

A G E N D A

Architectural Review Board

August 28, 2018

Council Auditorium, City Hall

103 North Perry Street

ARCHITECTURAL REVIEW BOARD MEMBERS

Ms. Elizabeth Brown, Chairman

Ms. Katie Williams, Vice-Chairman

Mr. David Payne

Mr. Barrett Penney

Rev. Willie Welch

Mr. Cedric Campbell

Mr. John Foshee

Mr. Jon Hayden

LAND USE DIVISION

I. Approval of the Actions from the July 24, 2018 meeting

II. Full Review Items

<u>Item</u>	<u>Petitioner</u>	<u>Historic District</u>	<u>Location</u>
1.	Robert Bryant	Winona—Capitol Heights	2215 Winona Avenue
2.	Jason Oswalt	St. Charles—Capitol Heights	2140 St. Charles Avenue
3.	James & Kathy Fisher	Capitol Parkway—Capitol Heights	106 S. Capitol Parkway
4.	Paula Weiss	Garden District	320 Bellinger Lane
5.	Karen Benton	Old Cloverdale	654 Cloverdale Road
6.	Karen LaPlatny	Old Cloverdale	723 Thorn Place
7.	David Brandt	Lower Commerce	79 Commerce Street
8.	Kenny Roberts	Garden District	1604 Gilmer Avenue
9.	Steve Brickley	Old Cloverdale	1827 Ridge Avenue #3
10.	Leon Harris	Cloverdale Idlewild	3123 Norman Bridge Road

III. Other Business/Announcements

a. Question about a proposed material

**The next meeting of the Architectural Review Board will be on
September 25, 2018 at 5:30 p.m.**

1. PRESENTED BY: Robert Bryant

SUBJECT: Request for approval of accent paint color for the property located at 2215 Winona Avenue (Winona-Capitol Heights).

REMARKS: The petitioner is requesting permission to install an original screen door painted in an accent color, Codman Claret (Richard's). The house is painted Bayberry Wax and with trim and sashes painted Warren Tavern. Codman Claret is the suggested accent color in this scheme. As colors do not copy well, a sample will be provided at the meeting.

STANDARD OF REVIEW: Section 15-127 of the City Code states that "the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

DEPARTMENT COMMENTS

- The Board has approved accent colors, no objection.

COMMENTS _____

ACTION _____



2215 Winona Avenue



Rain Barrel



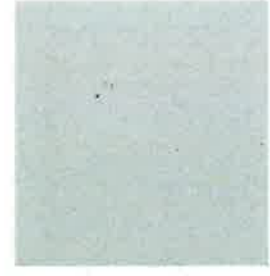
Parsnip



Maple



Portobello



Historic Morning Dew



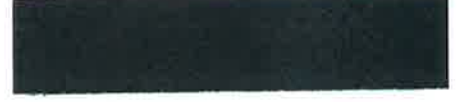
Melville



Rawhide



Portsmouth Spice



Gedney Green



Quincy Granite



Polished Pewter



Winter Meadow

Andover Cream



Rundlet Peach



Palomino



Sayward Pine



Bargeboard Brown



Covered Bridge



Sandy Bluff



Cummings Oak



Knightley Straw



Pumpkin



Coastal Sand



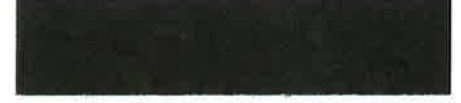
Toffee



Newbury Moss



Shaker Red



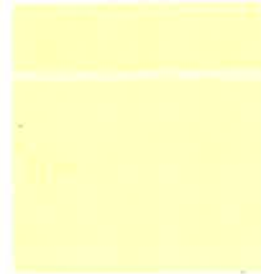
Baize



Jewett White



Nankeen



Lady Banksia



Flaxen Field



Bayberry Wax



Warren Tavern



Wooden Nutmeg



Burnt Umber



Codman Claret

All colors are affected by age, light, heat and printing processes. Chips on card may vary in color or finish from the actual paint in the container. To achieve clarity and depth of color, some colors may require multiple coats. Colors shown are custom tints and may be slightly higher in price.

2. PRESENTED BY: Jason Oswalt

SUBJECT: Request for approval of outbuilding window alteration and replacement for the property located at 2140 St. Charles Avenue (St. Charles-Capitol Heights).

REMARKS: The petitioner is requesting permission to replace a shed window as part of overall renovations to the outbuilding. The existing window is a 6 lite wood awning window facing the house approximately 36" wide and 32" high with trim. The proposed replacement is a vinyl single hung insulated window, 24" wide and 36" high, trimmed to match. The shed is not visible from the street. The petitioner is also making other repairs to the roof, siding and door.

STANDARD OF REVIEW: Section 15-127 of the City Code states that "the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

DEPARTMENT COMMENTS

- The Board has been less rigid on material standards for outbuildings.

COMMENTS _____

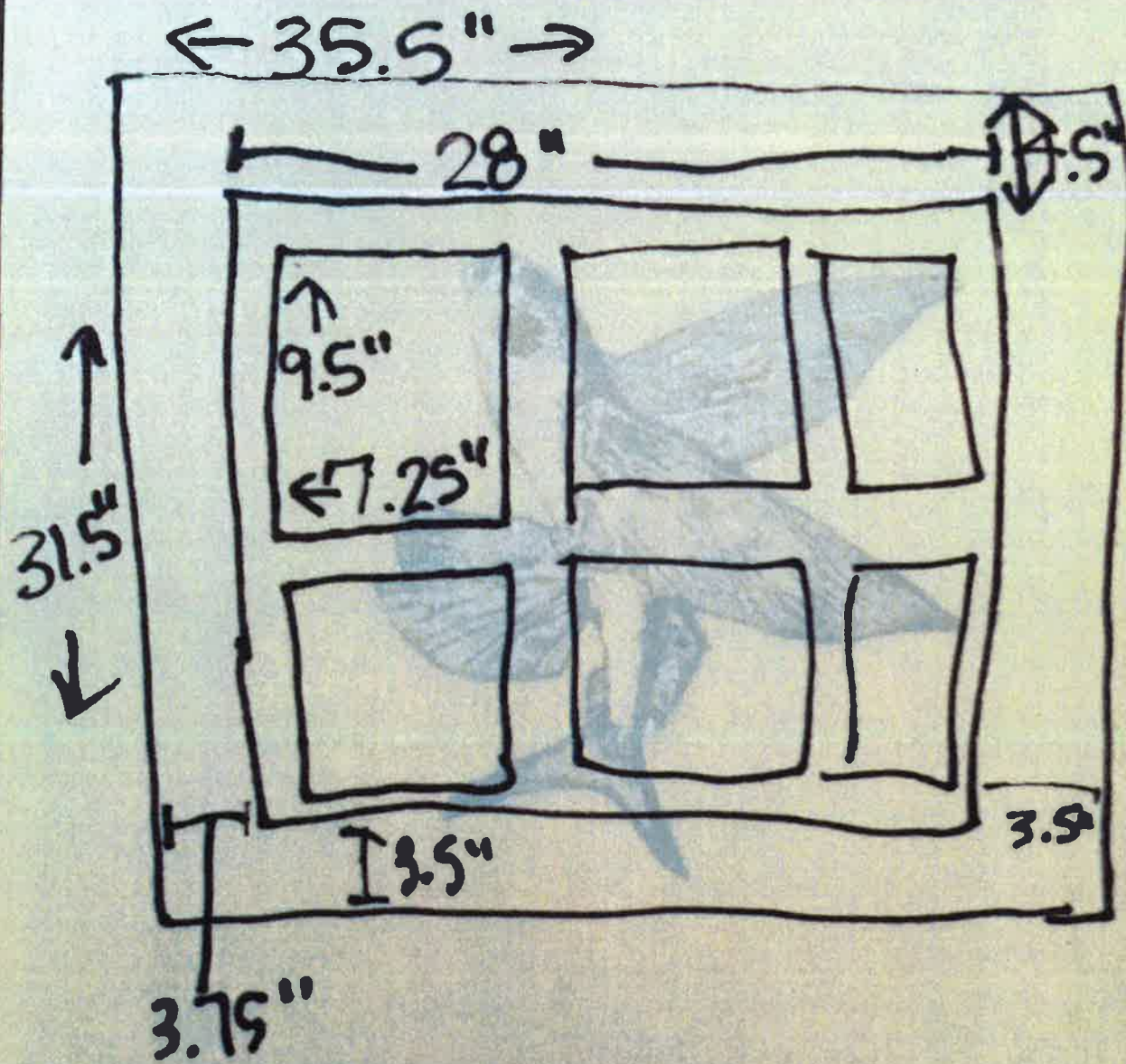
ACTION _____



2140 St. Charles Avenue

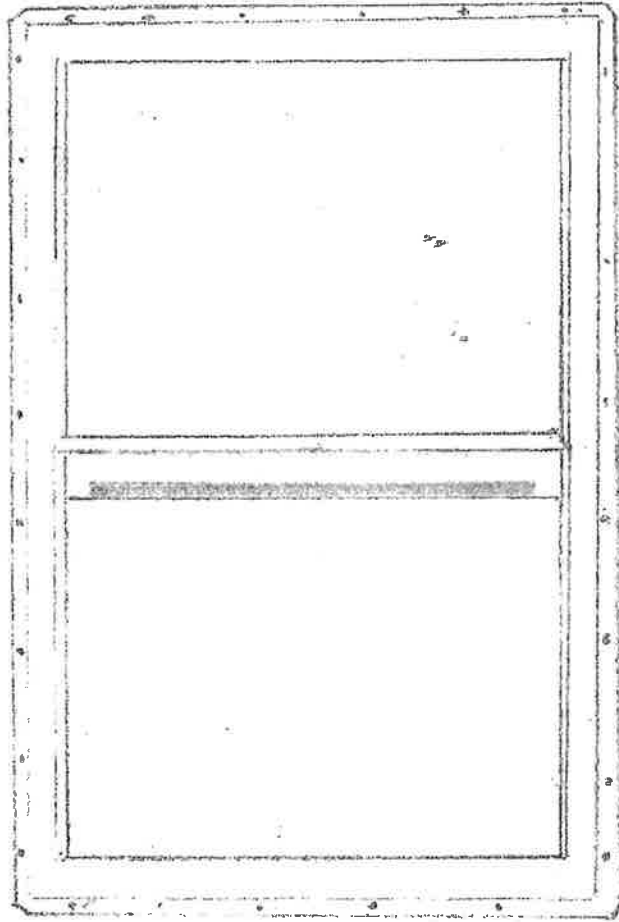






COPY

23.5 in x 35.0 single hung Insulated-White



Jason my printer would not print so I had to draw
this vinyl window - single hung insulated, white

3. PRESENTED BY: James & Kathy Fisher

SUBJECT: Request for approval of a rear yard fence for the property located at 106 South Capitol Parkway (Capitol Parkway—Capitol Heights).

REMARKS: The petitioner is requesting permission to install a 6' wood dog eared privacy fence from the rear corners of the house to the side property lines to enclose the rear yard.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

DEPARTMENT COMMENTS

- The Board has routinely approved rear yard privacy fences, and has generally only taken issue with proposals that places the fence near the front of the house.

COMMENTS _____

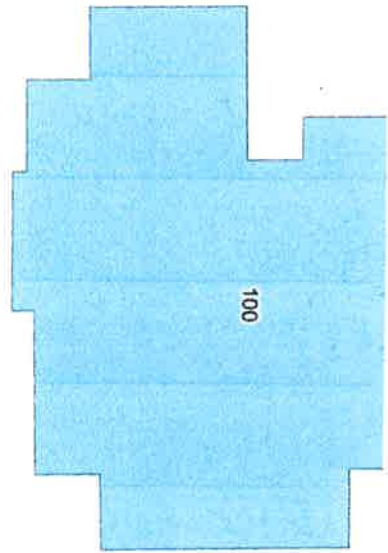
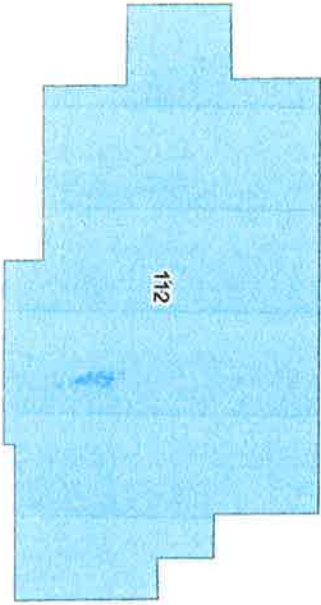
ACTION _____



106 South Capitol Parkway



106 South Capitol Parkway



1 inch = 25 feet

S CAPITOL PKWY

509

4. PRESENTED BY: Paula Weiss

SUBJECT: Request for approval of a front yard fence and roof extension for the property located at 320 Bellinger Lane (Garden District).

REMARKS: The petitioner is requesting permission to install a wood picket fence in the front and side yard property line in place of an existing wire and wood post fence. Pickets will have a straight point, 36" or 42" high (above 36" requires a variance), 5 1/2 board with 2" spacing based on a section of existing fence. The front fence will be set back from the front property line to accommodate planting shrubs or roses outside the fence.

The proposal also includes extending an 8'x10' section of roof line to cover the front door. The roof would be supported by 4"x6" posts. All elements to be shingled and painted to match the existing structure.

STANDARD OF REVIEW: Section 15-127 of the City Code states that "the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

DEPARTMENT COMMENTS

- In the proposed picket pattern, a fence taller than 36" would require a variance from the Board of Adjustment.

COMMENTS _____

ACTION _____



320 Bellinger Lane



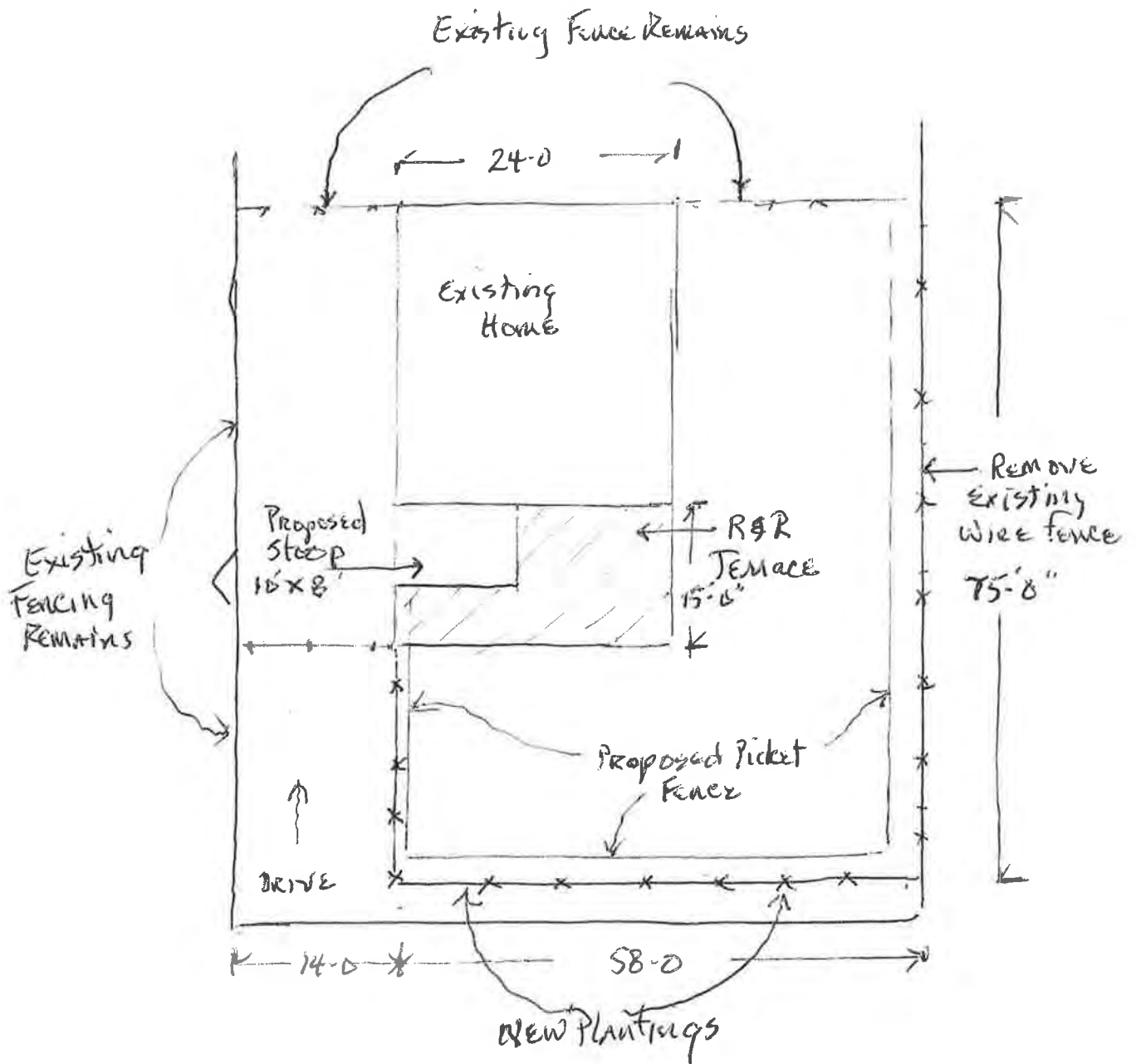
320 Bellinger Lane



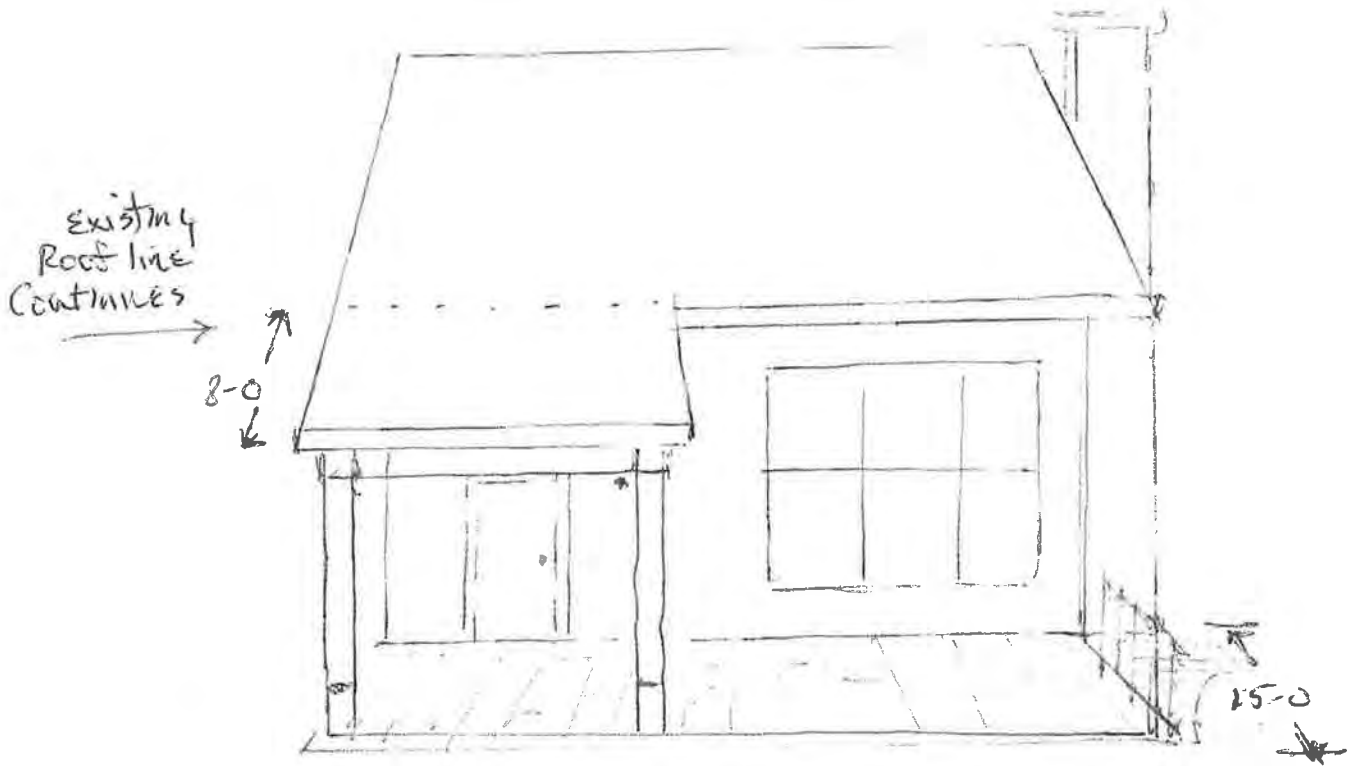
320 Bellinger Lane



Paula Weiss
320 Bellinger Lane
Montgomery AL 36104



320 BELLINGER LANE
MONTGOMERY AL. 36104



16-0 14-0

Structure will be wood frame to match existing home.
Arch. shingle roof to match as well as "Sailcloth" paint to match.
Picket Fence will be constructed of pressure treated wood
5 1/2" wide pickets @ 2" spacing 42" ± Tall 36
Painted "Sailcloth" to match trim on the house.

4x6 post

5. PRESENTED BY: Karen Benton

SUBJECT: Request for approval of tree removal and replacement for the property located at 654 Cloverdale Road (Old Cloverdale).

REMARKS: The petitioner is requesting permission to remove an approximately 4.5' diameter maple tree from the front yard that is in decline. The tree has been experiencing considerable die back and has some large, hollow limbs. The petitioner proposes replacing the tree with a magnolia grandiflora in the same general vicinity, 8-10' in heights, in November or December 2018.

STANDARD OF REVIEW: Section 15-127 of the City Code states that "the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

DEPARTMENT COMMENTS

- Urban Forester has no objection.

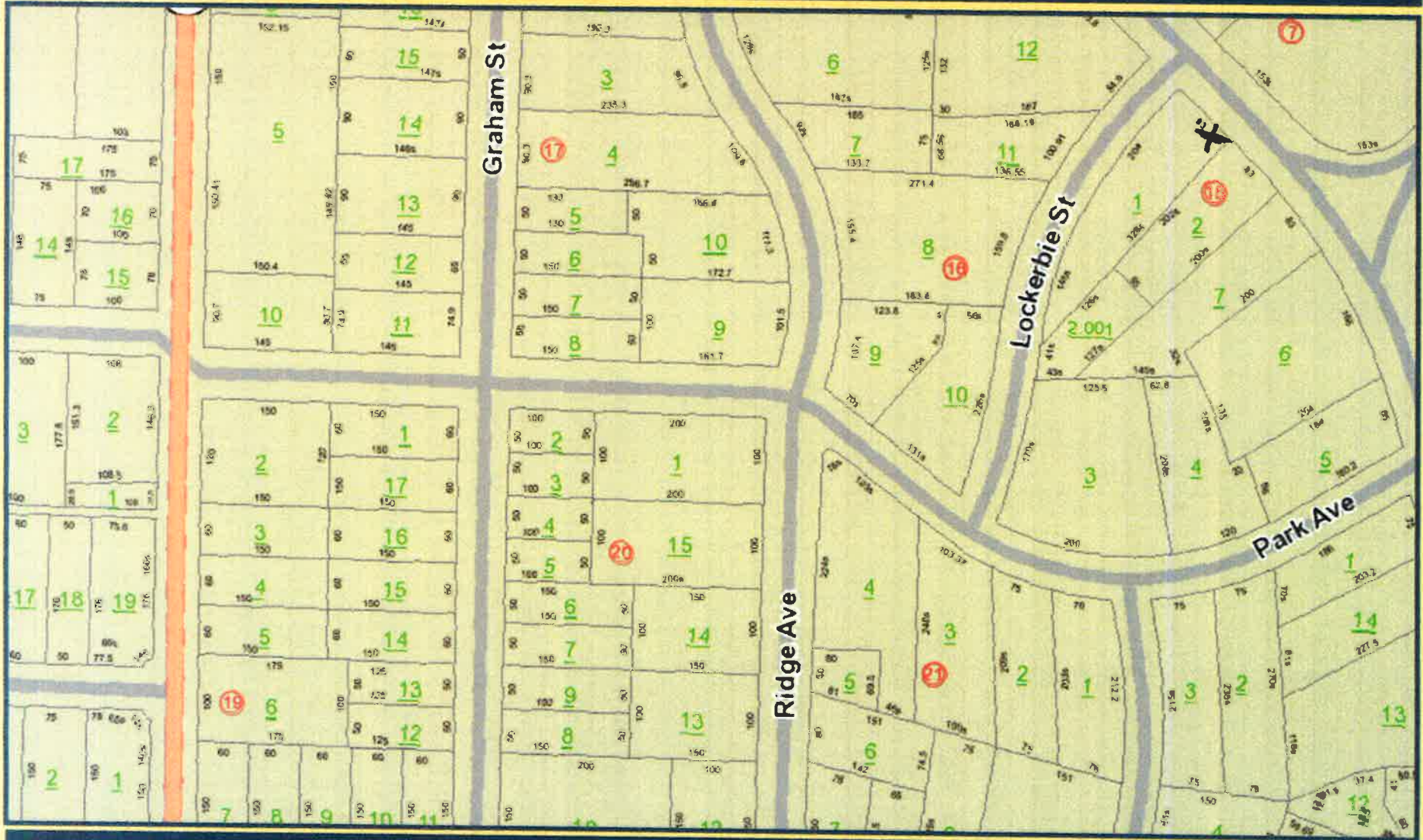
COMMENTS _____

ACTION _____

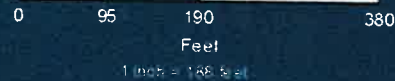


654 Cloverdale Road

654 Cloverdale Rd.



Map Produced Using the
City of Montgomery, Alabama
Internet Mapping Portal



Date, 7/16/2018

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Montgomery. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a Licensed Alabama Surveyor. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

6. PRESENTED BY: Karen LaPlatny

SUBJECT: Request for approval of privacy fence and patio for the property located at 723 Thorn Place (Old Cloverdale).

REMARKS: The petitioner is requesting permission to install a privacy fence on the west property line, from the existing fence between the property line and the house, to the rear corner of the property. The fence would replace an existing wire fence.

The petitioner is also requesting permission to install an interlocking paver patio with the accompanying landscape plan, which will largely be screened from the street by the existing fence with vegetation and house.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

DEPARTMENT COMMENTS

- The Board has routinely approved rear yard privacy fences.

COMMENTS _____

ACTION _____



723 Thorn Place

ELLEN ST

CLOVERDALE RD

704

712

726

736

744

1931

707

723

741

753

761

769

510

THORN PL

702

716

728

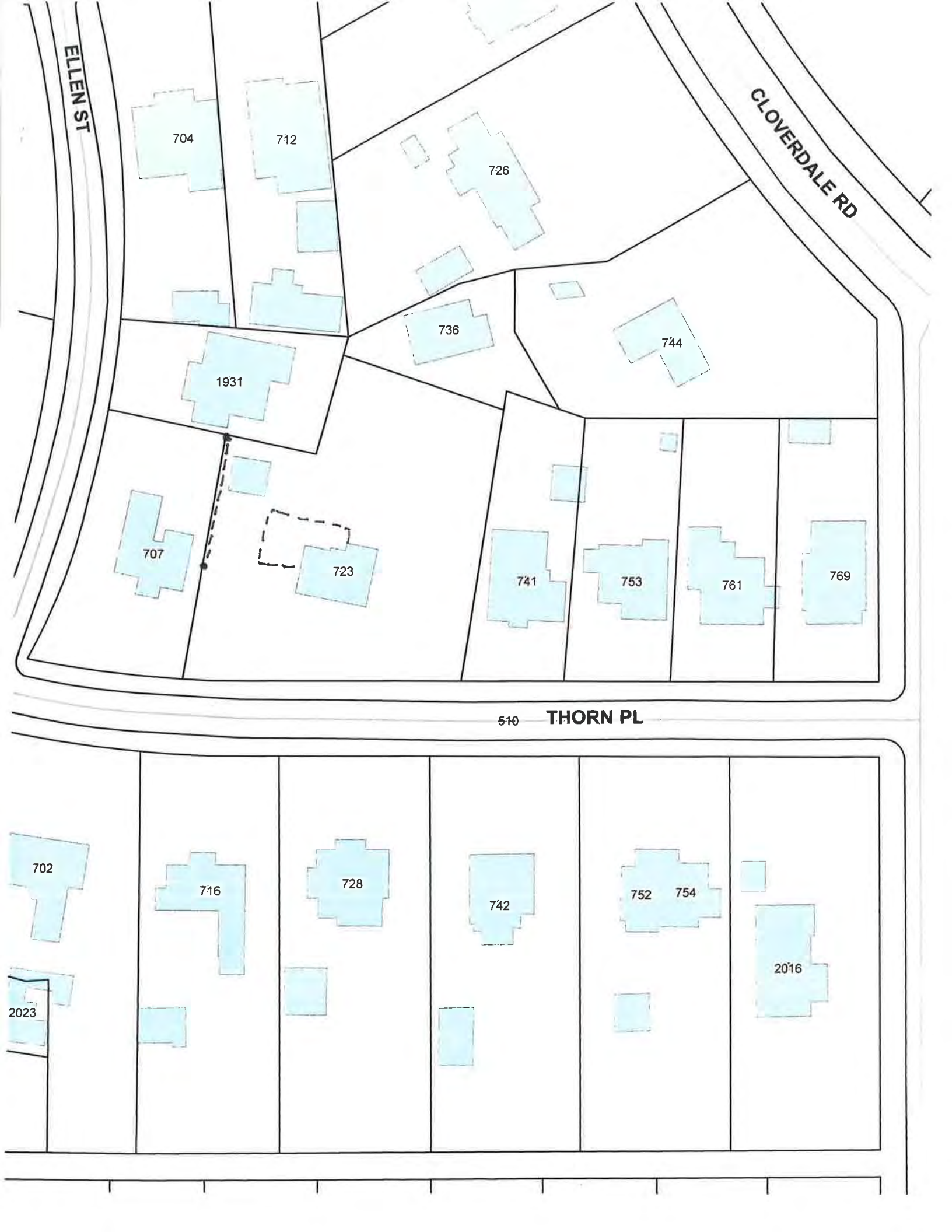
742

752

754

2016

2023



DISCUSS WINDOWS IN THE GARAGE WITH THE CLIENT

LARGE PLANTER WITH LEMON TREE. LANDSCAPE CONTRACTOR SHALL SUPPLY SAGEITTI DRIP.

WOODEN BENCH

LARGE PLANTER WITH LEMON TREE. THE LANDSCAPE CONTRACTOR SHALL SUPPLY SAGEITTI DRIP.

DISCUSS PLANTINGS IN THIS AREA AFTER THE CONSTRUCTION OF THE GARAGE AND DRIVE

- 7 BUNUS JAPONICA
JAPANESE BOXWOOD
- 6 FORSYTHIA INTERMEDIA
FORSYTHIA

NOTES:

- 1 NOTE CHANGE IN SCALE. THE FIRST DRAWING IS 1"=10'-0". THIS SHEET (R2) IS 1"=5'-0"
- 2 THIS SYMBOL DENOTES SMALL L.E.D. PATH LIGHTS. (HUGE OR EQUAL). THERE ARE 14 PATH LIGHTS ON THIS SHEET OF DRAWINGS
- 3 DISCUSS WITH THE CLIENT IF THE EDGE OF PLANTING BEDS WILL BE TRENCHED OR STEEL EDGING (1/2 GUAGE).
- 4 GRAVEL GARDEN PATHS IN THE VEGETABLE GARDEN AREA WILL BE CROWNED STONE #84-10. INSTALL STEEL EDGING (1/2 GAUGE) WHERE NEEDED
- 5 DISCUSS THE INTERLOCKING PAVEMENT TERRACE WITH THE CLIENT AND THE LANDSCAPE CONTRACTOR.

- 7 COMALTIUS FRAGRANS
TEA OLIVE

- 6 BUNUS JAPONICA
JAPANESE BOXWOOD

- 7 SPIRAEA CANTONIENSIS
OR BRIDAL WREATH SPIREA

Proposed box car drive on property line

- 2 LASERSTROEMIA INDICA VAR. "WITCHES"
CRAPPE MYRTLE VAR. "WITCHES". THE LANDSCAPE CONTRACTOR SHALL UP LIGHT THE BACK OF THESE TREES FROM 2 DIRECTIONS FOR A TOTAL OF 4 UP LIGHTS. THE LANDSCAPE CONTRACTOR SHALL HAVE A 5'-0" DIAMETER CIRCLE OF STRAIN AT THE DATE OF BOTH TREES. THE CLIENT IF THE CIRCLE WILL BE A STEEL EDGING (1/2 GAUGE) OR TRENCHED.

RJS
KSD

- 8 THUNIA ORIENTALIS VAR. "EMERALD GREEN"
EMERALD GREEN ARBORVITAE
- 55 SEDUM 'SP' VAR. "DANCING"
SEDUM VAR. "DANCING"
- REPAIRE EXISTING FENCE. DISCUSS WITH THE CLIENT IF ANY OF IT CAN BE REUSED
- 5 HYDRALOGIA FALCATA VAR. "LIME LIGHT"
LIME LIGHT HYDRALOGIA

LA PLATINES		
LANDSCAPE PLAN		
SCALE 1"=5'-0"	DATE 4/10/2016	SHEET 2 OF 5

7. PRESENTED BY: Fravert Services, David Brandt

SUBJECT: Request for approval of a new sign for the property located at 79 Commerce Street (Lower Commerce).

REMARKS: The petitioner is requesting permission to install a 3'6"x13.5 1/2" (48 SF) back panel with individually mounted, face lighted channel letters & logo. Only the letters and logo are illuminated. Sign will read "Strayer University".

STANDARD OF REVIEW: Section 15-127 of the City Code states that "the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

DEPARTMENT COMMENTS

- ARB guidelines state signs should not exceed 20 square feet of surface area. Lighting called for is top or ground lighting such as floods or spots, interior lighting if shielded.
- The Board has approved larger signs if they felt the scale was appropriate to the building.
- This is a new building, and approved a sign for Wet Willies next door at 23 square feet, solid face with halo lighting (shielded illumination from behind).

COMMENTS _____

ACTION _____



79 Commerce Street

Sign Permit Application

Attach to the completed ARB Application for Proposed Work

Please provide the information listed below. In addition, please include photographs of the building, a site plan or building elevation showing the location of the proposed signage, and a scaled, color drawing or picture of the proposed signage.

Name of Sign Owner: STRAYER UNIVERSITY
 Address of Applicant: ~~79 com~~ 133 WEST PARK DRIVE, B'HAM 35211
 Address of Sign Location: 79 COMMERCE ST.
 Type of Business: EDUCATION
 Contact Phone Number: (205) 278-9612
 Name of Sign Contractor: FRAVEET SERVICES
 Address of Sign Contractor: 133 W. PARK DR., B'HAM 35211 Phone: (205) 278-9612

Signage Dimensions and Lighting

Height (from ground level to top of sign) ___ feet ___ inches

Height (from ground level to bottom of sign) ___ feet ___ inches

Width of sign 13 feet 5.5 inches Single face Double face

Monument Freestanding Projecting
 Walls Sandwich Board Banner Other

Total square footage of Signage 38.9 square feet

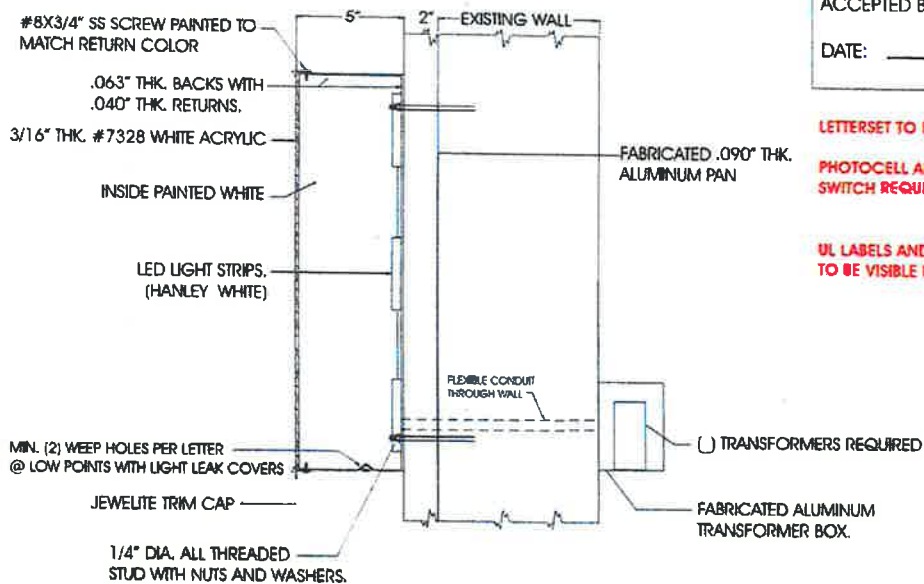
Describe the type of lighting to be used: INTERNAL LEDS INSIDE INDIVIDUAL LETTERS + LOGO.

How will the sign be mounted: ~~WALL~~ MASONRY ANCHORS

Sign materials (sample materials may be requested by the review board): ALUMINUM, ACRYLIC, VINYL

Linear foot frontage of principal building: ___ feet ___ inches
 Square footage of Existing Signage: ___ feet ___ inches N/A

Note: Signs should not exceed 20 square feet of surface area. Signs should be illuminated from top or ground lighting. Internal illumination, moving or flashing lights are not appropriate.



ACCEPTED BY: _____

DATE: _____

LETTERSET TO BE UL LISTED & LABELED.

PHOTOCELL AND DISCONNECT SWITCH REQUIRED.

UL LABELS AND DISCONNECT SWITCH TO BE VISIBLE FROM GROUND.

THIS SIGN TO BEAR UNDERWRITERS LABEL.

120VAC VOLTS REQUIRED

Suitable for Wet Locations

ALL ELECTRICAL COMPONENTS TO BE UL LISTED.

GENERAL NOTES:

ILLUMINATED LETTERSET LAYOUT.

FABRICATED ALUMINUM RETURNS PAINTED MP WHITE WITH A SMOOTH FINISH.

LOGO AND LETTER FACES TO BE #7328 WHITE ACRYLIC. FACES TO HAVE TRANSLUCENT VINYL TO MATCH PMS #200c BURGUNDY.

JEWELITE TRIM CAP TO BE WHITE.

ILLUMINATED WITH "HANLEY" WHITE LED'S. 120V LOW VOLTAGE POWER SUPPLIES.

POWER IN BOTTOM OF ALL LETTERS.

FABRICATE 2" DEEP .090" THK. ALUMINUM PANEL TO BE PAINTED MP #41-342 BRUSHED ALUMINUM.



ILLUMINATED LETTERSET LAYOUT (STACKED VERSION W/ SHIELD)
 QUANTITY - 1

TOTAL SQUARE FOOTAGE -38.88

SCALE 1/2" = 1'-0"

<p>CONCEPT Unlimited, Inc. 10020 Farrow Rd Columbia, SC 29203 Phone (803) 755-9100</p>	<p>Revision: R1 5/2/18 Changed returns and trim cap to white. R2 6/13/18 Add 2" deep panel.</p>	<p>STRAYER UNIVERSITY 79 COMMERCE STREET MONTGOMERY, AL 36104</p>	<p>THIS IS AN ORIGINAL DESIGN SUBMITTED BY CONCEPT UNLIMITED FOR YOUR PERSONAL USE. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION, NOR IS IT TO BE USED, COPIED, REPRODUCED, OR EXHIBITED IN ANYWAY WHATSOEVER. ALL OR ANY PART OF THIS DESIGN (EXCEPT REGISTERED TRADEMARKS) REMAIN THE PROPERTY OF CONCEPT UNL, INC.</p>	<p>Customer: STRAYER UNIVERSITY Salesman: Matt Higgins Drawn By: R.W. Date: 4/26/2018 Drawing No: _____ Pg. 1 of 3 A12137</p>
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SCALE 1/8" = 1'-0"

**CONCEPT
Unlimited, Inc.**
10020 Farrow Rd. Columbia, SC 29203
Phone (803) 755-9100

Revision:
R1 6/13/18 Add 2" deep panel.

STRAYER UNIVERSITY
79 COMMERCE STREET
MONTGOMERY, AL 36104

THIS IS AN ORIGINAL DESIGN SUBMITTED BY CONCEPT UNLIMITED FOR YOUR PERSONAL USE. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION, NOR IT IS TO BE USED, COPIED, REPRODUCED, OR EXHIBITED IN ANYWAY WHATSOEVER. ALL OR ANY PART OF THIS DESIGN (EXCEPT REGISTERED TRADE-MARKS) REMAIN THE PROPERTY OF CONCEPT UNL, INC.

Customer: STRAYER UNIVERSITY
Salesman: Matt Higgins
Drawn By: R.W.
Date: 4/26/2018
Drawing No: A12137
Pg. 2 of 3

8. PRESENTED BY: Kenny Roberts

SUBJECT: Request for approval of an in-ground pool and fencing for the property located at 1604 Gilmer Avenue (Garden District).

REMARKS: The petitioner is requesting permission to install an in-ground gunite pool in the interior side yard (corner lot) of the property. The pool is approximately 45' x17.5', located 6' from the existing property/fence line. A row of ornamental trees and an iron fence make up the south property line. An ornamental 4' metal fence (see sample image for detail) is proposed between the house and south property line; and a matching fence will be installed between the house and outbuilding OR a removable pool fence will be installed at the perimeter of the pool. A 4' fence with lockable gate is required to meet the building code for pools.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

DEPARTMENT COMMENTS

- The Board has generally approved in ground pools when there has not been an impact on mature trees. The Urban Forester has looked at the trees on the property line and has no objection to the proposal.

COMMENTS _____

ACTION _____



1604 Gilmer Avenue



1604 Gilmer Avenue

GILMER AVE

FREDERICK AVE

510

Proposed
location
of fence

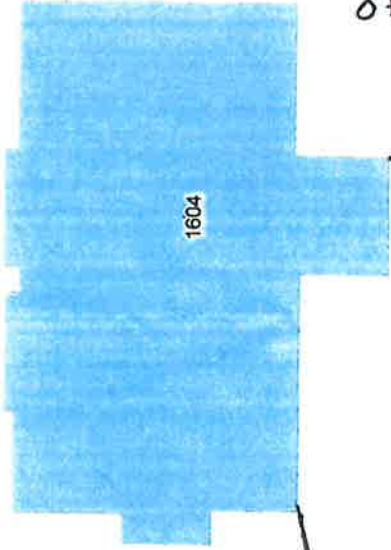
1604

1618

152

1 inch = 30 feet

144



MONTAGE[®]



RESIDENTIAL ORNAMENTAL STEEL FENCE

This is the style we intend on using.

Montage ornamental steel fence is *unparalleled in strength and quality, adapts to virtually any terrain, withstands vast shifts in climate yet remains untouched by time in stately elegance.* This fence offers an *array of customizable options* to fit your unique sense of style and application.

APPLICATIONS

- **Single Family Residence**
- **Apartments (Multi-Family)**
- **Airports**
- **Golf Courses**



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ASSA ABLOY, the global leader in door opening solutions

AMERISTAR[®]

ASSA ABLOY

NAME: Kenny & Hayley Roberts

ADDRESS: 1604 Gilmer Ave

CITY: Montgomery

PHONE: 850-619-6184

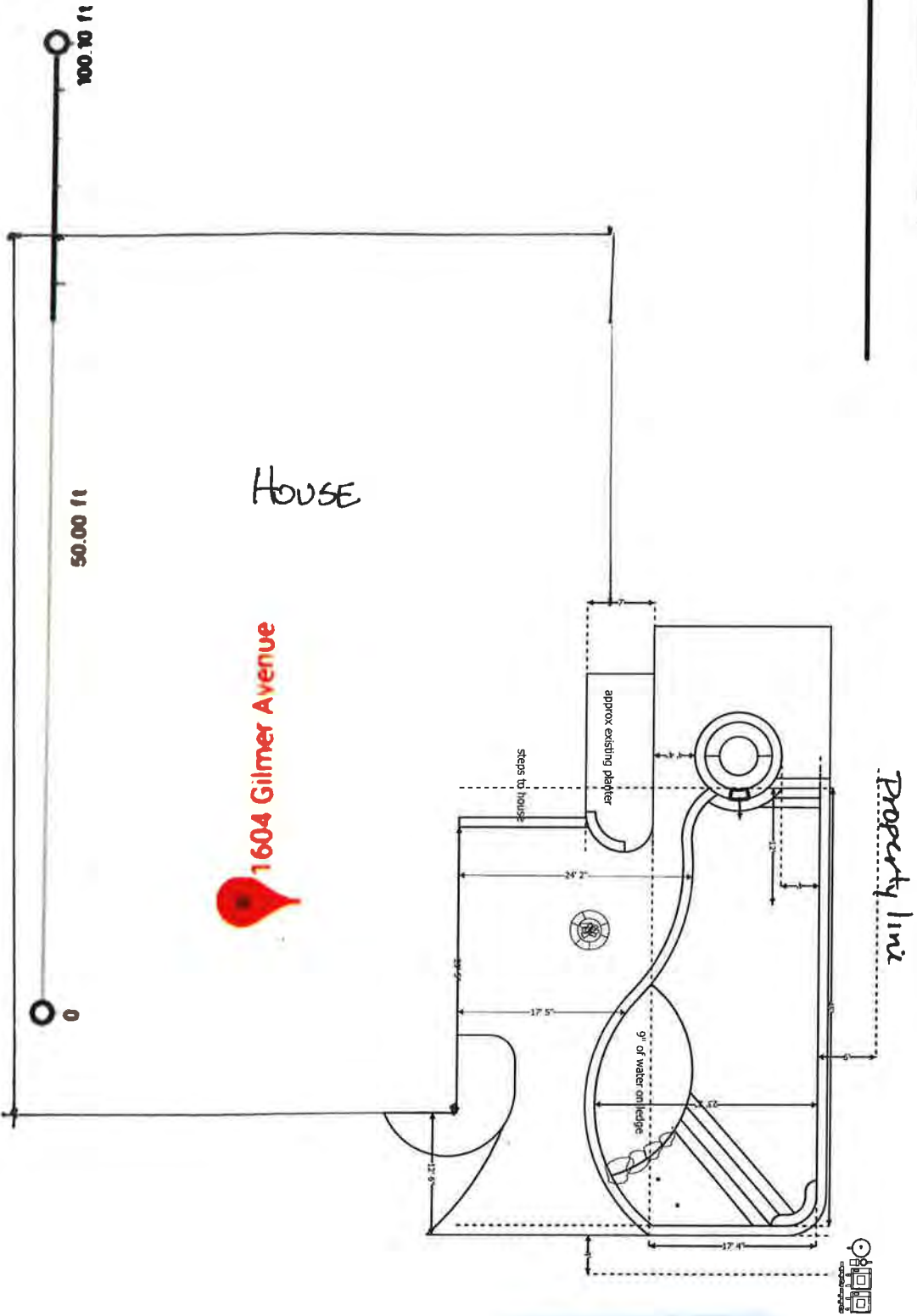
WORK: _____

CELL: _____

JOB#: _____

STATE: AL

ZIP: 36104



Scale: 1/16" = 1 ft.



1604 Gilmer Avenue



1604 Gilmer Avenue

9. PRESENTED BY: Steve Brickley

SUBJECT: Request for approval of an exterior vertical platform lift for the property located at 1827 Ridge Avenue #3 (Old Cloverdale).

REMARKS: The petitioner is requesting permission to install a vertical platform lift on the south side of the rear quadrant of the building. The building is divided into condo units, and the petitioner explored installing an interior lift to their second floor unit, but the space would not accommodate one that would service a wheelchair that will be required to ensure continued mobility of one of the owners. To accommodate the lift, an existing window would be converted to a door. The owner intends to retain the window and reinstall it once the lift is no longer required for access to the upstairs unit. The lift would be installed between an exterior door and a chimney projection next to the driveway.

STANDARD OF REVIEW: Section 15-127 of the City Code states that “the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

DEPARTMENT COMMENTS

- As the lift attaches to the building and does not require the construction of a shaft, staff considers this to be a reversible change to the building. The location of it just beyond the midpoint of the building also reduces its visibility from the street.

COMMENTS _____

ACTION _____



1827 Ridge Avenue



1827 Ridge Avenue





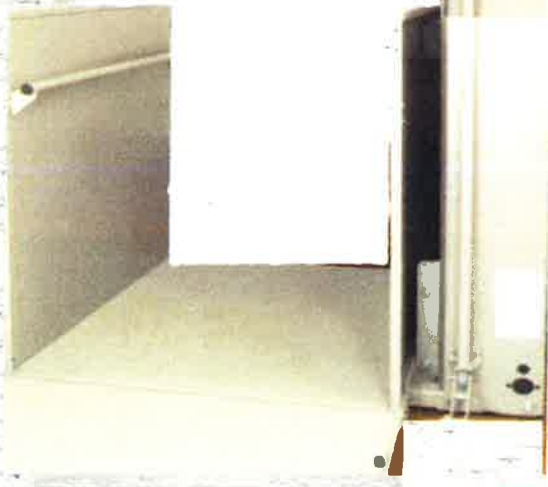
4 ft x 5 ft canvas over aluminum frame awning



wall panel added to regulate liftbox to wall pinchpoint distance to 3/8 inch
painted to match brick

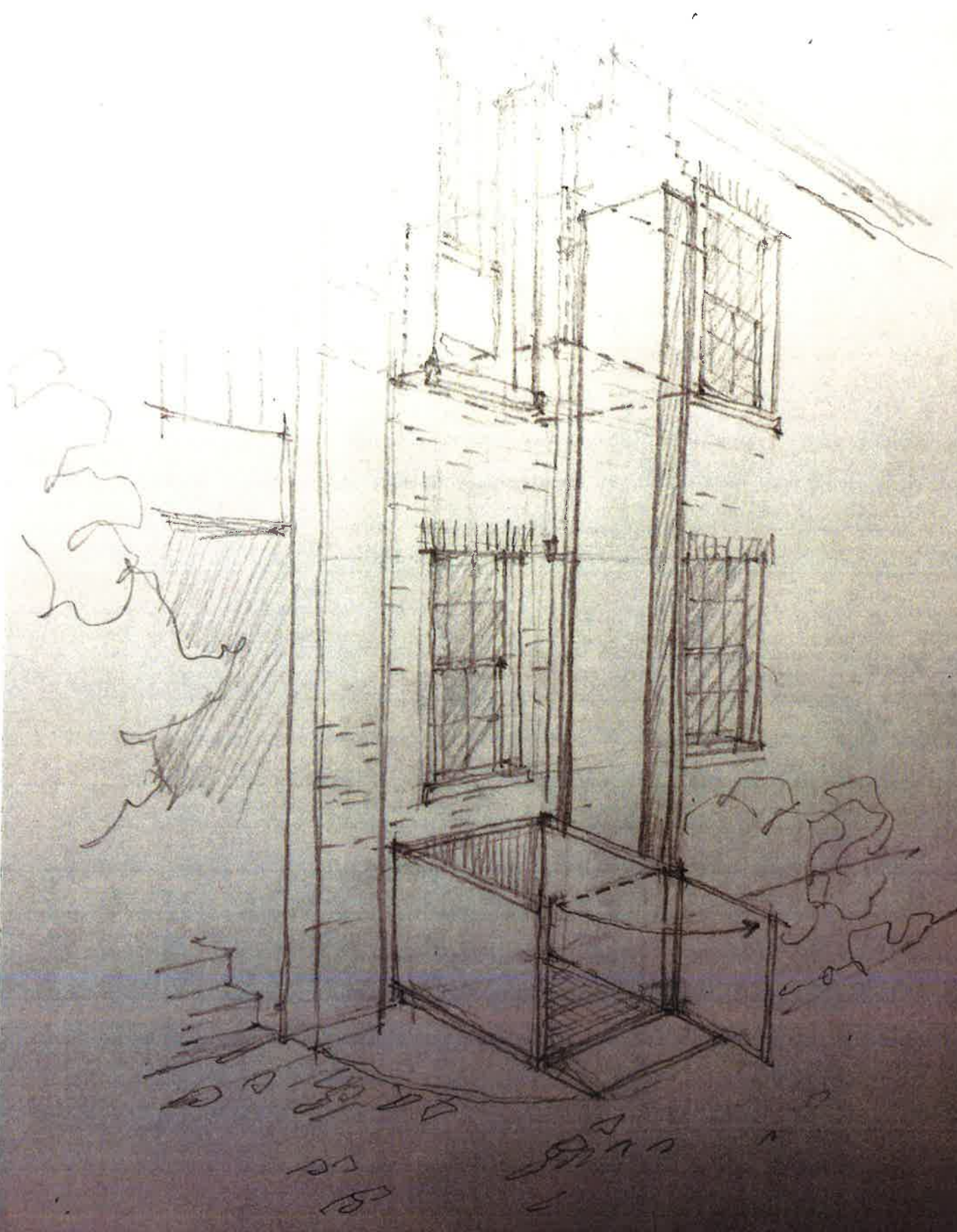


lexan panel added to wall panel to maintain light in lower floor apt



4 ft x 7 ft x 5 inch reinforced concrete slab













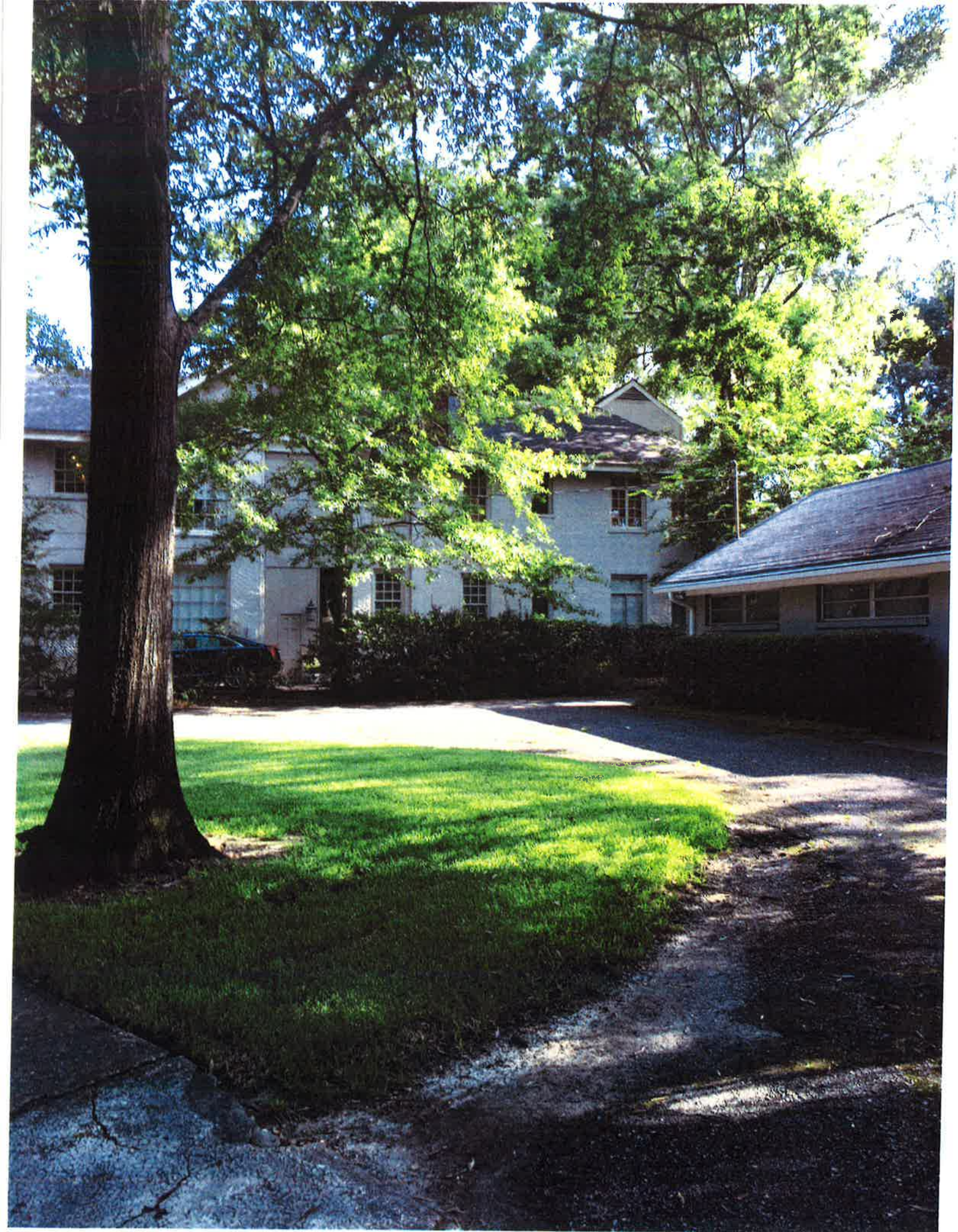


NO PARKING
ANYTIME
ON
CROSS

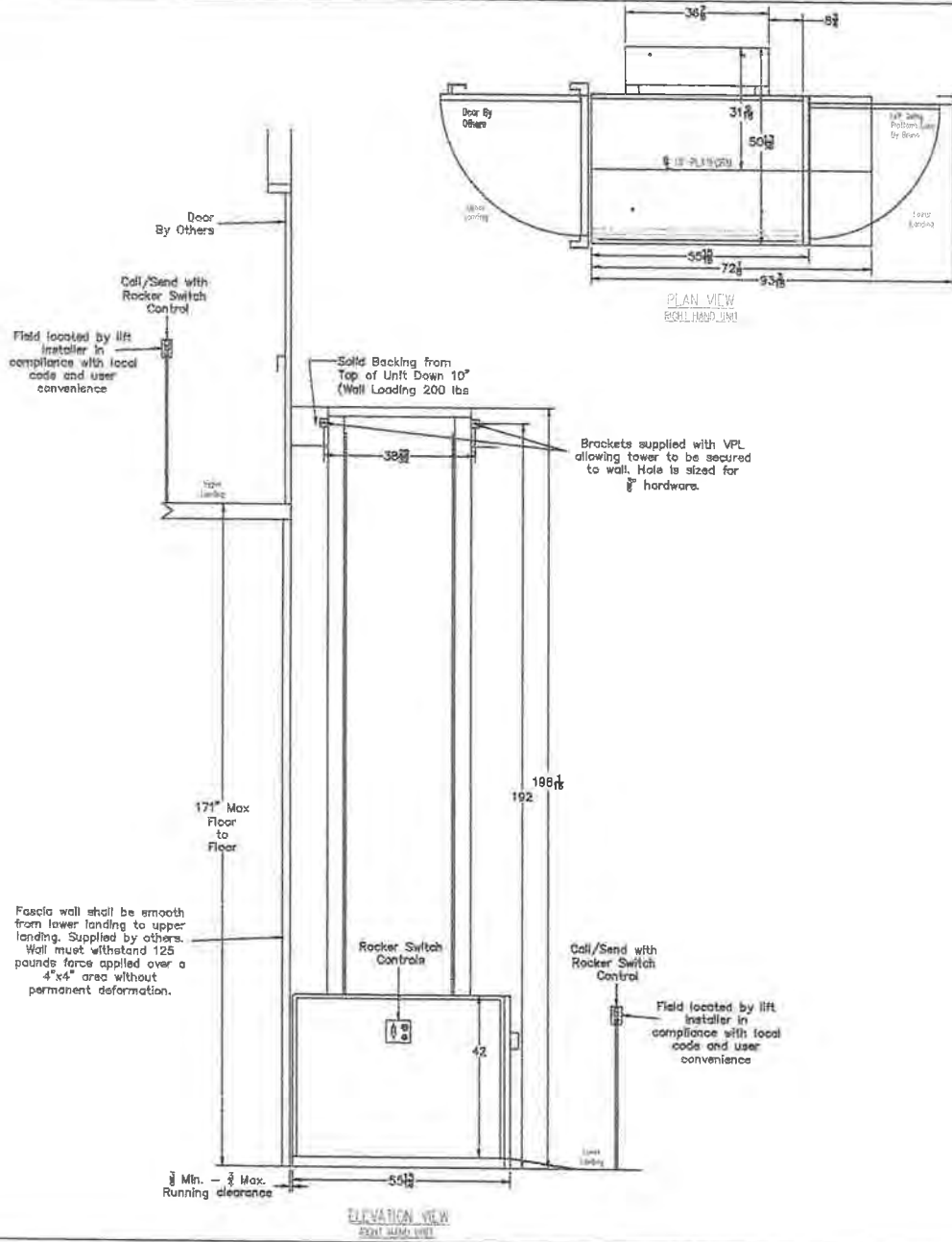










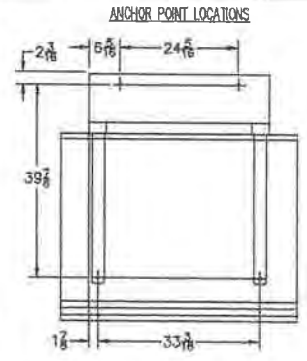


TECHNICAL DATA/SPECIFICATIONS

RATED LOAD: 750 lb (340 kg) maximum.
POWER SOURCE: Check applicable local codes for all electrical and wiring requirements. If it is determined that a GFI (Ground Fault Interrupter) outlet is required; use a GFI 120V, 15A, 60 Hz single phase circuit to operate the internal battery charger (charger draws 3A max.). National Electrical Code requires a GFI is used in all outdoor or wet environment applications.
DRIVE: 1 hp Motor; 1750 rpm, 24 VDC, permanent magnet, 20 full-load amps, continuous duty.
INTERMEDIATE REDUCTION: Dual 4L style Poly-V belts and pulleys, 3.94:1 pulley reduction.
FINAL DRIVE: 1-1/4" (32 mm) diameter ACME screw with bronze nut and bronze safety back up nut.
MOTOR CONTROLLER: 24 VDC relay control with 60A circuit breaker and disconnect.
BRAKING: Precision landing control.
STANDARD CONTROL: Up and down rocker switch, continuous pressure, key switch control
EMERGENCY STOP SWITCH: Red, sealed, 1.55" (39 mm) diameter mushroom head, push to stop, pull to reset.
SPEED: 10 ft/min (0.05 m/s) maximum.
UNDER CARRIAGE SAFETY: Totally enclosed bottom formed steel safety pan
LIMIT SWITCHES: Adjustable upper and lower limit switches and upper final limit switch.
 For complete technical specifications please see ILS-00986 "VPL-3200B Residential Vertical Platform Lift Technical Specifications"

U.S. F.D.A. CLASSIFICATION: Class II, 510(K) exempt, CLASSIFICATION NUMBER: 890.3930, PRODUCT CODE: PCE
 ETL-Intertek C-US Listed: Control Number 4004689

PERFORMANCE STANDARDS
 ASME A18.1-2017 (Sec. 5) Safety Standards for Platform Lifts and Stairway Chairlifts
 CSA B355-15 Lifts for Persons with Physical Disabilities
 CSA B44.1-14/ASME A17.5-2014 Elevator and Escalator Electrical Equipment
 NFPA 70-2017 National Electrical Code



OPTIONS INCLUDED
 Model Number: VPL-3214B (14 ft-battery powered)[^]
 Battery Package: 34AH package (std.)
 Application: Unenclosed (No Hoistway)
 Number of Landings: 2-Stop
 Hand of Unit: Right hand
 Platform Configuration: Straight-thru
 Platform Size: 36 x 54
 Platform Controls: Rocker Switch
 Platform Gate/Ramp: LH platform gate with ramp
 Lower Landing Controls: Rocker Switch (LC)
 Upper Landing Entrance/Exit: Wiring Kit
 Upper Landing Controls: Rocker Switch (LC)
 Upper Landing Timer: Included on PCB
 2nd Handrail: None (std.)

TECHNICAL SPECIFICATIONS
FLOOR RECOMMENDATIONS: 4" (102mm) thick, 3500 PSI minimum compressive strength, reinforced concrete slab. Refer to technical drawings for minimum slab dimensions. If the temperature can fall below freezing, it is recommended that you insert an insulation sheet between the concrete slab and the compacted rock.

FLOOR ATTACHMENT: The VPL must be fastened to the concrete slab using four 1/2" (3/8" bolt) X minimum 2-1/2" long concrete anchors suitable for the environment. Follow the selected concrete anchor manufacturer's guidelines, and all applicable codes.

HOUSING ATTACHMENT: Use the 5/16-18 tapped holes on the tower frame work to fasten the tower housing to a vertical wall with brackets supplied for additional stability. Note: The housing must remain intact.

AL-2015 RDG TEAM Quote# 317572

Customer: CONDO
 KRB 08/01/2018

Bruno Independent Living Aids, Inc., 1780 Executive Drive, P.O. Box 84, Oconomowoc, WI 53066
 Phone (800) 882-8183 Fax (262) 953-5505
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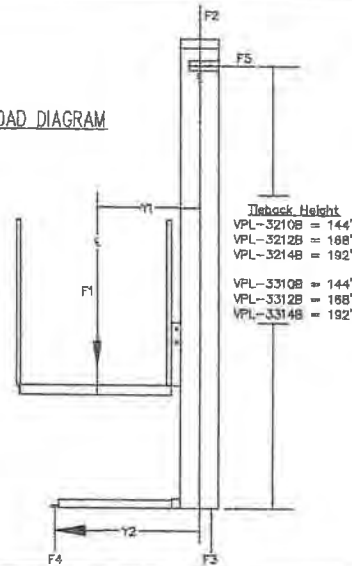


FORCE	DESCRIPTION	VALUE (MAX)
F1	Rated Load + Platform Weight	1210 lbs.
F2	Tower Weight	1000 lbs.
F3	Floor Reaction	1158 lbs.
F4	Floor Reaction	1052 lbs.
F5	Tieback Bracket Reaction	200 lbs.

PLATFORM SIZE	Y1	Y2
36" WIDE	26 $\frac{1}{4}$ "	36 $\frac{15}{16}$ "
42" WIDE	29 $\frac{1}{2}$ "	36 $\frac{15}{16}$ "

NOTE: These are reaction forces generated by the lift. Adhere to local building codes, regulations, and safety factors for supporting structures. Consult a structural engineer or architect in your jurisdiction.

LOAD DIAGRAM



TECHNICAL DATA/SPECIFICATIONS

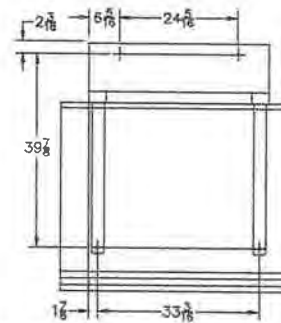
RATED LOAD: 750 lb (340 kg) maximum.
POWER SOURCE: Check applicable local codes for all electrical and wiring requirements. If it is determined that a GFI (Ground Fault Interrupter) outlet is required; use a GFI 120V, 15A, 60 Hz single phase circuit to operate the internal battery charger (charger draws 3A max.). National Electrical Code requires a GFI to be used in all outdoor or wet environment applications.
DRIVE: 1 hp Motor; 1750 rpm, 24 VDC, permanent magnet, 20 full-load amps, continuous duty.
INTERMEDIATE REDUCTION: Dual 4L style Poly-V belts and pulleys, 3.94:1 pulley reduction.
FINAL DRIVE: 1-1/4" (32 mm) diameter ACME screw with bronze nut and bronze safety back up nut.
MOTOR CONTROLLER: 24 VDC relay control with 50A circuit breaker and disconnect.
BRAKING: Precision landing control.
STANDARD CONTROL: Up and down rocker switch, continuous pressure, key switch control
EMERGENCY STOP SWITCH: Rod, sealed, 1.55" (39 mm) diameter mushroom head, push to stop, pull to reset.
SPEED: 10 ft/min (0.05 m/s) maximum.
UNDER CARRIAGE SAFETY: Totally enclosed bottom formed steel safety pan
LIMIT SWITCHES: Adjustable upper and lower limit switches and upper final limit switch.
 For complete technical specifications please see ILS-00986 "VPL-3200B Residential Vertical Platform Lift Technical Specifications"

U.S. F.D.A. CLASSIFICATION: Class II, 510(k) exempt. CLASSIFICATION NUMBER: 890.3930, PRODUCT CODE: PCE
 ETL-Intertek C-US Listed. Control Number 4004689

PERFORMANCE STANDARDS

- ASME A18.1-2017 (Sec. 5) Safety Standards for Platform Lifts and Stairway Chalklifts
- CSA B355-15 Lifts for Persons with Physical Disabilities
- CSA B44.1-14/ASME A17.5-2014 Elevator and Escalator Electrical Equipment
- NFPA 70-2017 National Electrical Code

ANCHOR POINT LOCATIONS



OPTIONS INCLUDED

- Model Number: VPL-3214B (14 ft-battery powered)*
- Battery Package: 34AH package (std.)
- Application: Unenclosed (No Hoistway)
- Number of Landings: 2-Stop
- Hand of Unit: Right hand
- Platform Configuration: Straight-thru
- Platform Size: 36 x 54
- Platform Controls: Rocker Switch
- Platform Gate/Ramp: LH platform gate with ramp
- Lower Landing Controls: Rocker Switch (LC)
- Upper Landing Entrance/Exit: Wiring Kit
- Upper Landing Controls: Rocker Switch (LC)
- Upper Landing Timer: Included on PCB
- 2nd Handrail: None (std.)

TECHNICAL SPECIFICATIONS

FLOOR RECOMMENDATIONS: 4" (102mm) thick, 3500 PSI minimum compressive strength, reinforced concrete slab. Refer to technical drawings for minimum slab dimensions. If the temperature can fall below freezing, it is recommended that you insert an insulation sheet between the concrete slab and the compacted rock.

FLOOR ATTACHMENT: The VPL must be fastened to the concrete slab using four 1/2" (3/8" bolt) X minimum 2-1/2" long concrete anchors suitable for the environment. Follow the selected concrete anchor manufacturer's guidelines, and all applicable codes.

HOUSING ATTACHMENT: Use the 5/16-18 tapped holes on the tower frame work to fasten the tower housing to a vertical wall with brackets supplied for additional stability. Note: The housing must remain intact.

AL-2015
RDG TEAM

Quote# 317572

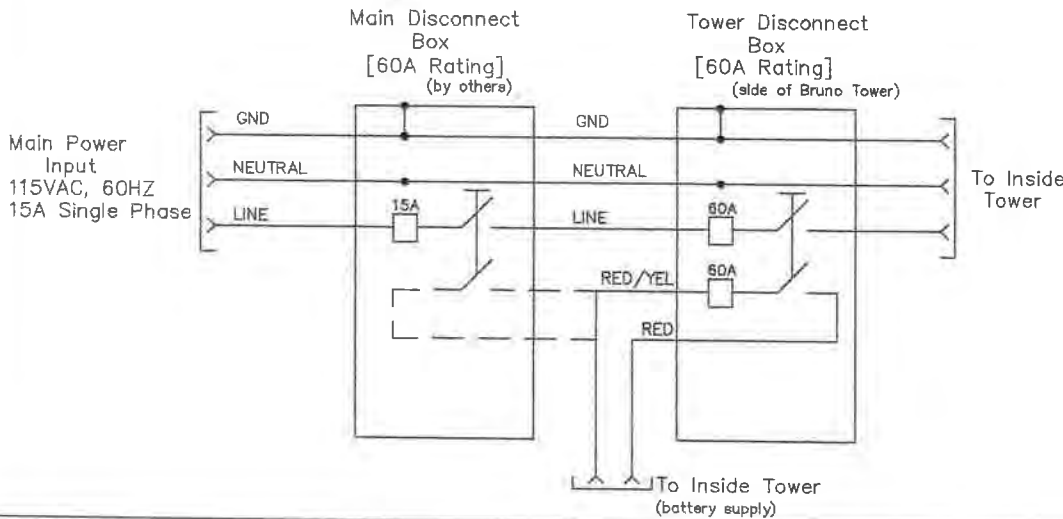
Customer: CONDO

KRB 08/01/2018

DETAIL A

Main Disconnect (by others)

It is the sole responsibility of the dealer/installer to install the main switch disconnect in accordance with the local jurisdiction requirements. Bruno does not provide the mains switch disconnect.



Bruno Independent Living Aids, Inc., 1789 Escarotte Drive, P.O. Box 64, Oceanonoc, NJ 03095
 Phone (802) 882-8183 Fax (202) 963-5005

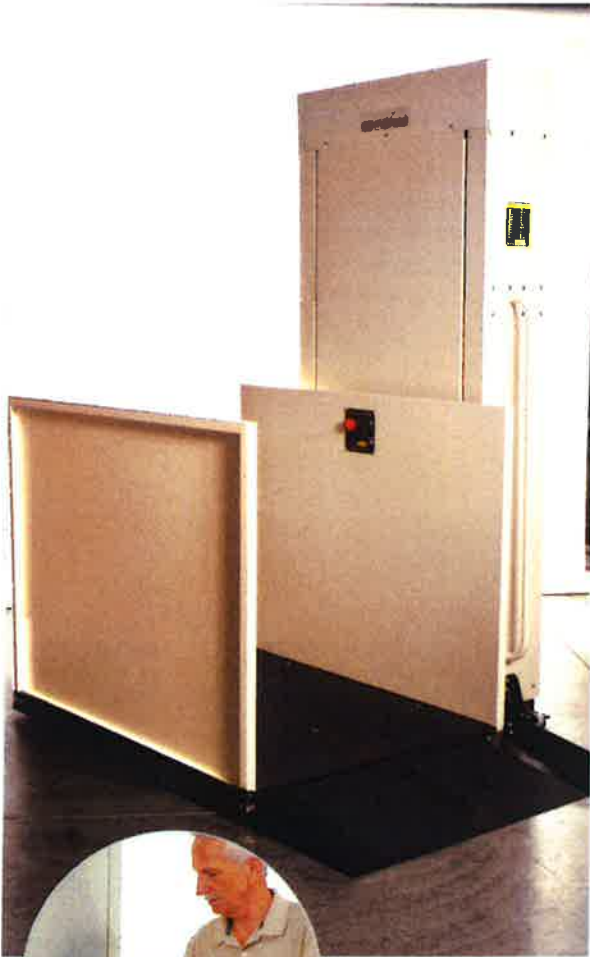
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HARMAR RESIDENTIAL VERTICAL PLATFORM LIFTS



SPECIFICATIONS	RESIDENTIAL VPL
Rated Load	600 lbs. (272 kg.)
Drive	Belt driven Acme screw / 90 VDC 1/3 hp motor, Optional 24 VDC battery powered unit
Power	115 VAC - 20 Amp grounded circuit
Control Circuit	24 VAC (Low Voltage Controls)
Standard Platform	36" x 48" with 36" high solid guard panels and automatic folding ramp
Footprint	50" x 70"
Speed	10 fpm
Controls	Rocker switch w/emergency stop (key switch optional)
Manual Lowering	Provided
Safety Design	ASME A18.1, Section 5 – Private Residence Vertical Platform Lifts
Standards	CSA B441/ASME A17.5 Elevator & Escalator Equipment ETL Listed 3148125
Safety Features	Safety pan, final limit, ball nut safety backup, belt monitor and non skid surface
Warranty	2-year parts (1-year on outdoor units without outdoor package)

Enclosed VPLs

Harmar offers attractive enclosed options for residential applications:

- Lifting heights from 53" to 171"
- 750 lb. capacity
- Variable platform sizes
- Elevator style shaft with fitted enclosed walls
- ADA compliant



An independently owned and operated franchise business.



1 Year Limited Warranty
on New Equipment Installs

- ✔ Stair Lifts
- ✔ Vertical Platform Lifts
- ✔ Pool Lifts
- ✔ Patient Lifts
- ✔ Ramps
- ✔ Auto Lifts
- ✔ Bath Modifications
- ✔ Commercial
- ✔ Residential
- ✔ And More

6600 Walt Drive - Suite E Birmingham, AL 35242
Call for a free in-home consultation 205-538-5692

alabama.101mobility.com



SPECIFICATIONS	VPL-3100B & 3200B SERIES
Rated Load	750 lbs.
Drive	Belt driven ball screw/90 VDC 1/3 hp motor with brake Optional 24 VDC battery powered unit
Power	120 VAC 15A grounded circuit
Control Circuit	24 VAC (Low Voltage Controls)
Standard Platform	36 in x 48 in/914 mm x 1219 mm
Footprint	50" x 54" (standard platform) / with ramp 50" x 70"
Speed	AC-powered units: 9 ft/min (0,04 m/s) maximum DC battery-powered units: 10 ft/min (0,05 m/s) maximum
Controls	Constant pressure paddle controller with emergency stop (key switch optional)
Manual Lowering	Optional
Safety Features	Under carriage safety - totally enclosed bottom formed steel safety pan
Warranty	2-year major components 1-year parts

Bruno VPLs have a small footprint and offer a safe, smooth, and quiet ride from one level to another.

101 Warranty Protection
1 Year Limited Warranty on New Equipment Installs



Available Options

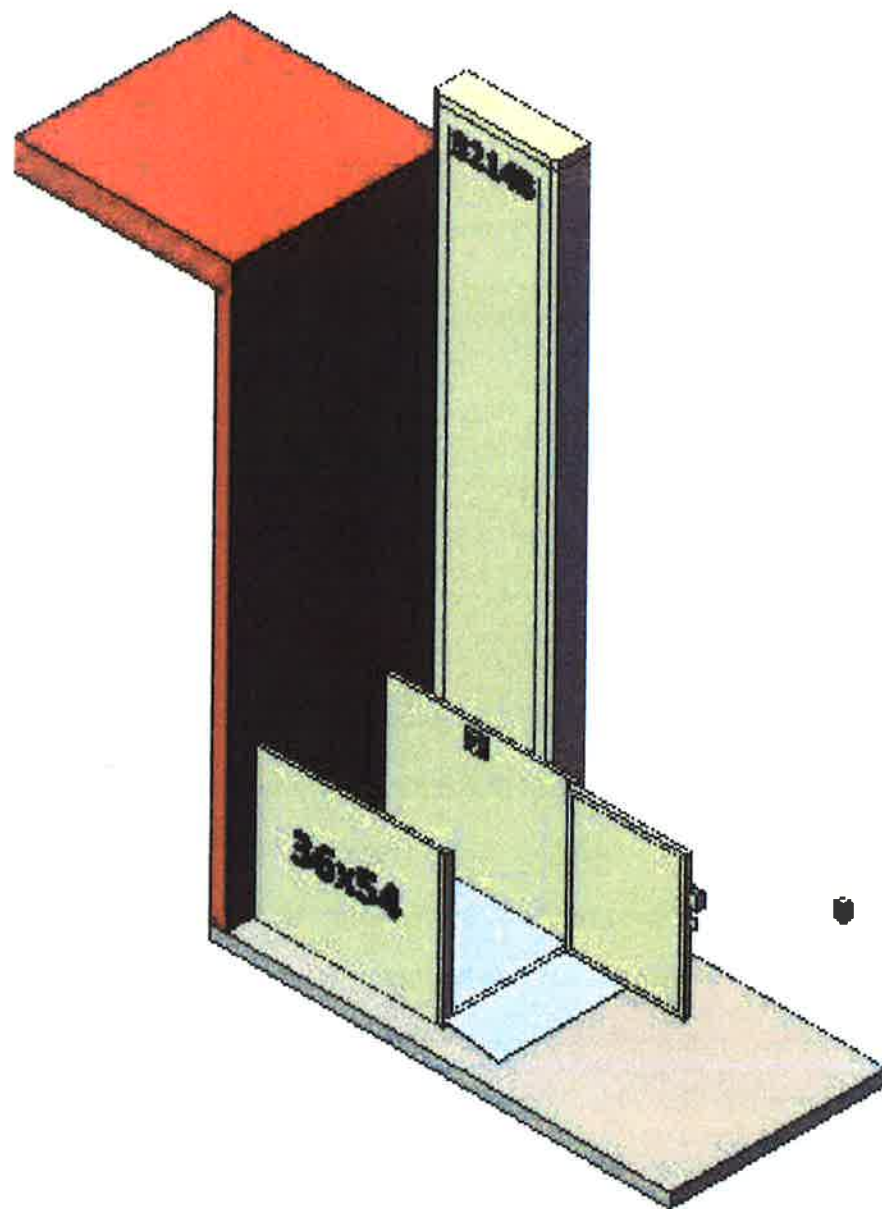
- Top landing gate
- Platform canopy
- Paddle controls
- Cold-weather package (recommended where temps get below 20° F)
- Landing call/send station
- DC battery powered
- Platform gate
- Enclosure

An independently owned and operated franchise business.

- ✔ Stair Lifts
- ✔ Vertical Platform Lifts
- ✔ Pool Lifts
- ✔ Patient Lifts
- ✔ Ramps
- ✔ Auto Lifts
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alabama.101mobility.com



10. PRESENTED BY: Leon Harris

SUBJECT: Request for approval of a driveway, RV storage, and front wall for the property located at 3123 Norman Bridge Road (Cloverdale Idlewild).

REMARKS: The petitioner is requesting permission to create a new curb cut and driveway on the north side of the property; construct an RV storage building at the rear of the property; and construct a wall on the front property line to match the wall on the adjacent property at 3131 Norman Bridge Road.

- Driveway. Proposed driveway will be concrete, 14' long and extend within 3' of the rear property line.
- RV Storage. The proposed structure will be open at the front and have a 16'x48' footprint, and 16' wall height (no height to ridge given). There will be a square gable vent and a single walk through solid 3' door. A dryvit sand finish to match the house at 3131 Norman Bridge is proposed, matching corner and opening details with keystones, quoins (see accompanying photos). Roof will be shingled in Weathered Wood Architectural Shingle.
- Concrete wall with cap, dryvit sand finish to match existing wall on front property line. Wall height 3'; driveway columns 6'; intermediate columns 4'4".

The Board should disregard the 6' wall proposed in line with the gate at this time. It encroaches on the footprint of the house, which Mr. Harris does not have permission to demolish. Mr. Harris will also need to visit the Board of Adjustment to request variances for coverage, wall column height, and setbacks.

STANDARD OF REVIEW: Section 15-127 of the City Code states that "the board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

DEPARTMENT COMMENTS

- The Board needs to determine if the scale, material, and placement of the RV storage building is appropriate.
- New curb cut needs to meet City Engineering's turnout requirements.
- There is no record of the wall Mr. Harris wants to match at 3131 Norman Bridge Road having been approved by ARB or Board of Adjustment. It was not in the photos at the time of his 2004 submission to building a garage.

COMMENTS _____

ACTION _____



3184 Lexington Road



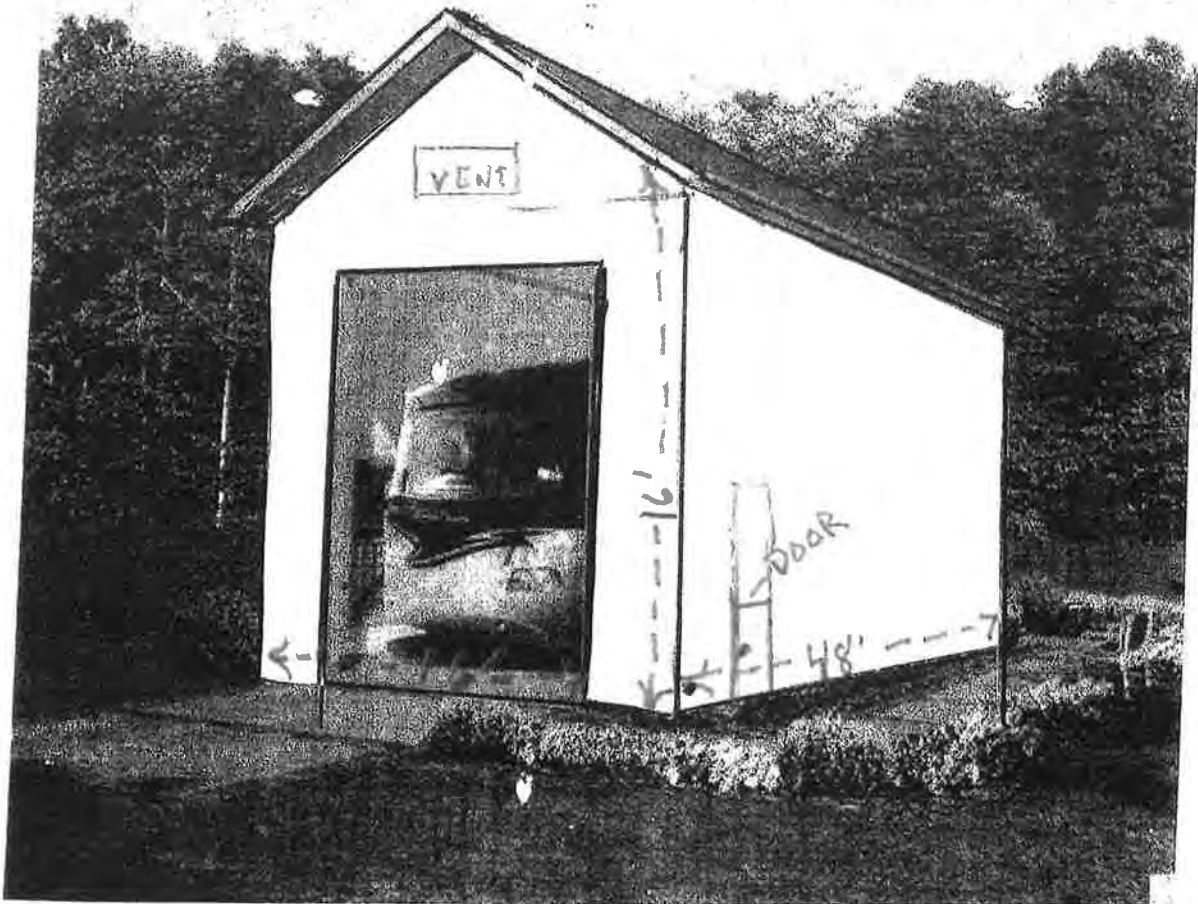
3123 Norman Bridge Road



WALL NEXT DOOR TO MATCH



3123 Norman Bridge Road



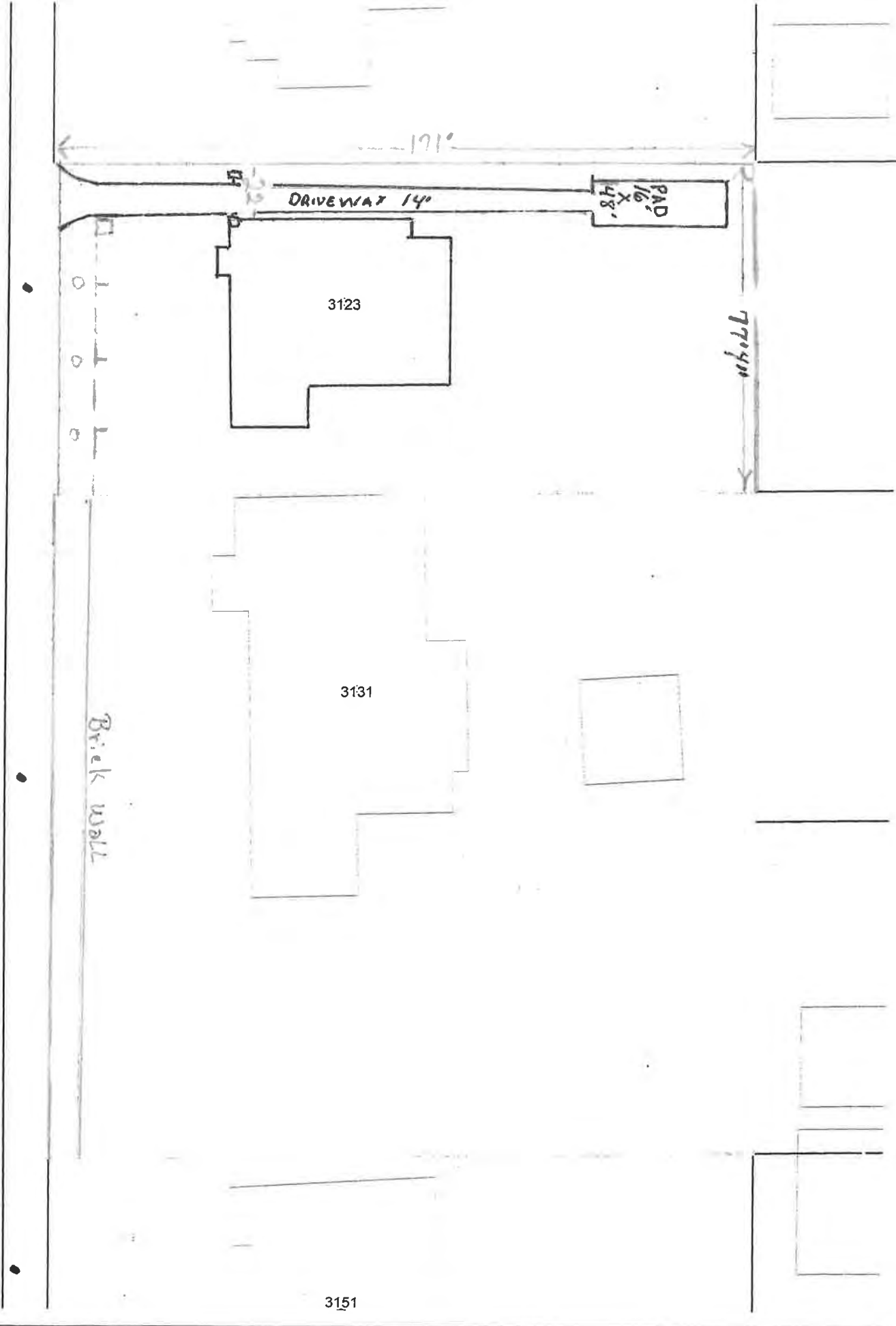
W 16' H 16' L 48'

This RV Storage Building Will Match 3131,
DRIVE IT SAND-FINISH WITH CORNERSTONES
TO MATCH. WEATHERWOOD SHINGLE-
ARCHITECT.

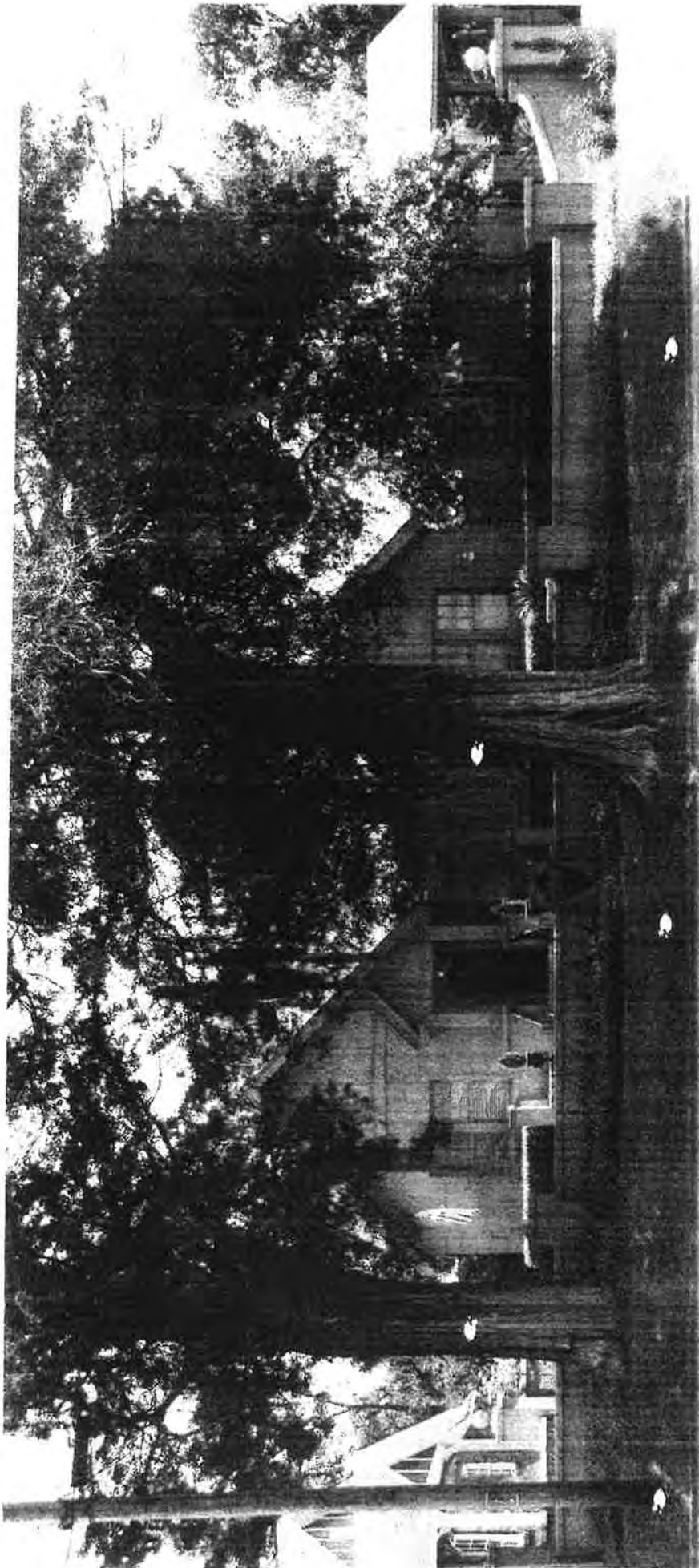
30 door 6/8

NORMAN BRIDGE RD

510

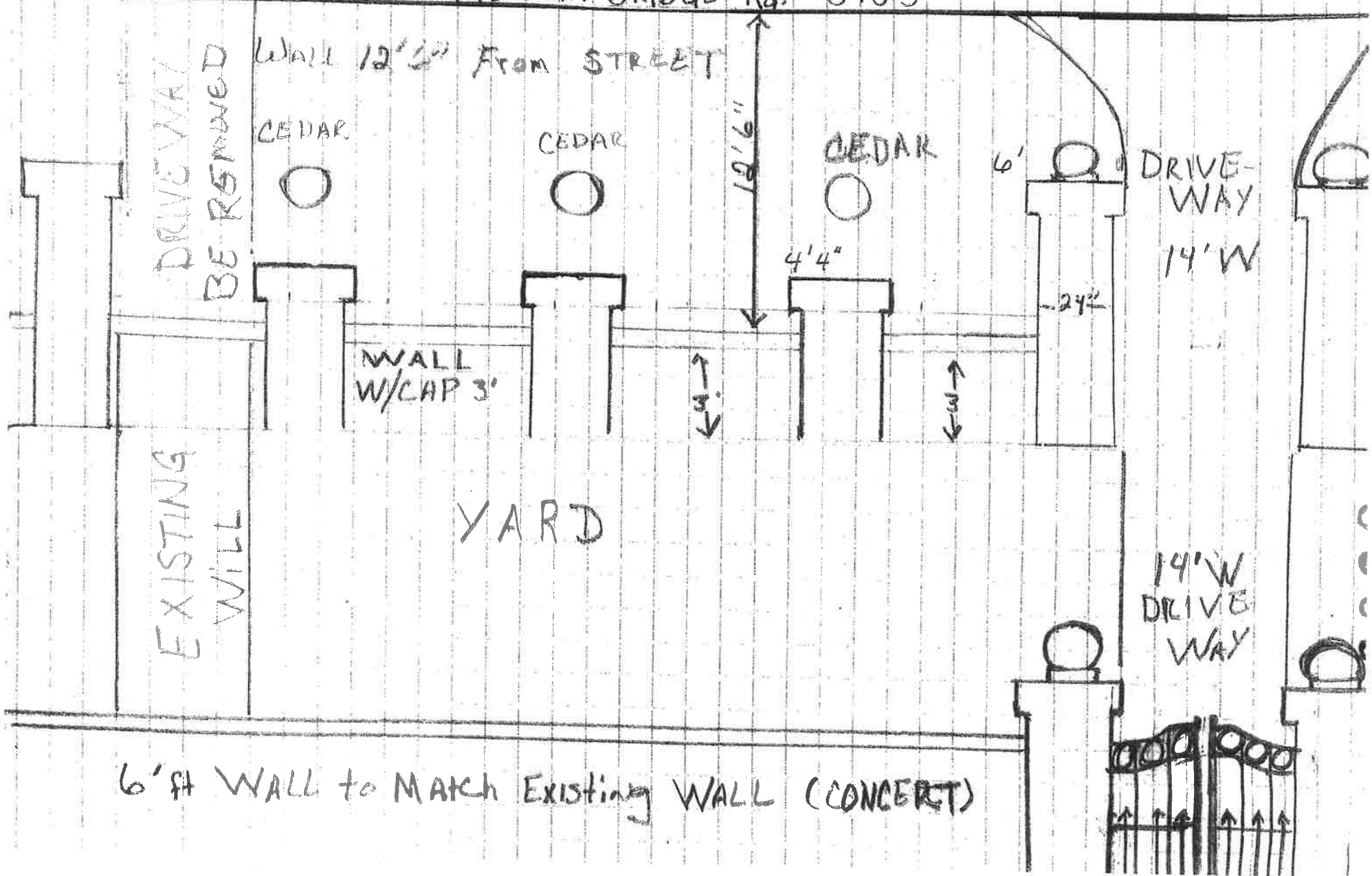


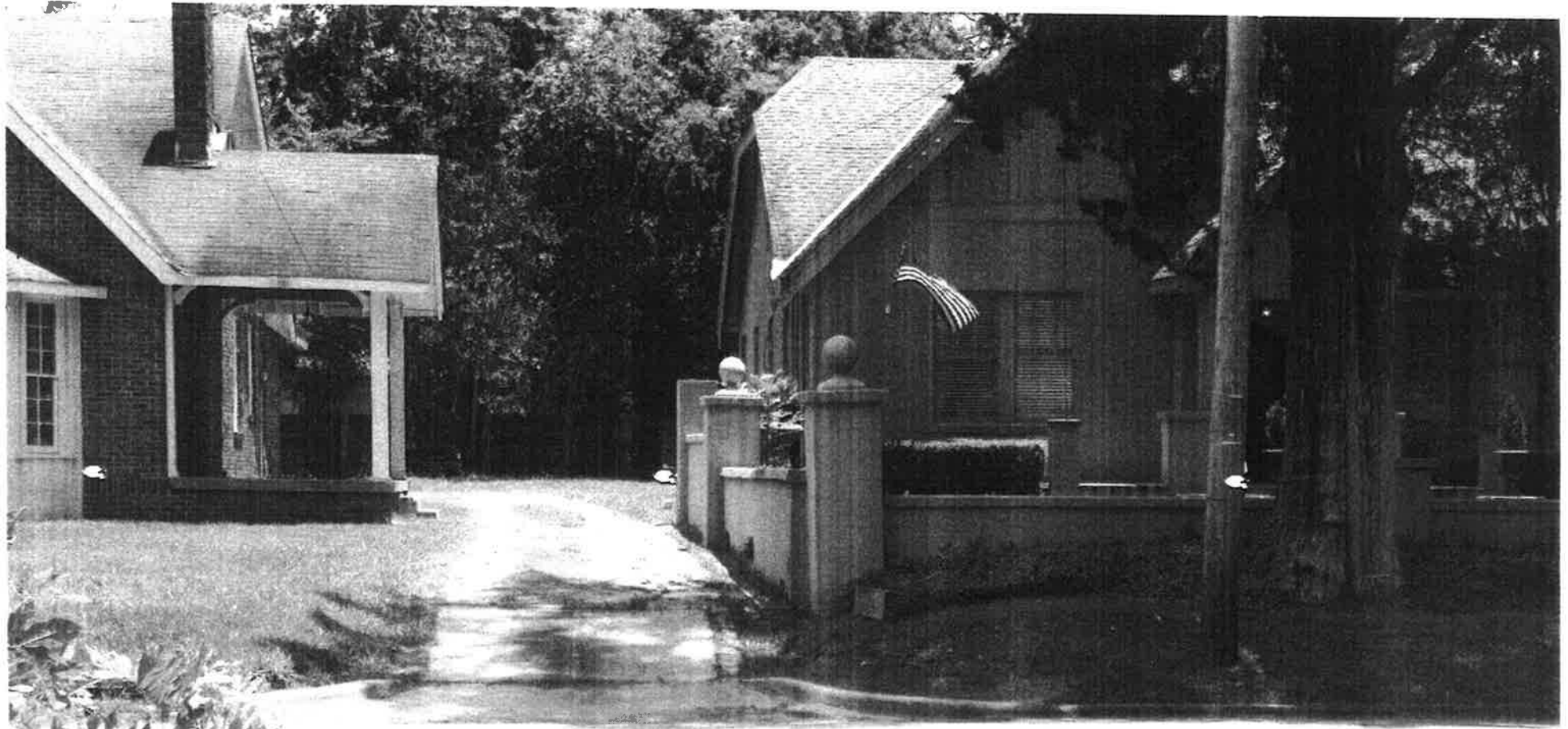
1 inch = 30 feet



3131

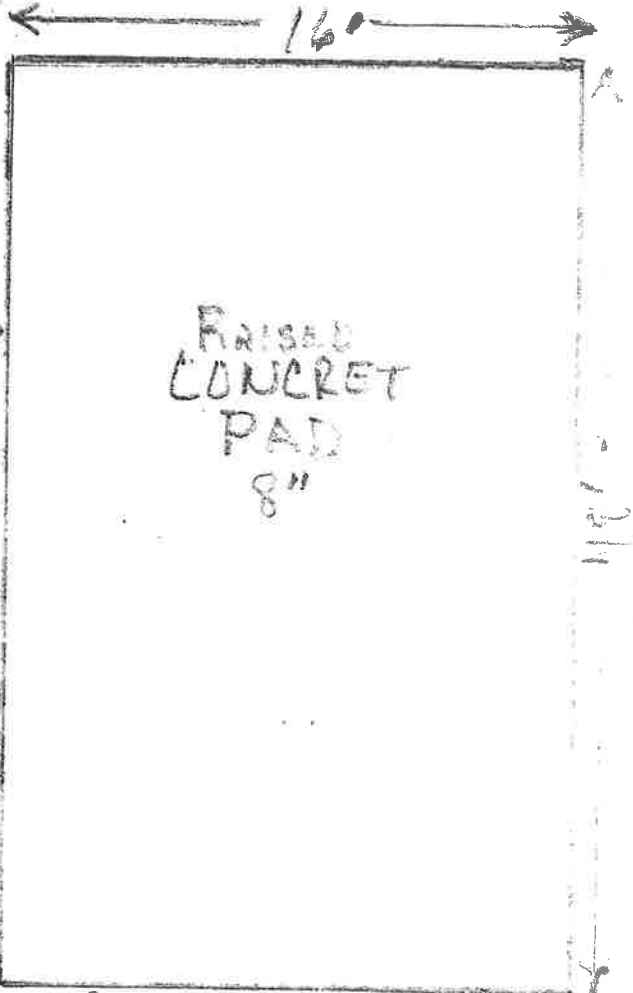
NORMAN BRIDGE Rd. 3123





3 FT OFF ROAD LINE

← 5' →
NORTH SIDE
LINE

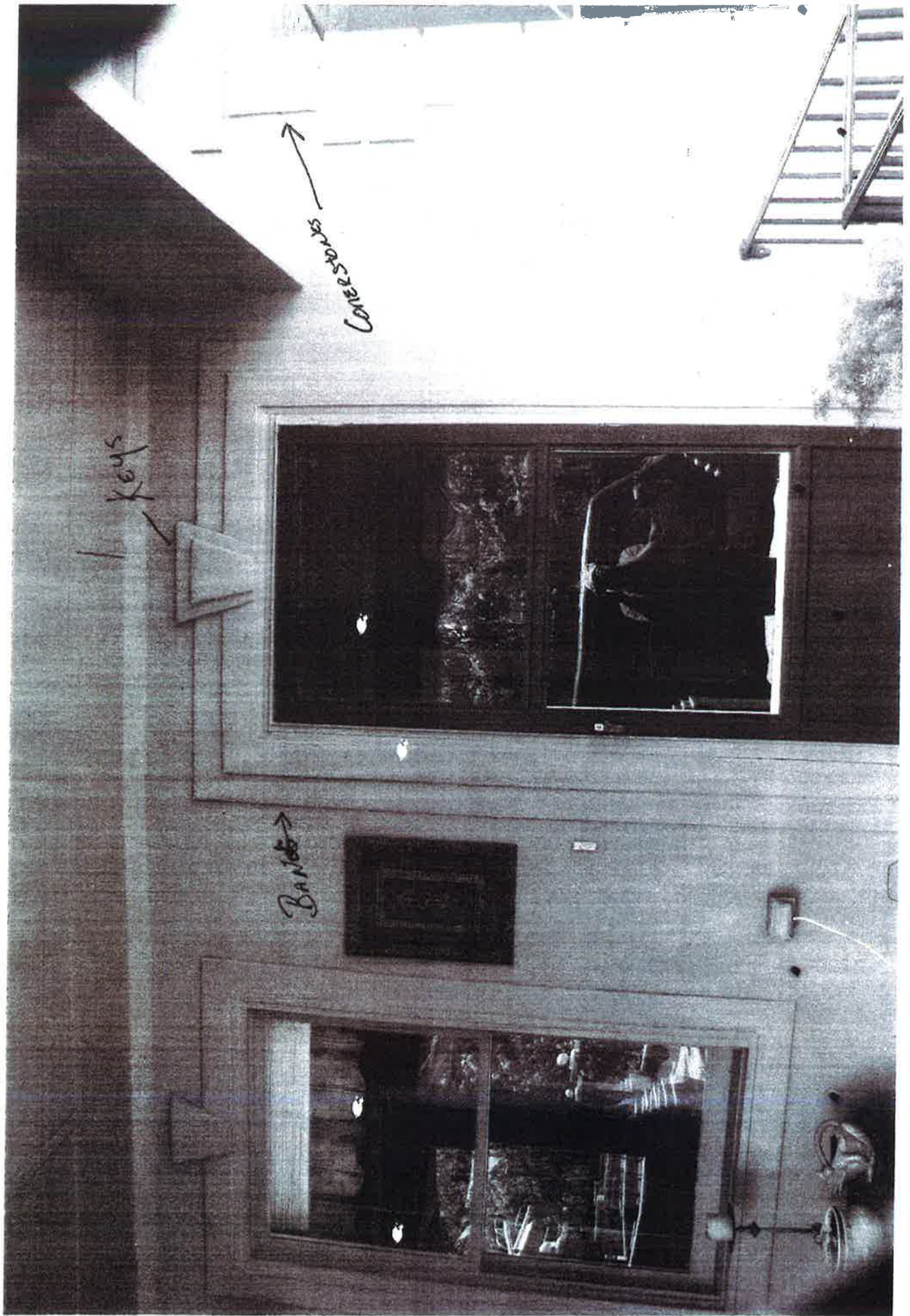


From the end of Pad
to the Street SIDE

168'

4'7 1/2"
CONCRETE
DRIVEWAY





III. Other business

a. Question about a proposed material

The owner of 3184 Lexington Road inquired about using a faux brick to clad a metal garage. <http://urestonepanels.com/products/used-brick> The house is brick, a sample of the material will be brought to the meeting for your feedback.



3184 Lexington Road



3184 Lexington Road



Search ...

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HOME

PRODUCTS

APPLICATIONS

SUPPORT

INSTALLATION

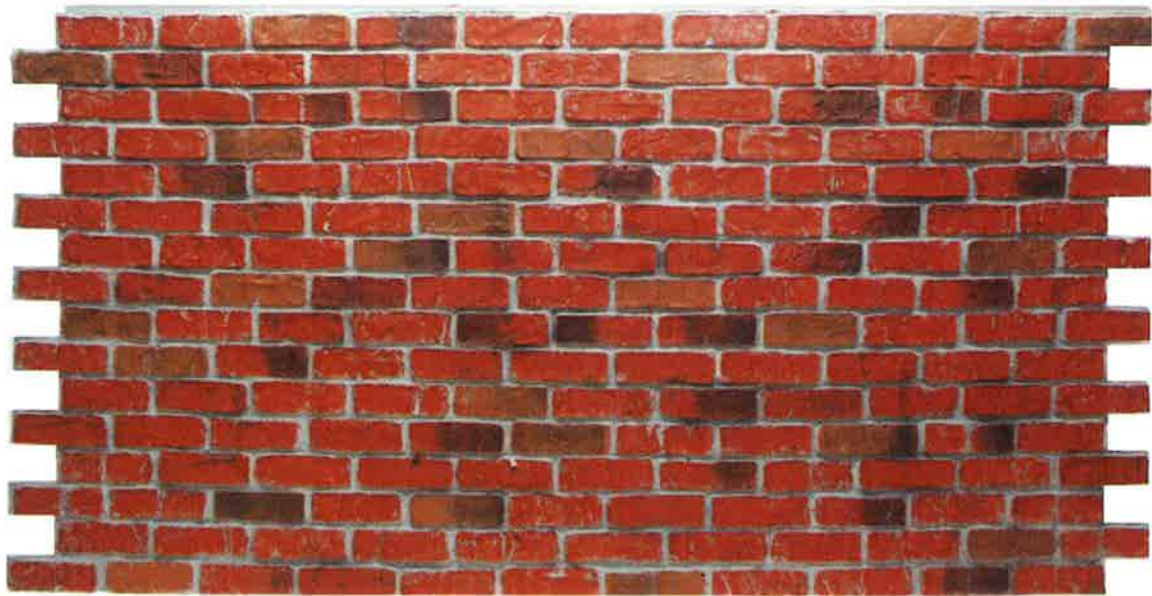
GALLERY

CONTACT US

AAA

USED BRICK

DP 2400



Height: 48 1/4" Depth: 3/4" 31 Sq Ft. ~ 28 lbs

Urestone Panels, Inc.