	FRAME	STC	SOUND TRANSMISSION COEFFICIENT
FT	FOOT(FEET)	STL	STEEL
		STOR	STORAGE
		SYM	SYMMETRICAL
		SS	STAINLESS STEEL
GA	GALLON	TEL	TELEPHONE
GAL	GALLON	TEMP	TEMPERATURE
GEN	GENERATOR	THK	THICK(NESS)
GFI	GROUND FAULT INTERRUPTER	TME	TO MATCH EXISTING
GL	GLASS, GLAZING	T.O.	TOP OF
GWB	GYPSUM WALL BOARD	TRANS	TRANSITION
GC	GENERAL CONTRACTOR	TYP	TYPICAL
HC	HOLLOW CORE	UL	UNDERWRITER'S LABORATORY
HCMV	HOLLOW CORE MASONITE VENEER	UNO	UNLESS NOTED OTHERWISE
HCWV	HOLLOW CORE WOOD VENEER		
HM	HOLLOW METAL	V	VOLTS
HORIZ	HORIZONTAL	VCT	VINYL COMPOSITION TILE
HVAC	HEATING, VENTILATING AND AIR CONDITIONING	VEN	VENEER
		VERT	VERTICAL
		VEST	VESTIBULE
HW	HOT WATER	VF	VERIFY IN FIELD
HT	HEIGHT	VT	VINYL TILE
HR	HOUR	W	WATTS
		WC	WALL COVERING
IN	INCH	WD	WOOD
INS	INSULATED/INSULATION	WET	WET STACK
INT	INTERIOR	WT	WEIGHT
		W/	WITH
JAN	JANITOR	WH	WATER HEATER
JT	JOINT	YD	YARD
J-BOX	JUNCTION BOX		

- GENERAL NOTES**
- GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY IN THE DOCUMENTS OR EXISTING CONDITIONS. WORK THAT PROCEEDS WITHOUT NOTIFYING THE ARCHITECT IS AT THE CONTRACTOR'S OWN RISK.
 - BEFORE COMMENCEMENT OF ANY WORK THAT CHANGES THE CONTRACT SUM OR CONTRACT TIME, WRITTEN AUTHORIZATION MUST BE OBTAINED FROM THE ARCHITECT. WORK THAT PROCEEDS WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT IS AT THE CONTRACTOR'S OWN RISK.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK, THIS INCLUDES BUT IS NOT LIMITED TO:
 - PRE-BID SITE VISIT FOR VERIFICATION OF EXISTING CONDITIONS.
 - FIELD DIMENSIONS AS REQUIRED
 - CONCEALMENT OF MECHANICAL/ELECTRICAL SERVICES BEHIND BUILDING FINISHES UNLESS NOTED OTHERWISE.
 - LOCATION OF MECHANICAL/ELECTRICAL SERVICES BEHIND BUILDING FINISHES UNLESS NOTED OTHERWISE.
 - CONSTRUCTION SHALL CONFORM TO ALL CODES AND REGULATIONS HAVING JURISDICTION FOR THIS PROJECT.
 - THE MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS SHALL BE UPDATED AS REQUIRED. GENERAL CONTRACTOR SHALL PROVIDE PROPOSALS AND SHOP DRAWINGS FOR REVIEW AND APPROVAL BY ARCHITECT AND OWNER.

IECC: TABLE R402.4.1.1

CONTRACTOR TO FOLLOW THE FOLLOWING INSTALLATION REQUIREMENTS FOR INSULATION AND AIR BARRIER:

DISTRICT OF COLUMBIA CONSTRUCTION CODES SUPPLEMENT OF 2017 12-[RE] DCMR - ENERGY CONSERVATION CODE SUPPLEMENT OF 2017: AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS SIX-SIDED AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. ALL CEILING, WALL, FLOOR AND SLAB INSULATION SHALL ACHIEVE GRADE I INSTALLATION PER THE RESNET STANDARDS OR, ALTERNATIVELY, GRADE II FOR SURFACES THAT CONTAIN A LAYER OF CONTINUOUS, AIR IMPERMEABLE INSULATION > R5.
CEILING/ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING/SOFTIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWNSTAIRS OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING/SOFTIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED. DOORS ADJACENT TO UNCONDITIONED SPACE OR AMBIENT CONDITIONS SHALL BE MADE SUBSTANTIALLY AIR-TIGHT WITH WEATHER STRIPPING OR EQUIVALENT GASKET.	CONTINUOUS EXTERIOR INSULATION SHALL CONTINUE OVER WINDOW AND DOOR HEADERS. SKYLIGHT AND WINDOW CHASSES THROUGH UNCONDITIONED ATTIC SPACE MUST BE INSULATED TO EXTERIOR WALL VALUES PER TABLE 402.1.2.
RIM JOISTS	RIM JOISTS SHALL INCLUDE CONTINUOUS AIR BARRIER. FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	RIM JOISTS SHALL BE INSULATED PER TABLE 402.1.2. FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNMENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLEE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	DUCT SHAFTS OR CHASSES NEXT TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE INSULATED.
NARROW CAVITIES		BATS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	WALLS NEXT TO UNCONDITIONED GARAGE SPACE SHALL BE INSULATED.
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING	SEAL ANY PLUMBING OR WIRING THAT PENETRATES THE BUILDING ENVELOPE.	BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER/TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
COMMON WALL SEPARATING DWELLING UNITS	AIR BARRIER IS INSTALLED IN COMMON WALL BETWEEN DWELLING UNITS.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CALULING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALLS OR CEILINGS.	
FIREPLACE	AN AIR BARRIER SHALL BE INSTALLED ON FIREPLACE WALLS.	

IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.

IECC: TABLE R402.1.2

DISTRICT OF COLUMBIA CONSTRUCTION CODES SUPPLEMENT OF 2017 12-[RE] DCMR - ENERGY CONSERVATION CODE SUPPLEMENT OF 2017: INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT

COMPONENT	REQUIRED	PROVIDED
FENESTRATION U-FACTOR*	0.30 U-FACTOR	0.28
SKYLIGHT U-FACTOR*	0.55 U-FACTOR	0.12
GLAZED FENESTRATION SHGC*	0.40 SHGC	0.25
CEILING	R-49	R-49
WOOD FRAME WALL AND RIM JOISTS	R-19 CAVITY+5 CONT. EXT. R-13 CAVITY+10 CONT. EXT. R-15 CONT.	R-19+5
MASS WALL**	R-15 CONT. EXT. R-20 CONT. INT.	N/A
FRAME FLOOR	R-25+5 CONT.	N/A
ELEVATED SLAB	R-15 CONT.	N/A
BASEMENT WALL	R-19 CAVITY+5 CONT. EXT. R-13 CAVITY+10 CONT. EXT. R-15 CONT.	R-15 CONT. INT.
SLAB ON GRADE***	R-10, 2'-0"	R-10 CONT.
CONDITIONED CRAWLSPACE WALL	R-19 CAVITY+5 CONT. EXT. R-13 CAVITY+10 CONT. EXT. R-15 CONT.	N/A
SUPPLY DUCTS IN ATTIC	R-8	N/A

R-VALUES ARE MINIMUMS. U-FACTORS AND SHGC ARE MAXIMUMS. WHEN INSULATION IS INSTALLED IN A CAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R-VALUE SPECIFIED IN THE TABLE.
 * THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION.
 ** THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.
 *** R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS

THE CONTRACTOR IS RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING TO ELECTRICAL PANEL OR WITHIN 6 FEET OF THE ELECTRICAL PANEL AND BE READILY VISIBLE.

GENERAL DATA

PROJECT DESCRIPTION: NEW 1 STORY REAR ADDITION AND INTERIOR RENOVATIONS AT ALL LEVELS INCLUDING RENOVATED KITCHEN, RENOVATED BATHROOMS, AND A NEW BATHROOM, NEW LIGHTING AND MECHANICAL ZONES.

ADDRESS: 3419 30TH STREET, NW WASHINGTON, DC 20008

LOCATION: SQUARE 2070 / LOT 0007

BUILDING TYPE: SINGLE FAMILY UNATTACHED DWELLING, NOT MORE THAN 3 STORIES WITH SEPARATE MEANS OF EGRESS

CONSTRUCTION TYPE: VB (COMBUSTIBLE AND UNPROTECTED)

FIRE RATING: 0 HOURS FOR EXTERIOR/INTERIOR BEARING AND NO BEARING WALLS AND PARTITIONS, FLOOR, AND ROOF CONSTRUCTION

FIRE/SMOKE DETECTION SYSTEM: ALL NEW SMOKE DETECTORS TO BE HARDWIRED, INTERCONNECTED SMOKE DETECTORS ON A DEDICATED CIRCUIT FROM THE PANEL WITH BATTERY BACKUP SHALL BE PROVIDED IN ALL SLEEPING ROOMS AND ONE PER FLOOR IN HALLWAY/ STAIRWELL AREAS PER IRC 2012 AND ALL GOVERNING CODES FOR THIS JURISDICTION. SEE ELECTRICAL PLANS FOR EXIST. SMOKE DETECTOR LOCATIONS.

NEIGHBORHOOD: CLEVELAND PARK

WARD: J

ZONING DISTRICT: R-1-B

NO. DWELLING UNITS: 1

NO. PARKING SPACES: 1

SIDE YARD SETBACK: 8'-0" (5'-3" EXST. & 5'-11 3/4" NEW PER 307.5 SIDE YARD CODE EXCEPTION)

REAR YARD SETBACK: 25'-0" FEET

FRONT YARD SETBACK: NO LESSER OR GREATER THAN EXISTING ON THE SAME BLOCK

PERVIOUS SURFACE: EXISTING 66%, NEW 65%, 50% MINIMUM

NO. OF STORIES: 1 STORY PLUS CELLAR EXISTING TO REMAIN, 3 STORIES ALLOWED

BUILDING HEIGHT: EXISTING TO REMAIN +/- 21'-0", MAXIMUM ALLOWABLE: 40'-0"

LOT AREA (LA): 4,233 SF

GROSS FLOOR AREA (GFA): 1,933 SF EXISTING, 2,123 SF NEW

FAR (GFA / LA): 0.46 EXISTING, 0.50 NEW

BUILDING AREA (BA): 1,161 SF EXISTING, 1,351 SF NEW

LOT OCCUPANCY (BA / LA): 27.4% EXISTING, 31.8% NEW, 40% ALLOWABLE

APPLICABLE CODES

BUILDING CODE: 2012 ICC EXISTING BUILDING AND RESIDENTIAL CODE AS MODIFIED BY 2013 DCMR 12

ENERGY CONSERVATION CODE: 2012 ICC INTERNATIONAL ENERGY CONSERVATION CODE AS MODIFIED BY 2013 DISTRICT OF COLUMBIA ENERGY CODE

ELECTRICAL CODE: 2011 NATIONAL ELECTRIC CODE (NFPA) AS MODIFIED BY 2013 DISTRICT OF COLUMBIA ELECTRICAL AND FIRE CODE

PLUMBING AND GAS CODE: 2012 ICC PLUMBING CODE AS MODIFIED BY 2013 DISTRICT OF COLUMBIA PLUMBING CODE

MECHANICAL CODE: 2012 ICC MECHANICAL CODE AS MODIFIED BY 2013 DISTRICT OF COLUMBIA MECHANICAL CODE

PROJECT TEAM

OWNERS: GEORGIA HOLMES 782 FELDER AVE MONTGOMERY, AL 36106

DESIGNER: EVELYN PIERCE DESIGN STUDIO, LLC EVELYN PIERCE 1149 3RD STREET, NE WASHINGTON, DC 20002

HOLMES RESIDENCE

782 Felder Ave
Montgomery, AL 36106

EVELYN PIERCE DESIGN STUDIO

1149 3rd Street, NE
Washington, DC 20002
T: 334.332.8489

HOLMES RESIDENCE

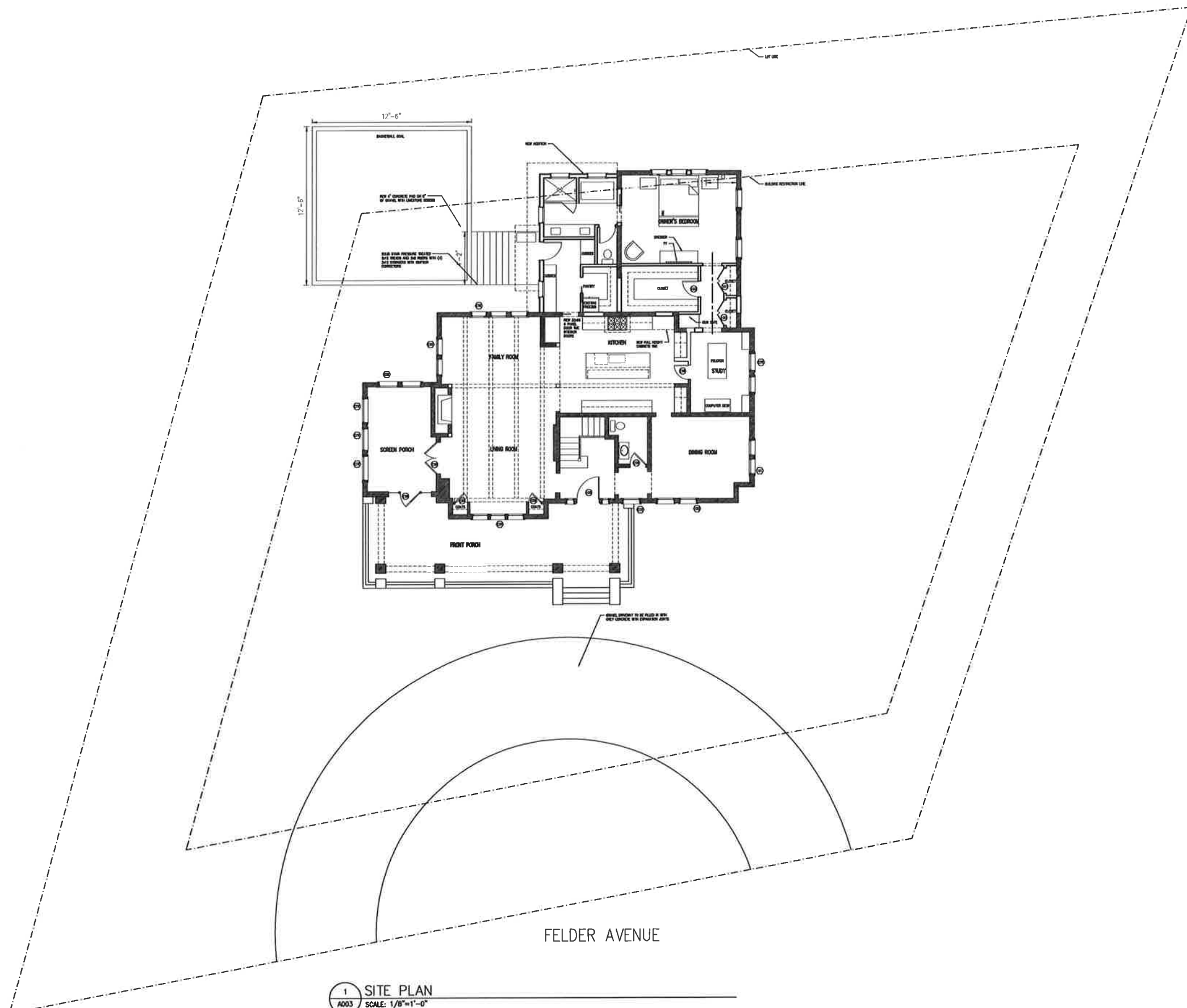
782 FELDER AVENUE
MONTGOMERY, AL 36106

COVER SHEET

ISSUED:

2020.11.23	SCHEMATIC DESIGN
2021.01.29	SCHEMATIC DESIGN 3
2021.03.11	SCHEMATIC DESIGN 4
04.05.21	HISTORIC COMMITTEE REVIEW

A001



1 SITE PLAN
A003 SCALE: 1/8"=1'-0"

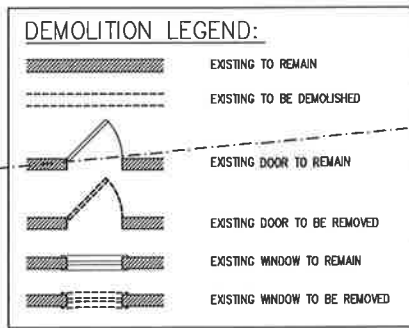
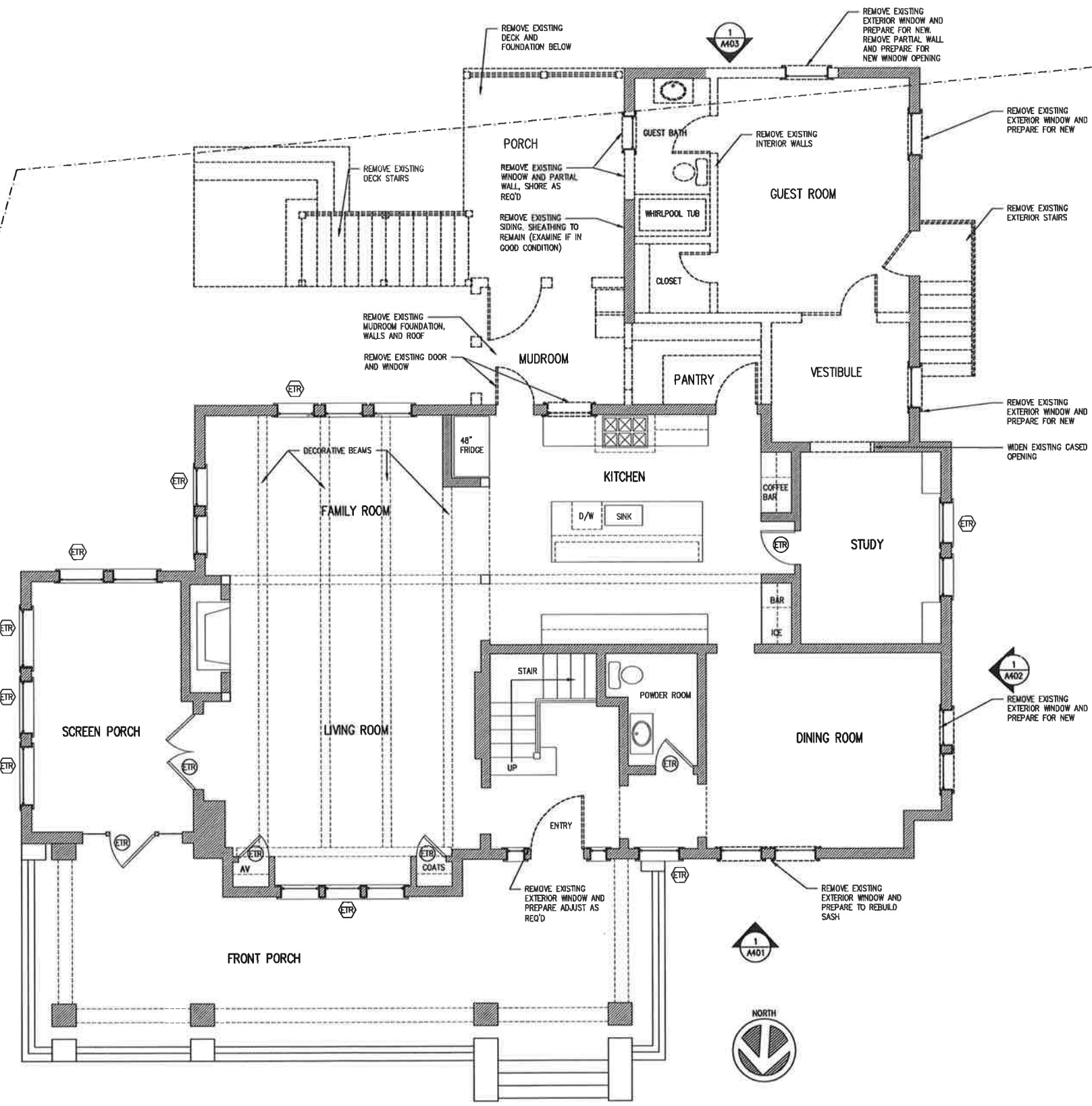
EVELYNPIERCE DESIGN STUDIO

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Washington, D.C. 20002
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HOLMES
RESIDENCE
782 FELDER AVENUE
MONTGOMERY, AL 36106

DRAWING:	PROPOSED SITE PLAN
ISSUED:	
2020.11.23	SCHEMATIC DESIGN
2021.01.29	SCHEMATIC DESIGN 3
2021.03.11	SCHEMATIC DESIGN 4
04.05.21	HISTORIC COMMITTEE REVIEW

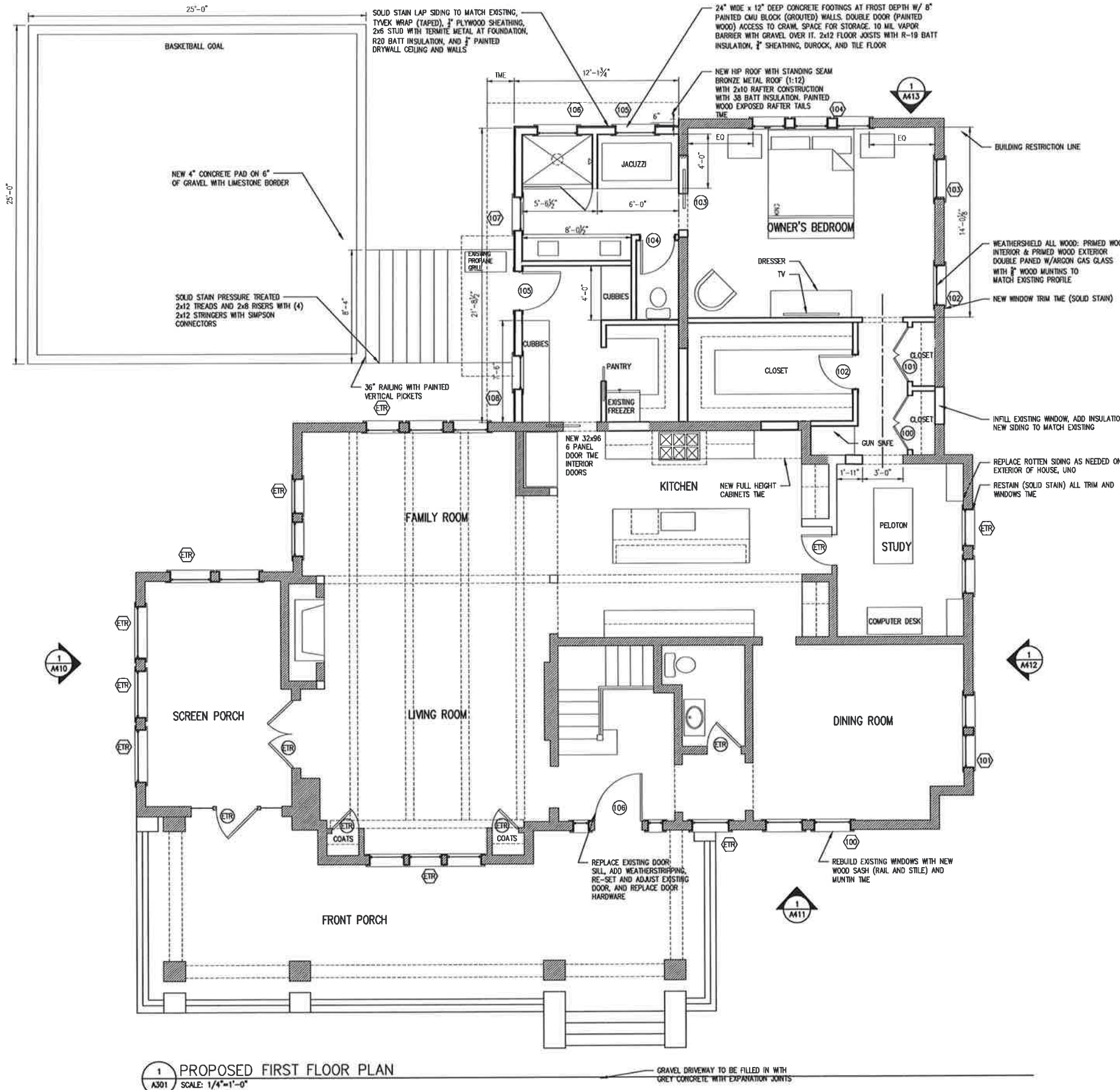
A003



- DEMOLITION NOTES:**
(REMOVE ANY NOTES NOT APPLICABLE TO YOUR PROJECT)
1. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS & METHODS, JOB SAFETY, & CONFORMANCE TO CODES
 2. GENERAL CONTRACTOR SHALL BRING TO ARCHITECT'S OR OWNER'S ATTENTION ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWING INTENT
 3. REMOVE ALL UNUSED PLUMBING LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 4. REMOVE ALL UNUSED ELECTRICAL LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 5. LOCATE ALL WATER SHUT-OFFS AND CUT OFF TO ALL PLUMBING FIXTURES TO BE DEMOLISHED
 6. REMOVE SUPPLY, VENT, AND WASTE LINES IN WALLS TO BE DEMOLISHED AND CAP
 7. REMOVE & REPLACE ALL DETERIORATED CLAPBOARD, RAKES, SOFFITS, AND ASSOCIATED TRIM
 8. CONFIRM WITH OWNER BEFORE REMOVING ANY SHRUBBERY OR PLANTS.
 9. REMOVE SOIL AS REQUIRED TO ALLOW 6" GRAVEL BASE BELOW SLABS
 10. REMOVE AND DISPOSE OF ENTIRE RADIANT HEATING SYSTEM
 11. SALVAGE ALL EXISTING WINDOWS BEING REMOVED FOR POSSIBLE REUSE
 12. SALVAGE ALL EXISTING DOORS BEING REMOVED FOR POSSIBLE REUSE
 13. REMOVE WINDOW AND FRAME AS NOTED ON PLAN - INFILL OPENING TO MATCH EXISTING
 14. REMOVE DOOR AND FRAME AS NOTED ON PLAN - INFILL OPENING TO MATCH EXISTING
 15. REMOVE ALL EXISTING CASING ON EXTERIOR DOORS AND WINDOWS AND REPLACE PER DRAWINGS
 16. REMOVE EXISTING COPPER GUTTERS AND DOWNSPOUTS AS NECESSARY AND SAVE FOR REINSTALLATION
 17. REMOVE FLOOR AND SALVAGE FOR PATCHING OTHER AREAS
 18. REMOVE ALL FINISHES TO STUDS AND SUBFLOOR - SALVAGE OLD FIXTURES FOR POSSIBLE REUSE.
 19. REMOVE WINDOW AND PREP FOR DOOR.

1 EXISTING FIRST FLOOR PLAN
A201 SCALE: 1/4"=1'-0"

DRAWING:	EXISTING FIRST FLOOR PLAN
ISSUED:	2020.11.23 SCHEMATIC DESIGN
	2021.01.29 SCHEMATIC DESIGN 3
	2021.03.11 SCHEMATIC DESIGN 4
	04.05.21 HISTORIC COMMITTEE REVIEW



CONSTRUCTION LEGEND:

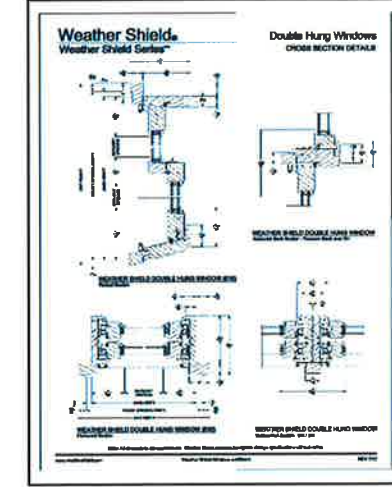
- EXISTING WALL TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING WINDOW TO REMAIN
- NEW STUD WALL: 2x6 @ 16" O.C. EXT WALLS, U.N.O., 2x4 @ 16" O.C. INT. WALLS, U.N.O.
- POURED CONCRETE
- NEW DOOR
- NEW WINDOW
- FRAMING DIMENSIONS (TO STUD OR MASONRY BEARING, U.N.O.)
- FINISH DIMENSION

- CONSTRUCTION NOTES:**
- FINISHED GRADES ARE INDICATED TO SHOW DESIGN INTENT. GENERAL CONTRACTOR SHALL DETERMINE CUT/FILL REQUIREMENTS
 - CONTRACTOR TO UTILIZE TREE PROTECTION MEASURES AS REQUIRED.
 - ARCH ELEVATION 100'-0" = 351.7' PER SURVEY

WEATHER SHIELD

Weather Shield Series

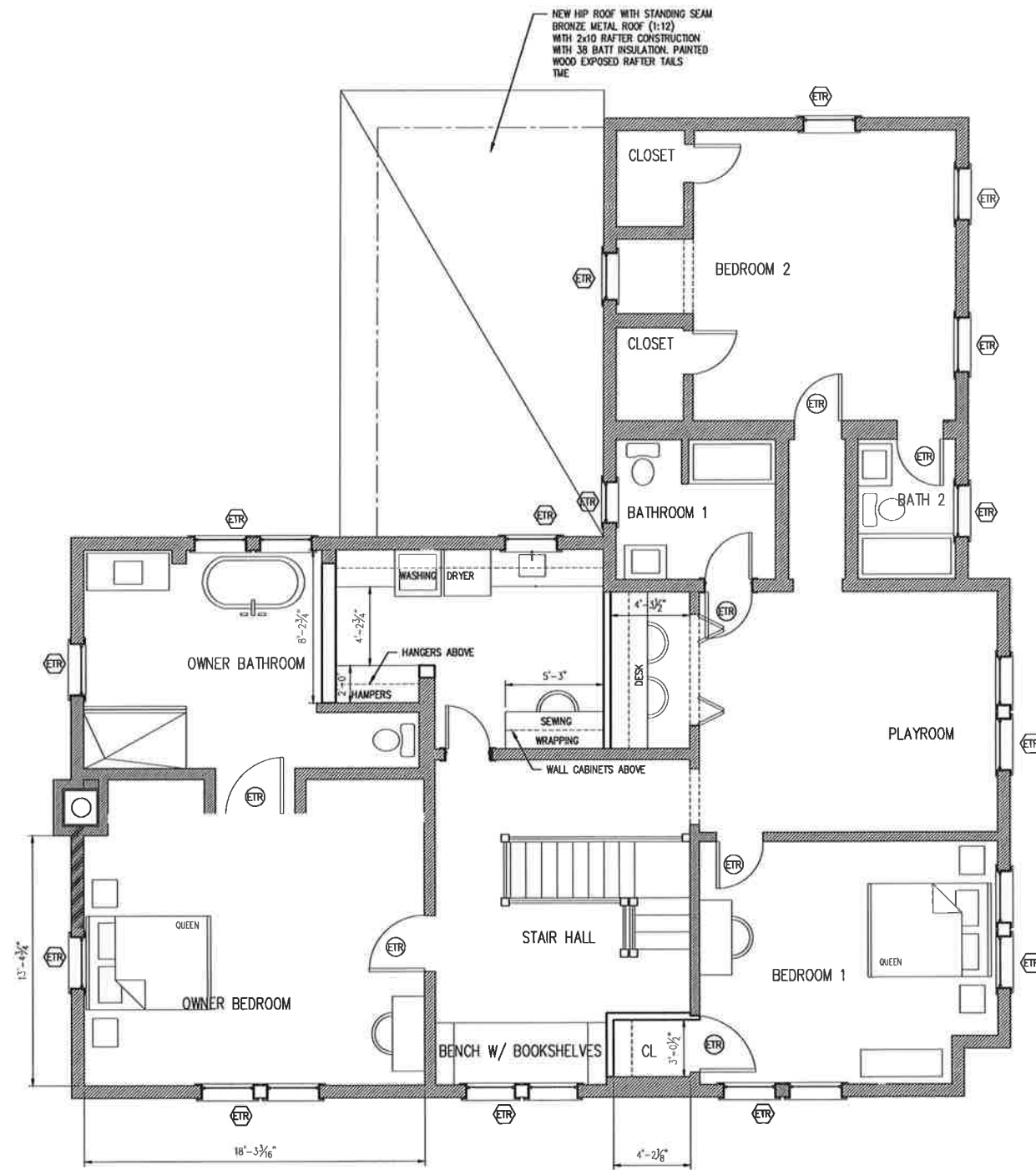
Item	Description	Quantity	Unit
1	Weather Shield Series		
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100	Weather Shield Series		



1 PROPOSED FIRST FLOOR PLAN
A301 SCALE: 1/4"=1'-0"

DRAWING: PROPOSED FIRST FLOOR PLAN - OPTION A

ISSUED:	DATE	DESCRIPTION
2020.11.23	2020.11.23	SCHEMATIC DESIGN
2021.01.29	2021.01.29	SCHEMATIC DESIGN 3
2021.03.11	2021.03.11	SCHEMATIC DESIGN 4
04.05.21	04.05.21	HISTORIC COMMITTEE REVIEW

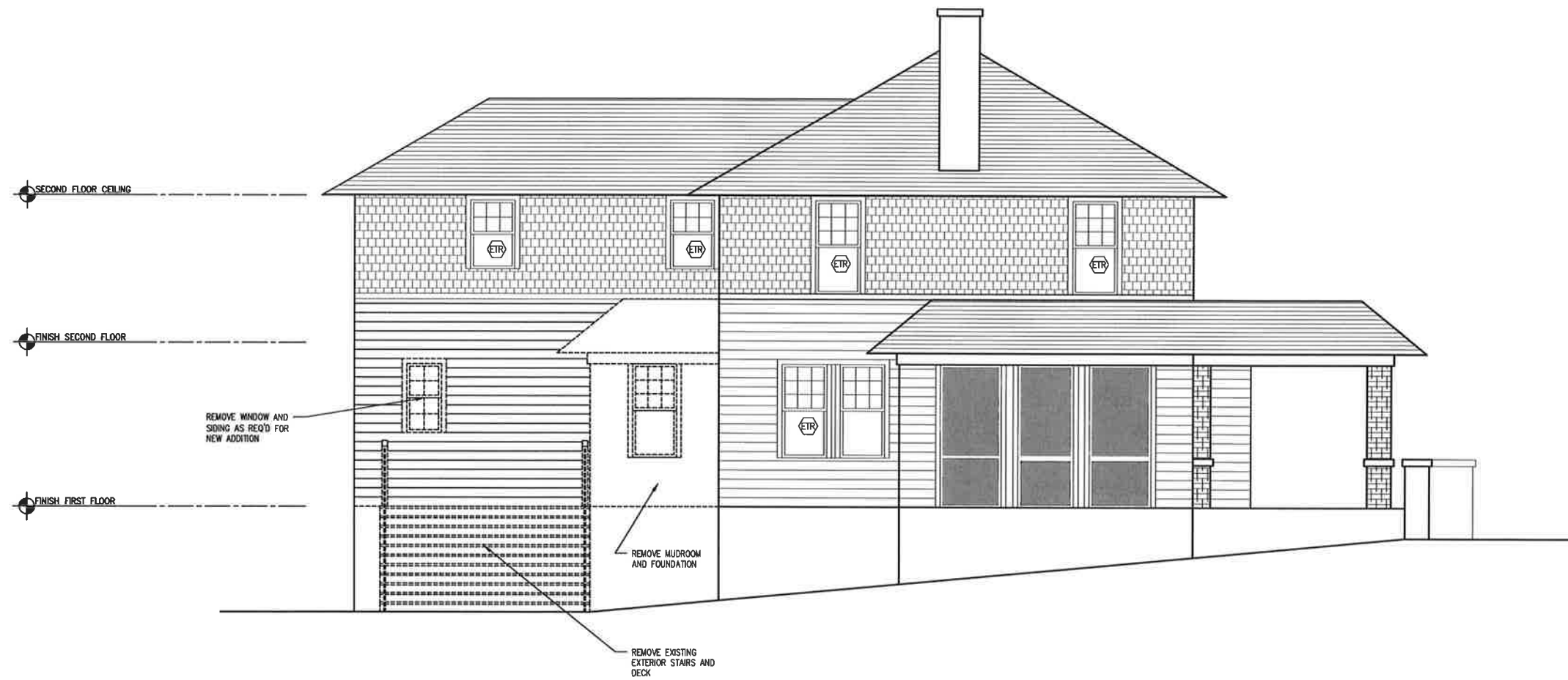


CONSTRUCTION LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING WINDOW TO REMAIN
- NEW STUD WALL: 2x6 @ 16" O.C. EXT WALLS, U.N.O., 2x4 @ 16" O.C. INT. WALLS, U.N.O.
- POURED CONCRETE
- NEW DOOR
- NEW WINDOW
- FRAMING DIMENSIONS (TO STUD OR MASONRY BEARING, U.N.O.)
- FINISH DIMENSION

- CONSTRUCTION NOTES:**
1. FINISHED GRADES ARE INDICATED TO SHOW DESIGN INTENT. GENERAL CONTRACTOR SHALL DETERMINE CUT/FILL REQUIREMENTS
 2. CONTRACTOR TO UTILIZE TREE PROTECTION MEASURES AS REQUIRED.
 3. ARCH ELEVATION 100'-0" = 351.7' PER SURVEY

1 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



1 EXISTING EAST ELEVATION
 A400 SCALE: 1/4"=1'-0"

EVELYNPIERCE DESIGN STUDIO
 1149 2nd Street NE
 Washington, DC 20002
 T: 334.352.8489

HOLMES
 RESIDENCE
 782 ELDER AVENUE
 MONTGOMERY, AL 36106

DRAWING:	EXISTING EAST ELEVATION
ISSUED:	2020.11.23 SCHEMATIC DESIGN
	2021.01.29 SCHEMATIC DESIGN 3
	2021.03.11 SCHEMATIC DESIGN 4
	03.29.21 HISTORIC COMMITTEE REVIEW

A400

SECOND FLOOR CEILING

FINISH SECOND FLOOR

FINISH FIRST FLOOR



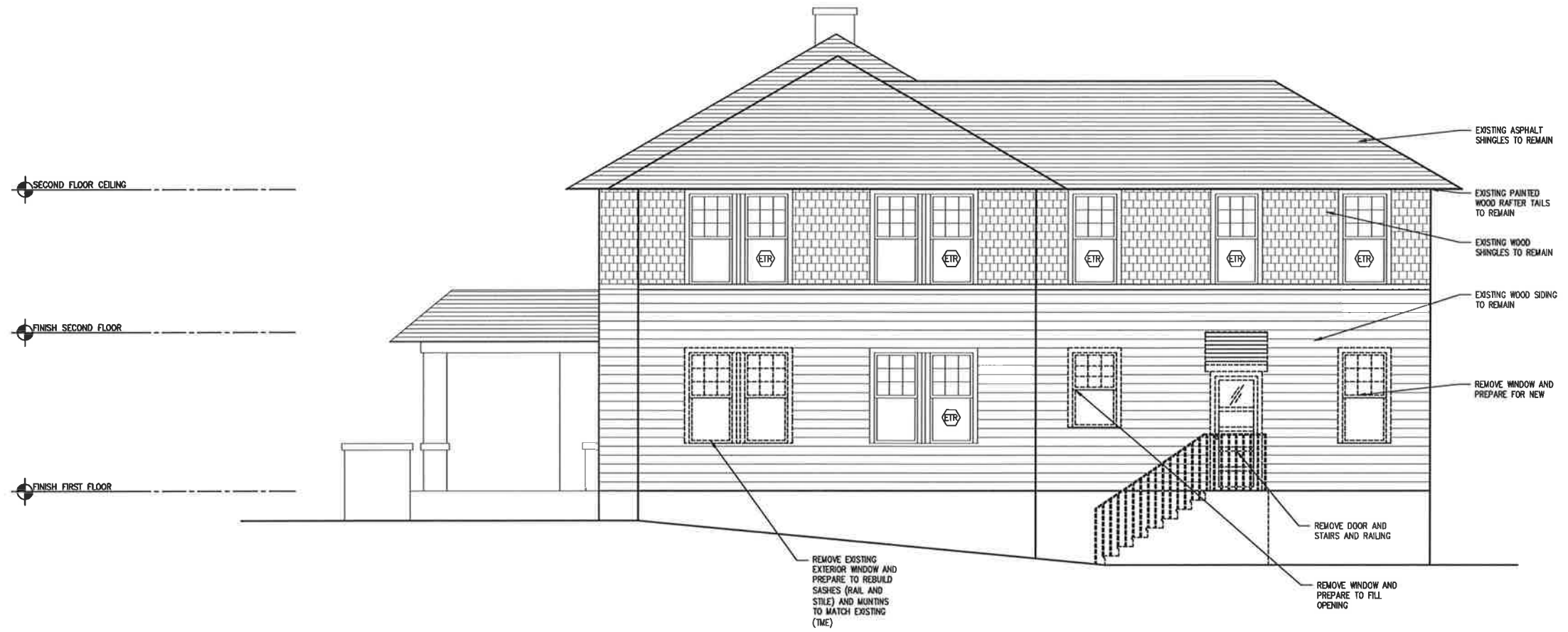
1 EXISTING NORTH ELEVATION
 A401 SCALE: 1/4"=1'-0"

EVELYNPIERCE DESIGN STUDIO
 1149 3rd Street, NE
 Washington, DC 20002
 T: 334.332.6489

HOLMES
 RESIDENCE
 782 FELDER AVENUE
 MONTGOMERY, AL 36106

DRAWING:	EXISTING NORTH ELEVATION
ISSUED:	
2020.11.23	SCHEMATIC DESIGN
2021.01.29	SCHEMATIC DESIGN 3
2021.03.11	SCHEMATIC DESIGN 4
03.29.21	HISTORIC COMMITTEE REVIEW

A401



EVELYNPIERCE DESIGN STUDIO
 1149 3rd Street, NE
 Washington, D.C. 20002
 T: 334.332.8489

HOLMES
 RESIDENCE
 7822 FELDER AVENUE
 MONTGOMERY, AL 36106

DRAWING:	EXISTING WEST ELEVATION
ISSUED:	
2020.11.23	SCHEMATIC DESIGN
2021.01.29	SCHEMATIC DESIGN 3
2021.03.11	SCHEMATIC DESIGN 4
03.29.21	HISTORIC COMMITTEE REVIEW

1 EXISTING WEST ELEVATION
 A402 SCALE: 1/4"=1'-0"

A402

SECOND FLOOR CEILING

FINISH SECOND FLOOR

FINISH FIRST FLOOR



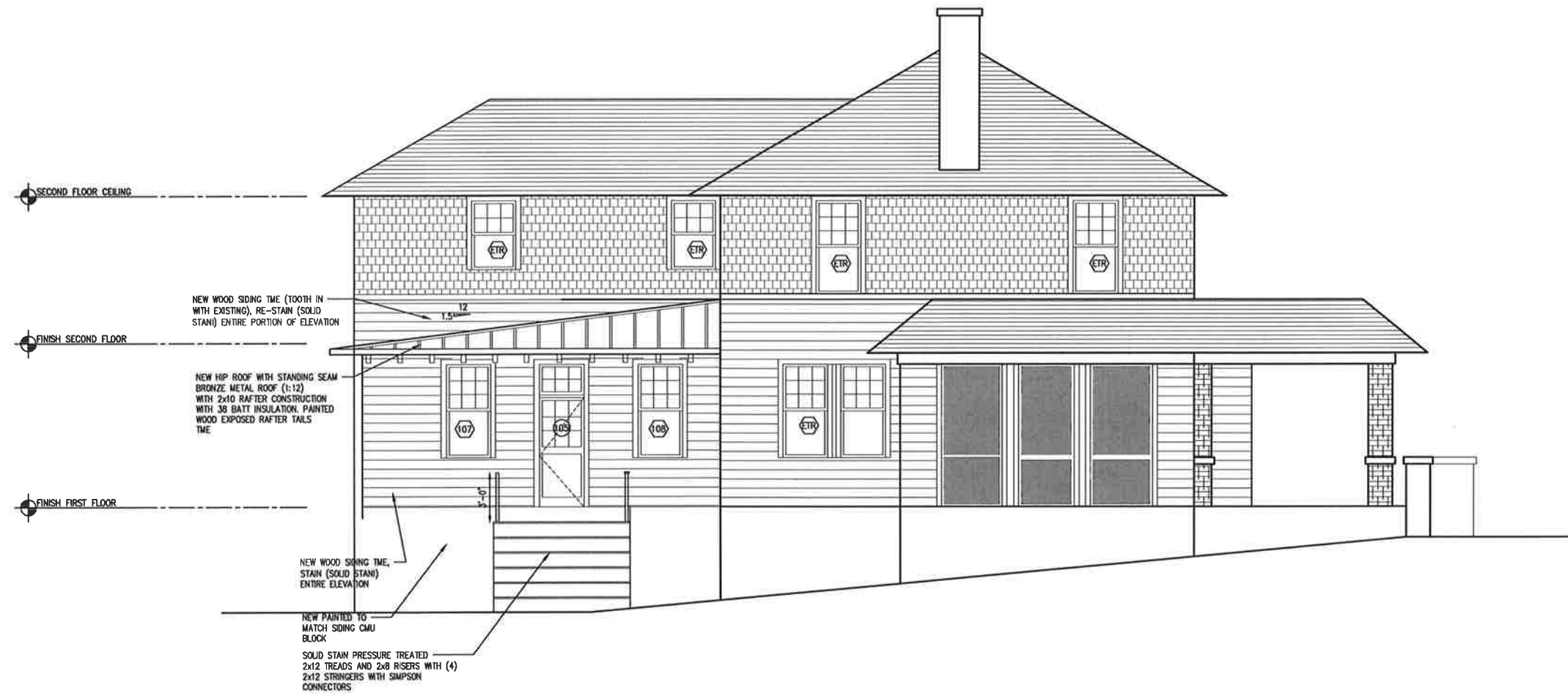
1 EXISTING SOUTH ELEVATION
 A403 SCALE: 1/4"=1'-0"

EVELYNPIERCE DESIGN STUDIO
 1149 3rd Street, NE
 Washington, DC 20002
 T: 334.332.8489

HOLMES
 RESIDENCE
 782 FELDER AVENUE
 MONTGOMERY, AL 36106

ISSUED:	2020.11.23	SCHMATIC DESIGN
ISSUED:	2021.01.29	SCHMATIC DESIGN 3
ISSUED:	2021.03.11	SCHMATIC DESIGN 4
ISSUED:	03.29.21	HISTORIC COMMITTEE REVIEW

A403



1 PROPOSED EAST ELEVATION
 A410 SCALE: 1/4"=1'-0"

EVELYNPIERCE DESIGN STUDIO

HOLMES
 RESIDENCE
 786 FEDERAL AVENUE
 MONTGOMERY, AL 36108

DRAWING:	
ISSUED:	PROPOSED EAST ELEVATION
2020.11.23	SCHEMATIC DESIGN
2021.01.29	SCHEMATIC DESIGN 3
2021.03.11	SCHEMATIC DESIGN 4
04.05.21	HISTORIC COMMITTEE REVIEW

A410

1149 3rd Street, NE
 Washington, DC 20002
 T: 334.332.6489

SECOND FLOOR CEILING

FINISH SECOND FLOOR

FINISH FIRST FLOOR



REPLACE EXISTING DOOR SILL, ADD WEATHERSTRIPPING, RE-SET AND ADJUST EXISTING DOOR, AND REPLACE DOOR HARDWARE

REBUILD EXISTING WINDOWS WITH NEW WOOD SASH (RAIL AND STILE) AND MUNTIN TIE

1 PROPOSED NORTH ELEVATION
 A411 SCALE: 1/4"=1'-0"

EVELYNPIERCE DESIGN STUDIO

1149 3rd Street, NE
 Washington, DC 20002
 T: 334 332 8489

HOLMES
 RESIDENCE
 782 FELDER AVENUE
 MONTGOMERY, AL 36106

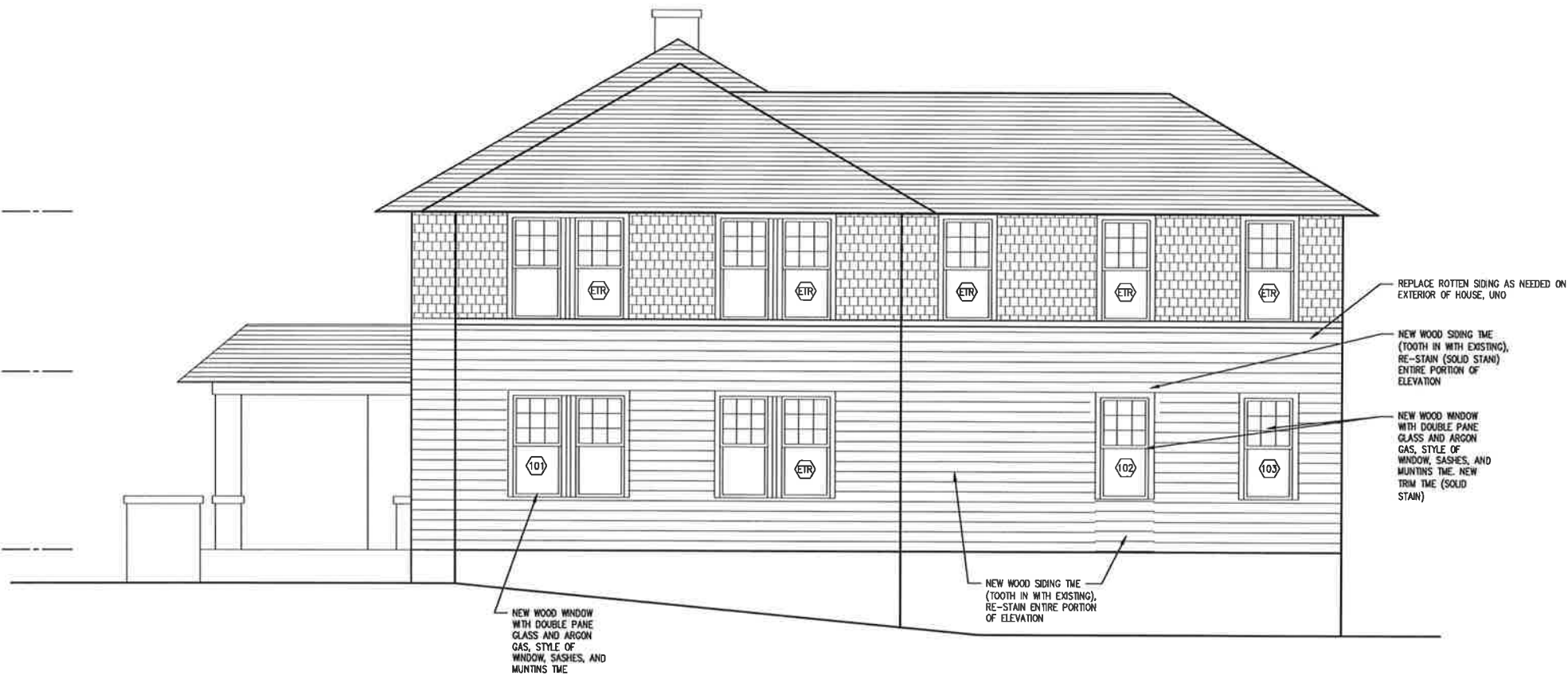
ISSUED:	PROPOSED NORTH ELEVATION
2020.11.23	SCHEMATIC DESIGN
2021.01.29	SCHEMATIC DESIGN 3
2021.03.11	SCHEMATIC DESIGN 4
04.05.21	HISTORIC COMMITTEE REVIEW

A411

SECOND FLOOR CEILING

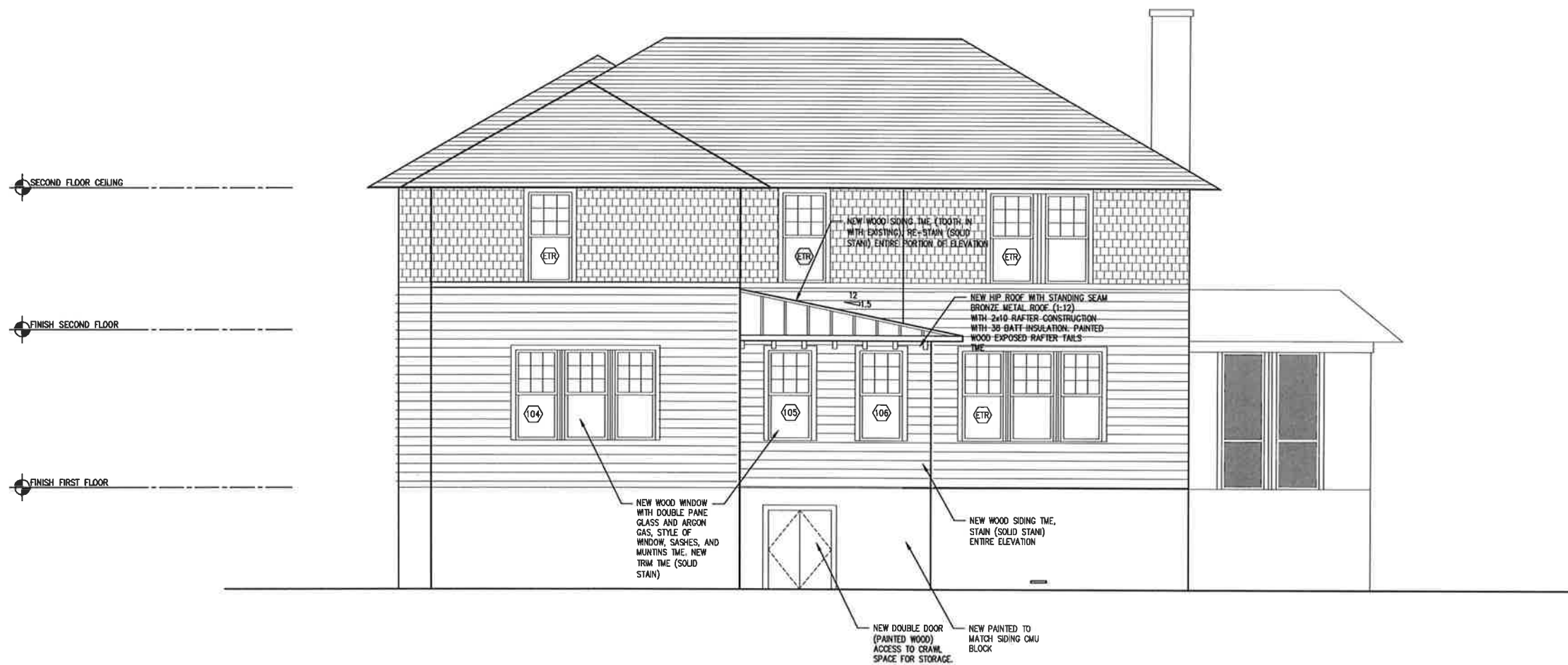
FINISH SECOND FLOOR

FINISH FIRST FLOOR



1 PROPOSED WEST ELEVATION
 A412 SCALE: 1/4"=1'-0"

DRAWING:	PROPOSED WEST ELEVATION
ISSUED:	2020.11.23 SCHEMATIC DESIGN
	2021.01.29 SCHEMATIC DESIGN 3
	2021.03.11 SCHEMATIC DESIGN 4
	04.05.21 HISTORIC COMMITTEE REVIEW



1 PROPOSED SOUTH ELEVATION
 A413 SCALE: 1/4"=1'-0"

EVELYNPIERCE DESIGN STUDIO
 1149 3rd Street, NE
 Washington, DC 20002
 T. 334.532.8489

HOLMES
 RESIDENCE
 782 FELDER AVENUE
 MONTGOMERY, AL 36106

DRAWING:	PROPOSED SOUTH ELEVATION
ISSUED:	2020.11.23 SCHEMATIC DESIGN
	2021.01.29 SCHEMATIC DESIGN 3
	2021.03.11 SCHEMATIC DESIGN 4
	04.05.21 HISTORIC COMMITTEE REVIEW

A413