

# **A G E N D A**

## **Architectural Review Board**

**January 23, 2018**

**Council Auditorium, City Hall**

**103 North Perry Street**

### **ARCHITECTURAL REVIEW BOARD MEMBERS**

Mr. Walter L. Bush, Jr., Chairman

Ms. Elizabeth Brown, Vice-Chairman

Mr. David Payne

Mr. Barrett Penney

Rev. Willie Welch

Mr. Cedric Campbell

Mr. John Foshee

Mr. Jon Hayden

Ms. Katie Williams

PLANNING CONTROLS DIVISION

**I. Approval of the Actions from the December 20, 2017 meeting**

**II. Full Review Items**

<b><u>Item</u></b>	<b><u>Petitioner</u></b>	<b><u>Historic District</u></b>	<b><u>Location</u></b>
1.	Jud Blount	Old Cloverdale	416 Cloverdale Road
2.	Bryant Aspinwall	Garden District	1256 South Lawrence Street
3.	Tim Vaught	St. Charles—Capitol Heights	39 North Capitol Parkway
4.	Emily Whisenhunt	Old Cloverdale	805 Cloverdale Road
5.	Barrett Penney	Old Cloverdale	728 Felder Avenue

**III. Other Business/Announcements**

- a. Election of Chair and Vice Chair
- b. Review of proposed outbuilding guidelines for expedited review procedure

**The next meeting of the Architectural Review Board will be on  
February 27, 2018 at 5:30 p.m.**

**OLD BUSINESS**

**1. PRESENTED BY:** Jud Blount

**SUBJECT:** Request for approval of painting an unpainted surface for the property located at 416 Cloverdale Road (Old Cloverdale).

**REMARKS:** The petitioner is requesting permission to paint the red brick (NOT the limestone) on the sides and rear of the building SW 7048 Urbane Bronze (400-21 on the palette). The front of the building would not be altered.

At the November 28, 2017 meeting, the ARB requested that a test panel be prepared for the Board to look at to determine if painting was warranted due to the mismatch of brick and mortar. Because the legal notice for December was due immediately after the November meeting, this item has been advertised but no addition information has been provided and may not be presented at the December meeting. The petitioner is considering leaving the brick unpainted at this time.

The petitioner has amended the plan, the walk in cooler will now be clad in center matched tongue and groove pine and painted Urbane Bronze. The petitioner is also requesting permission to paint the brick, and not the stone. The red brick is a dimpled brick, a closer image of the brick is included.

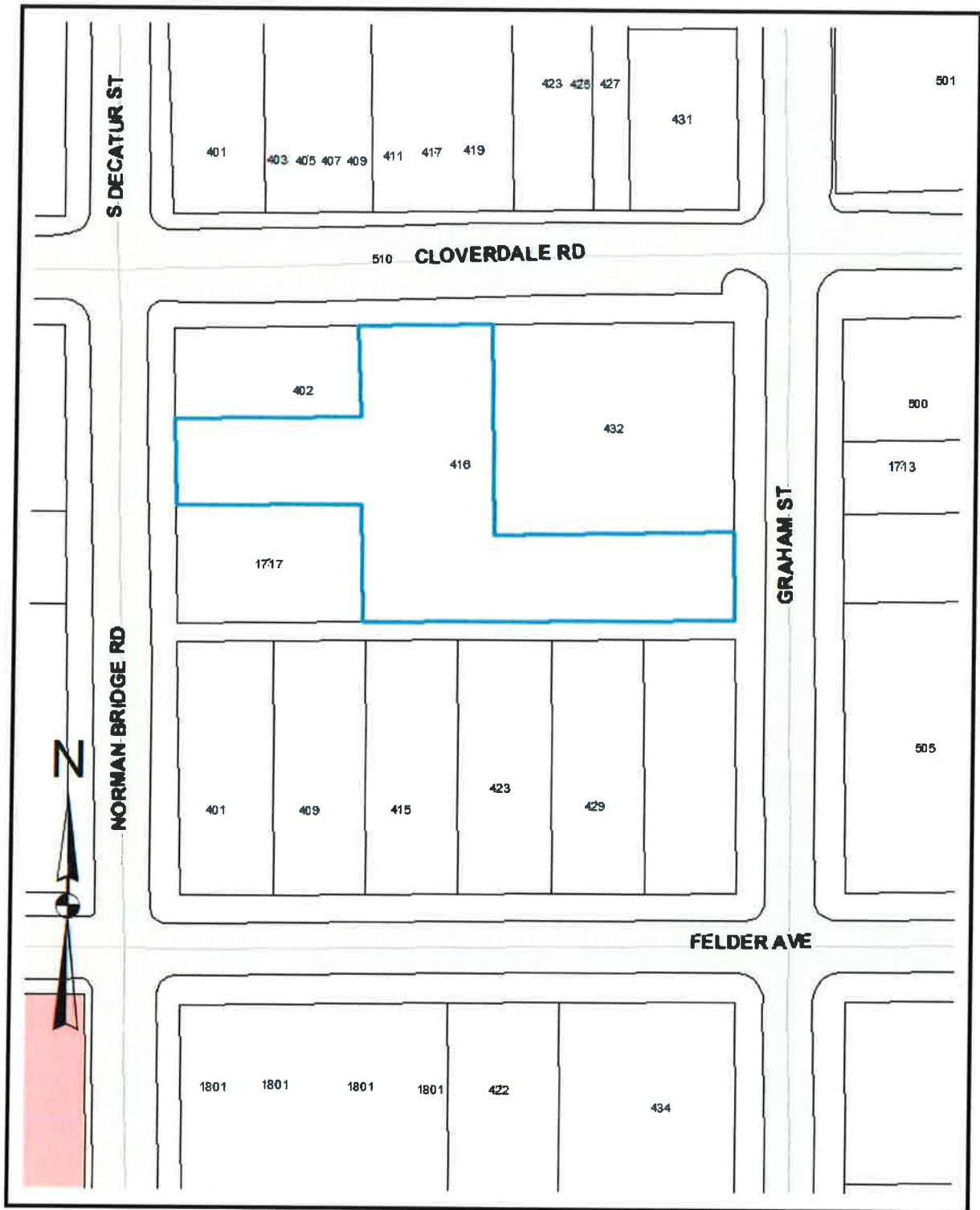
**STANDARD OF REVIEW:** Section 15-127 of the City Code states that “The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

**DEPARTMENT COMMENTS**

- According to the county tax records, the building was constructed in 1955.
- The Board has generally not approved painting historic brick unless there was a good reason (usually related to structural repairs/highly visible repairs). There is a concern with trapping moisture in older brick, which may not apply in 1955 brick.
- Per the discussion at the November meeting, the paint color for the brick really isn't the primary issue, since the brick could be painted a brick color, and then be painted any color on the palette since it would then be a previously painted surface. The question is whether or not the brick can be painted at all.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_



1 inch = 65 feet

416 Cloverdale Road



416 Cloverdale Road



416 Cloverdale Road



*416 Cloverdale Road*

**2. PRESENTED BY:** Bryant Aspinwall

**SUBJECT:** Request for approval of tree removal and replacement for the property located at 1256 South Lawrence Street (Garden District).

**REMARKS:** The petitioner is requesting permission to remove a popcorn tree that is growing into the porte cochere column and roof. The proposed replacement is a 5-gallon flowering pear to be planted in the rear yard in early spring.

**STANDARD OF REVIEW:** Section 15-127 of the City Code states that “The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

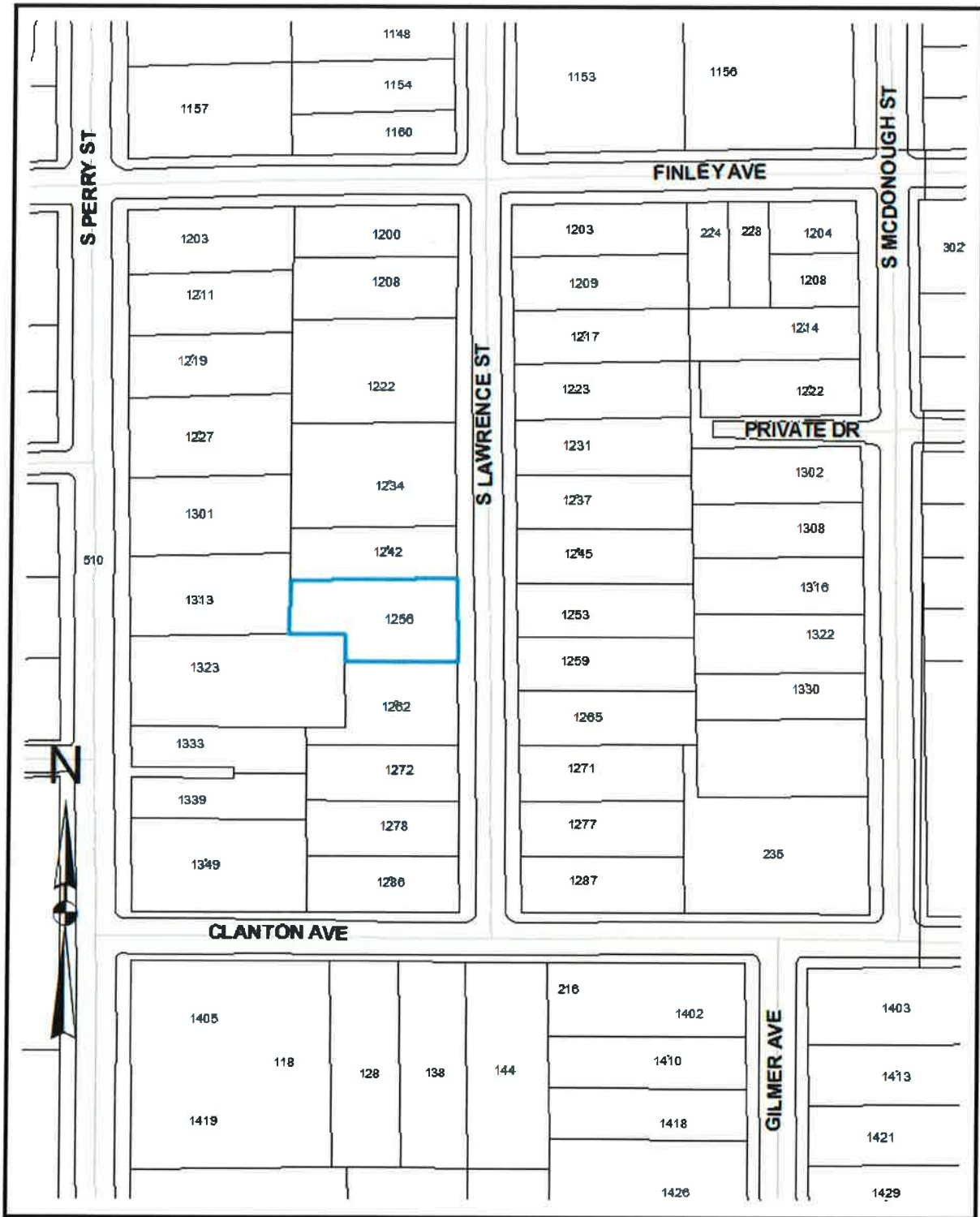
**DEPARTMENT COMMENTS**

- Proposed replacement should meet city landscape standards (2.5” caliper replacement, no invasive species). No objection to the removal subject to replacement.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_





1 inch = 116 feet

1256 South Lawrence Street



*1256 South Lawrence Street*



1256 South Lawrence Street

**3. PRESENTED BY:** Tim Vaught

**SUBJECT:** Request for approval of roof alterations for the property located at 39 North Capitol Parkway (St. Charles—Capitol Heights).

**REMARKS:** The petitioner is requesting permission to remove a 1940s low pitched roof that leaks and replace it with a 4/12 end gable roof. Roof will be stick framed with 16” outlookers to match the original eave overhang. Gable will be vented and detailed as illustrated.

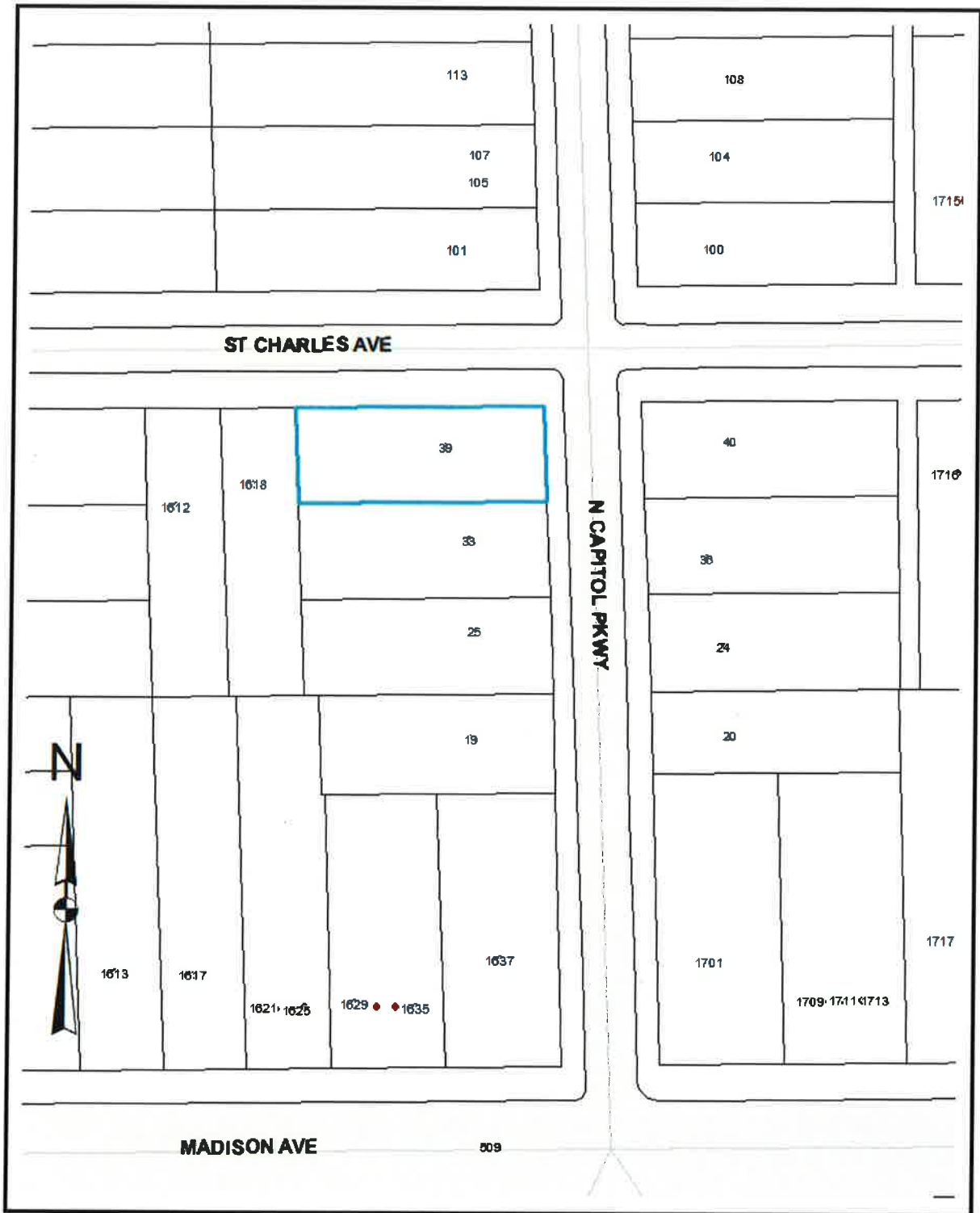
**STANDARD OF REVIEW:** Section 15-127 of the City Code states that “The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

**DEPARTMENT COMMENTS**

- The alteration is visible from the side street (St. Charles), but the roof pitch will be secondary to the original, historic roof on the main house; distinguishable from the original (as recommended under the Secretary of the Interior’s standards); and address long standing roof leak issues.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_



1 inch = 72 feet

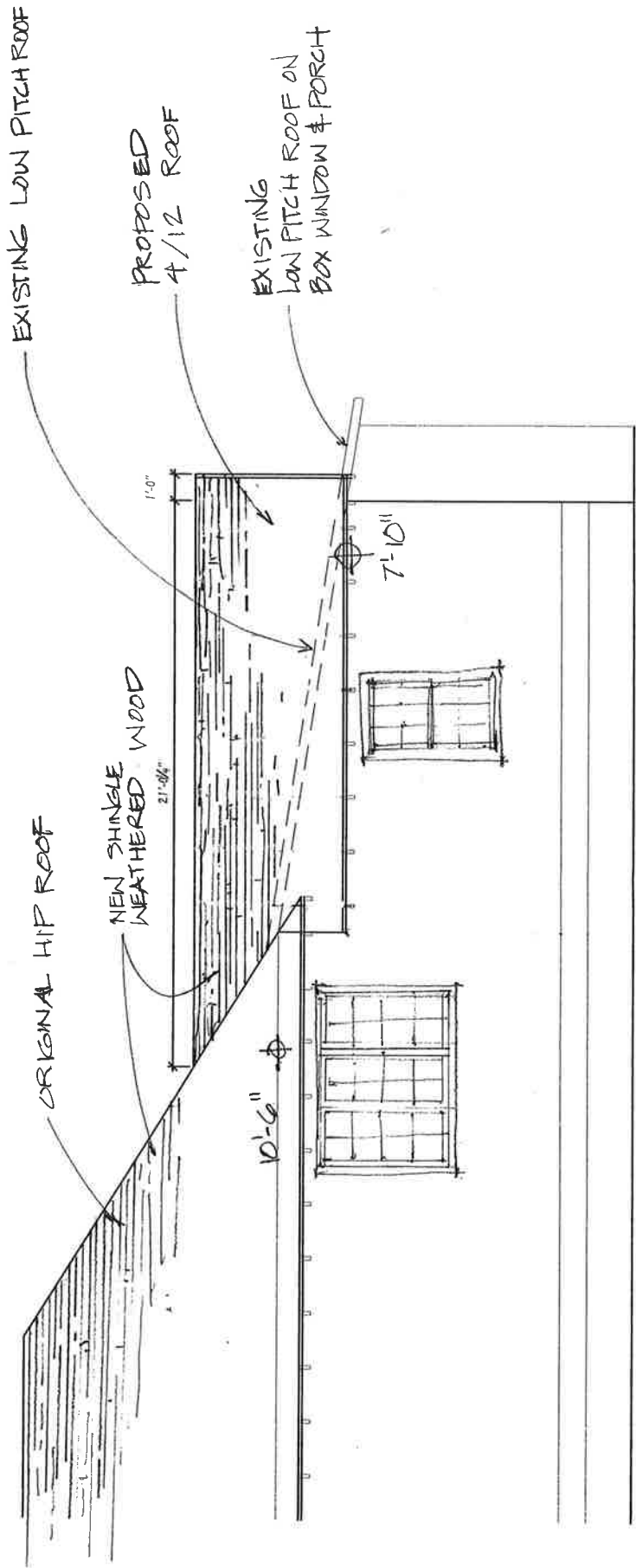
39 North Capitol Parkway



*39 North Capitol Parkway*

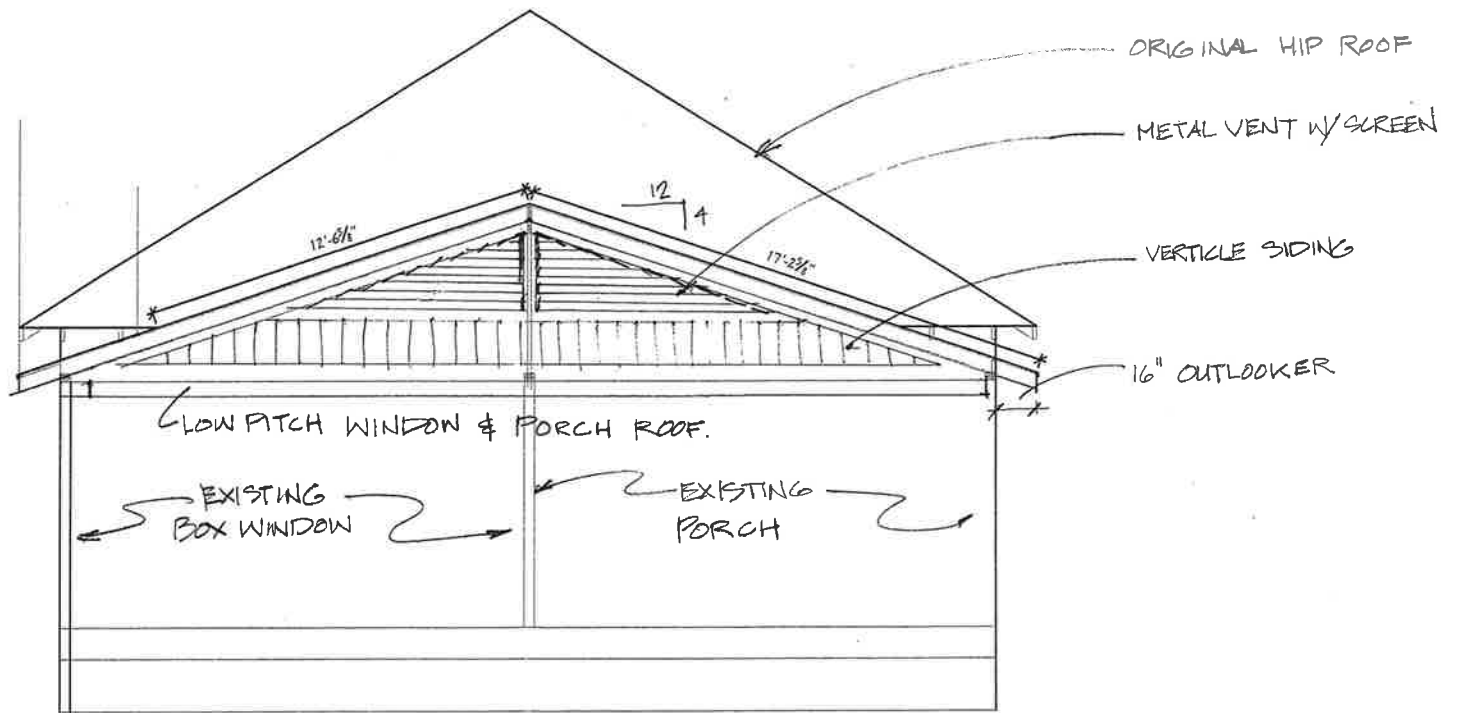


*39 North Capitol Parkway*

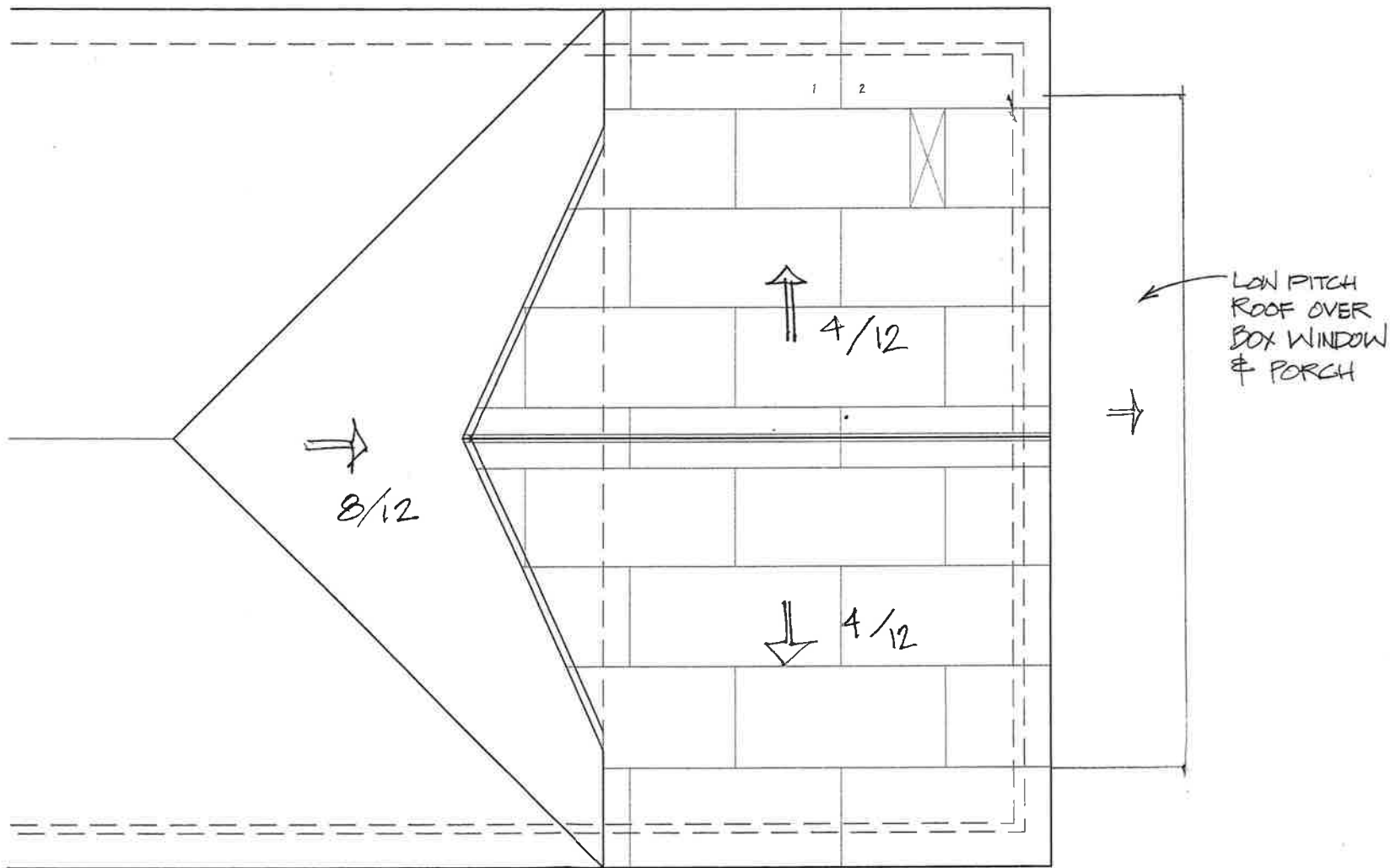


SIDE ELEVATION





REAR ELEVATION



EXISTING ← | → PROPOSED NEW ROOF

ROOF PLAN

**4. PRESENTED BY:** Emily Whisenhunt

**SUBJECT:** Request for re-approval of previously approved garage renovations/additions and a rear yard fence for the property located at 805 Cloverdale Road (Old Cloverdale).

**REMARKS:** The petitioner is requesting reapproval to construct an addition on the rear of the existing garage and replace the existing garage doors as illustrated. All materials and colors to match the existing house. A concrete driveway and parking area will be added from the rear access off Cottage Place to access the new garage bays. One additional door is being proposed, a walkthrough door at the rear to the covered patio area. (approved August 2016). A coverage variance was required to accommodate the project, it is now approved and in place.

Project two is the re-approval of the replacement of the gate and wall at the rear of the property.

- The current wood gate is 10' wide and is failing. The proposed new gate is 12' wide with a combination of wood and iron, with the opening being widened to the right.
- The current wall is a combination of brick columns with concrete block infill, and was constructed to work around trees on the rear property line that are no longer standing. The proposed replacement will straighten the fence line, and rebuild the brick columns to match the existing (7' tall, 17"x17" with an 18" cap and an 8" brick runner between columns.) The brick will be reused, and supplemented with matching brick as needed. In place of the current concrete block, the petitioner proposes a 6' iron fence as illustrated, which matches another fence on this property.
- The petitioner will also be working with the Urban Forester regarding landscape screening on the outside of the fence. (approved April 2016).

The petitioner is also requesting permission to remove a hackberry tree near the garage that is growing into an existing tulip poplar. The petitioner would like to remove the tree to allow the poplar to fill the canopy.

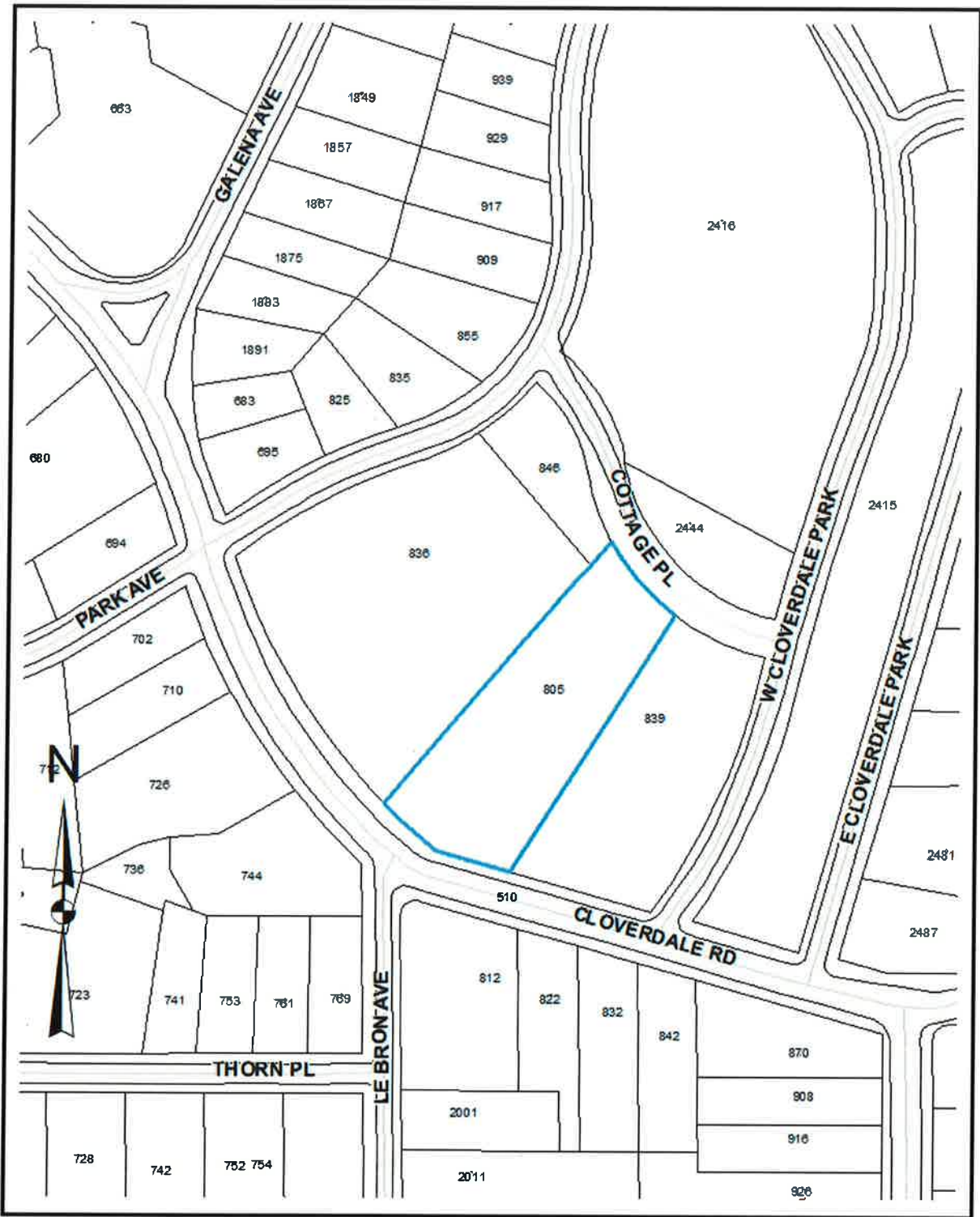
**STANDARD OF REVIEW:** Section 15-127 of the City Code states that "The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district."

**DEPARTMENT COMMENTS**

- Hackberry is growing under canopy of tulip poplar and is a "non-contributor".

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_



1 inch = 152 feet

805 Cloverdale Road



805 Cloverdale Road



*805 Cloverdale Road*



On Fri, Jun 3, 2016 at 11:04 AM, Anderson, Christy <[canderson@montgomeryal.gov](mailto:canderson@montgomeryal.gov)> wrote:  
Deadline for June is Monday @ 5, July is July 1 @ 5.

Christy Anderson  
Historic Preservation Coordinator  
Dept. of Planning  
City of Montgomery  
25 Washington Avenue, 4th Floor  
Montgomery, AL 36104  
[334.625.2041](tel:334.625.2041) tel  
[334.625.2017](tel:334.625.2017) fax

-----Original Message-----

From: Emily Whisenhunt [mailto:[emilyjwhisenhunt@gmail.com](mailto:emilyjwhisenhunt@gmail.com)]  
Sent: Friday, June 03, 2016 9:37 AM  
To: Anderson, Christy  
Subject: June ARB

Has the deadline for the June ARB passed? What is the July deadline?

## Anderson, Christy

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**From:** Emily Whisenhunt <emilyjwhisenhunt@gmail.com>  
**Sent:** Monday, June 06, 2016 3:35 PM  
**To:** Anderson, Christy  
**Cc:** Thomas Whisenhunt  
**Subject:** Re: June ARB  
**Attachments:** Whisenhunt 805 Cloverdale Rd Garage Renovation and addition-signed.pdf; Whisenhunt 805 Cloverdale Rd Survey.pdf; Whisenhunt 805 Cloverdale Rd Garage Floor Plan and Elevation.pdf

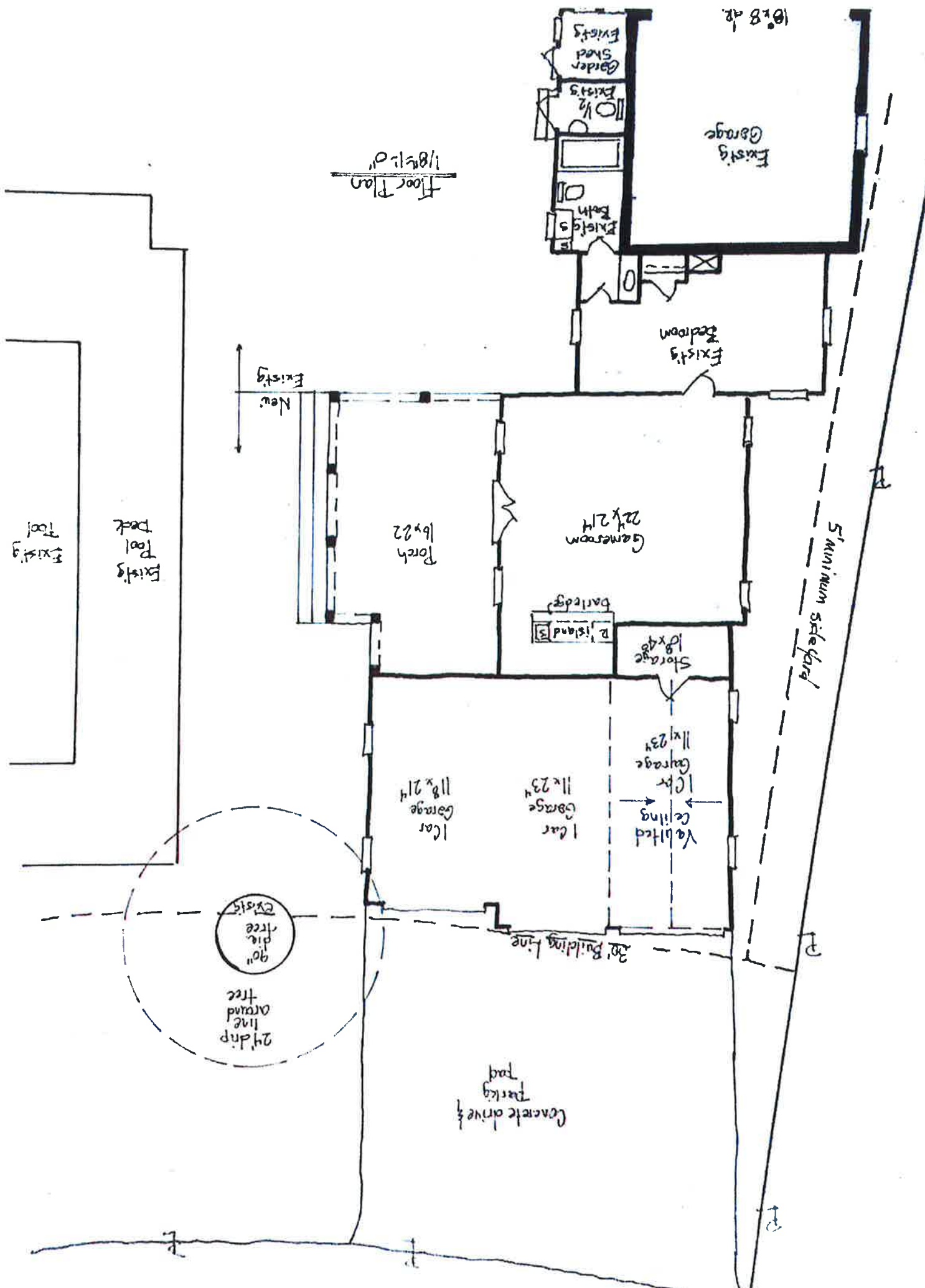
Christy,

Please accept the attached as our application for the June ARB meeting. We are requesting permission to renovate our existing garage and build an addition to the existing garage. Application, photos, lot survey, floor plan, site plan and elevated drawing is attached. Please advise if there is anything I am missing or should change.

Thanks!  
Emily





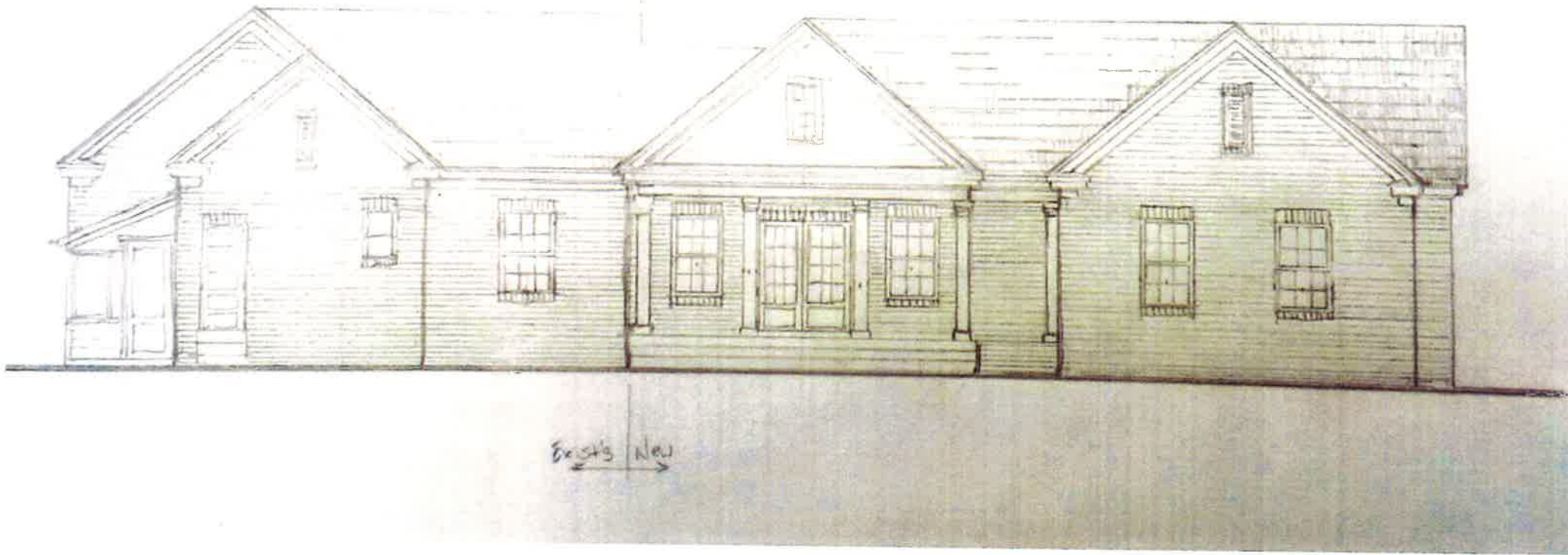




90 x 8 Carriage Style Doors  
Elevation View @ Rear Street



90 x 8 Carriage House Style Door  
12 Elevation View from Main House











**CURRENT GATE:**



**PROPOSED GATE:**



The current gate opening is 10' wide and the gate is made of wood. This wood is rotting and breaking. Proposed gate opening is 12' wide and the gate replacement is a combination of wood and iron. Widening of the gate would be to the right as there is a gas meter adjacent to the left gate column.



**CURRENT WALL:**

Current wall goes around trees that are no longer there



The current wall is leaning and cracking in several areas

## PROPOSED FENCE:

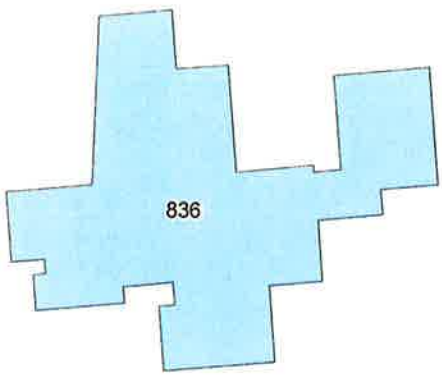


The proposed fence will be a combination of brick columns iron bars running along the property line. This is keeping in line with existing fence on the property as well as the adjacent lot. The proposed fence will have brick columns every 12 feet, which is the same as the current wall. Columns will remain the same size as the existing columns, 7' tall, 17" x 17", 18" cap, and 8" brick runner between columns. The proposed iron fence running between columns will be 6 feet tall.

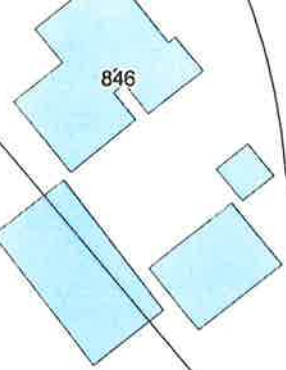
In order to straighten out the fence line, the current columns will need to come down. Brick from the existing columns will be reused when possible and matching brick will be supplemented when necessary.

Landscaping will be planted on the outside of the fence to provide a natural screen to the property. Landscape will be selected from a list of recommended plants and trees posted on the Urban Forestry website. The urban forester will be consulted prior to adding in the new landscape.

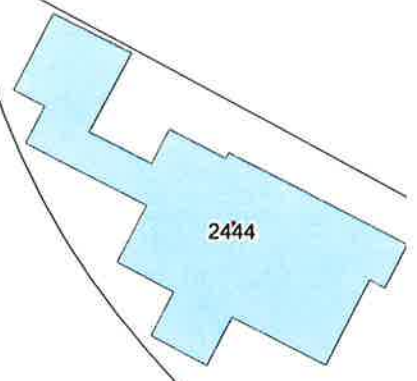
PARK AVE



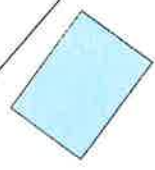
836



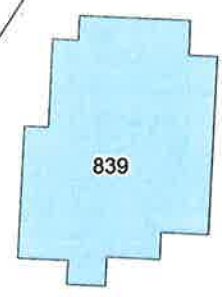
846



2444



805



839

COTTAGE PL



N

LE BRON AVE

CLOVERDALE RD

W CLOVERDALE PARK

**5. PRESENTED BY:** Barrett Penney

**SUBJECT:** Request for exterior alterations including a rear addition with porte cochere, window replacement, driveway, tree removal, outbuilding demolition, alterations to existing balcony balustrade, removal and replacement of fencing and deck for the property located at 728 Felder Avenue (Old Cloverdale).

**REMARKS:** A full description of each item is attached:

- Modify the existing balcony balustrade by installing a secondary railing behind it, at 42” (current rail is 28”) and painting it black. Option 2: based on paint marks on posts, the extant balustrade does not appear to be original, and a newly designed (Gowan Iron) metal railing will be presented at the meeting, to replace the existing balustrade.
- Replace sheet glass in stair hall with a matching 1:1 wood window.
- Replace windows as needed that have been damaged (1:1 wood)
- Replace wood siding as needed (matching replacement in wood does not require ARB approval, this is a maintenance/repair item)
- Addition to existing addition. Enclose an additional 270 SF and reconfigure the fenestration so that it is more sympathetic to the original portion of the house.
- New concrete drive (where illustrated—magnolia tree was approved for removal subject to a complete renovation plan being submitted and approved, pecan tree is on adjacent property) and porte cochere as illustrated.
- Remove and replace existing deck as illustrated;
- Remove chain link fence and replace with black metal picket (6’ tall) fence and gate;
- Remove existing, non-historic storage building. No replacement.
- Remove catalpa tree at SE corner of the house. Work with Urban Forester on replacement.

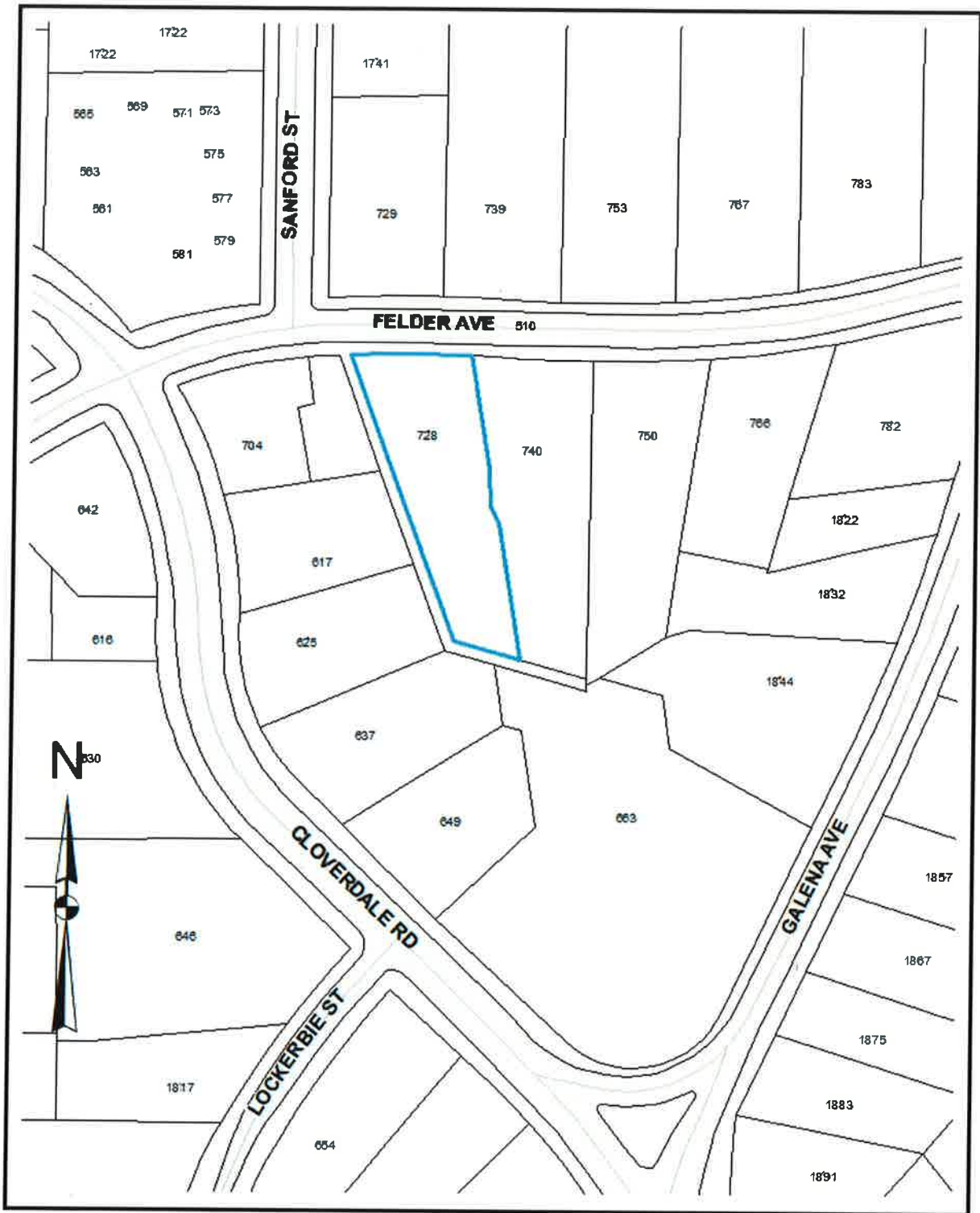
**STANDARD OF REVIEW:** Section 15-127 of the City Code states that “The board shall approve an application and issue a certificate of appropriateness if it finds that the proposed change, erection or demolition conforms to the general design standards established by the board, is compatible with the character of the historic property or historic district and does not materially impair the architectural or historic value of the historic property or historic district.”

**DEPARTMENT COMMENTS**

- No objection to removal of hackberry and popcorn trees subject to replacement. The catalpa at the corner is healthy with good form and structure and is a contributor to the character of the property. It’s possible to work around this tree and complete the project without damaging the tree.

**COMMENTS** \_\_\_\_\_

**ACTION TAKEN** \_\_\_\_\_



1 inch = 102 feet

728 Felder Avenue



728 Felder Avenue

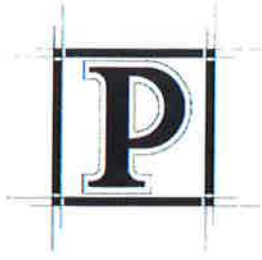


728 Felder Avenue



728 Felder Avenue





Penney Design Group, LLC

J. Barrett Penney, AIA

[barrettpenney@yahoo.com](mailto:barrettpenney@yahoo.com)

RE: 728 Felder Avenue, Montgomery, AL - City of Montgomery, Architectural Review Board

**Item No. 01:** Request permission to modify the existing balcony balustrade by addition of a secondary railing system. The intent is to provide safety for the occupants while maintaining historic character of the home.

The height of the existing balustrade measures 28" from the finish floor of the second level of the house. The existing balustrade is painted white. A deflection is present on the front railing of the balcony, as the balustrade is visibly sagging.

Propose to install a metal secondary railing, painted black, to be 42" tall with no spaces within the railing system larger than four inches.

**Item No. 02:** Request permission to replace the existing window in the stair hall.

Sometime after 1980, a fire (started by the installation of a new flat tar roof) damaged the second floor interior. The existing stair hall window was damaged and replaced with a sheet glass.

Propose to remove the existing window and replace with a one over one wood window to match the existing one over one windows.

**Item No. 03:** Request permission to replace the existing windows as required for complete renovation.

Significant water damage is present at some of the existing windows, primarily windows not under the cover the front porch provides.

Propose to remove the existing windows as necessary and replace with a one over one wood window to match the existing one over one windows.

Penney Design Group, LLC/ 2167 Woodley Road Montgomery, AL 36111/ (334) 354-4930

**Item No. 04:** Request permission to replace the existing wood siding as required for complete renovation.

Significant water damage is present at some of the existing siding.

Propose to remove and replace damaged siding with new wood siding to match the existing.

**Item No. 05:** Request permission for an addition to the structure.

Sometime prior to the fire (1980), a 530 square foot addition was added to the rear of the home. The addition includes the kitchen and a sunroom which opens onto the deck. While the materials of the addition match the home, the design of the addition is not period-correct and does not match the rich architectural details found on the existing structure.

Propose to add approximately 270 square feet to the addition and reconfigure the fenestrations to match the existing home. This addition will add symmetry to the rear of the home and correct aesthetic concerns with the existing elevations. Three French doors with arched transoms will be located along the rear of the home, opening into the deck. One over one windows (matching the existing dimensions) and a rear-entrance door with a transom will be located on the sides of the addition.

**Item No. 06:** Request permission for a new concrete drive and Porte Cochere, to be located on the east elevation of the home.

Propose to install a Porte Cochere on the east side of the home, approximately 750 square feet. The Porte Cochere will provide the owners with a covered entry to the home. Architectural details will include dentil molding to match the existing and use of columns with painted masonry bases. The new concrete drive will be located along the east side of the property.

**Item No. 07:** Request permission to paint the exterior.

Propose to use a 'white' color selected from the approved historical color palette.

**Item No. 08:** Request permission to demolish the existing wood deck and replace with new.

Propose to demolish the existing wood deck to accommodate construction work. A new deck, which will match the details of the existing deck, will be installed as shown.

Item No. 09: Request permission to modify the existing backyard fence.

An existing six-foot chain-link fence is present at the backyard of the home. The fence runs the property line then returns to the rear edges of the home.

Propose to remove approximately 50 linear feet the front chain-link fence and then install approximately 50 linear feet black six-foot metal picket fence and gate.

Item No. 10: Request permission to demolish the existing storage shed, located in the backyard.

A storage shed currently exists in the back yard. The shed is not original to the home and is currently in a state of decay.

Propose to remove storage shed in its entirety.

Item No. 11: Request permission to remove an existing oak tree in the back yard, immediately adjacent to the existing structure.

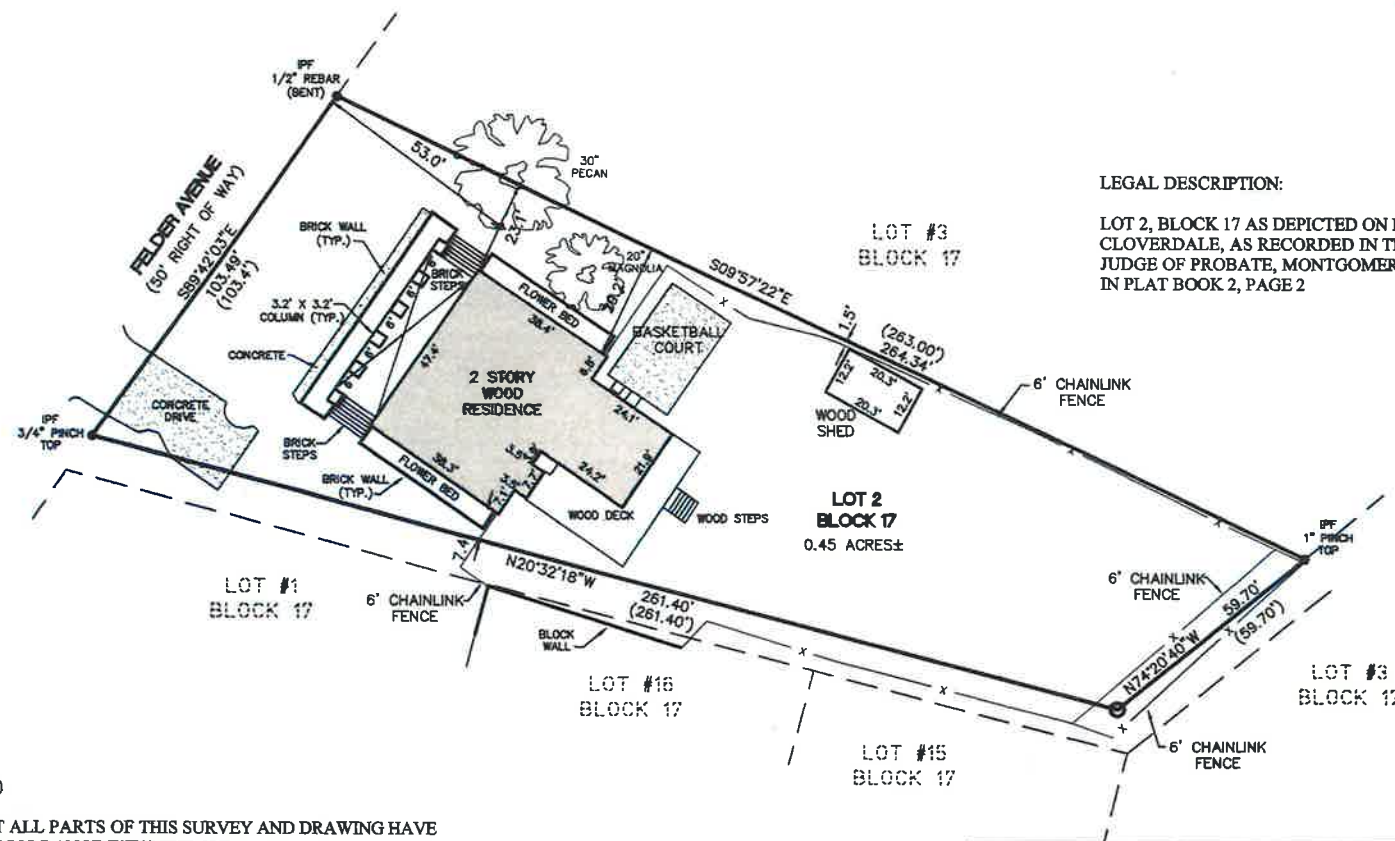
An oak tree is currently located approximately two feet from the southeast corner of the existing home. The construction work proposed within this request will occur atop the oak tree's root system, thus damaging the tree. In addition, this tree poses future structural and maintenance concerns.

Propose to remove the existing tree and work with Russell Stringer, the City of Montgomery Urban Forester, to provide an appropriate replacement tree.





- LEGEND**
- IRON PIN FOUND (AS NOTED)
  - IRON PIN SET (1/2" REBAR CAPPED CADDIS)
  - A/C AIR CONDITION PAD
  - (35.00') PLAT BEARING/DISTANCE
  - ⊠ COVERED PORCH
  - ▨ CONCRETE
  - X- FENCE



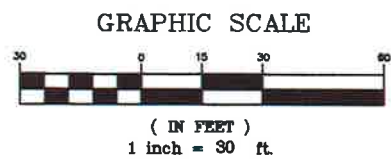
**LEGAL DESCRIPTION:**  
 LOT 2, BLOCK 17 AS DEPICTED ON NEW MAP OF CLOVERDALE, AS RECORDED IN THE OFFICE OF THE JUDGE OF PROBATE, MONTGOMERY COUNTY, ALABAMA IN PLAT BOOK 2, PAGE 2


STATE OF ALABAMA )  
 MONTGOMERY COUNTY)

I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

ACCORDING TO MY SURVEY THIS THE 29th DAY OF DECEMBER, 2017.

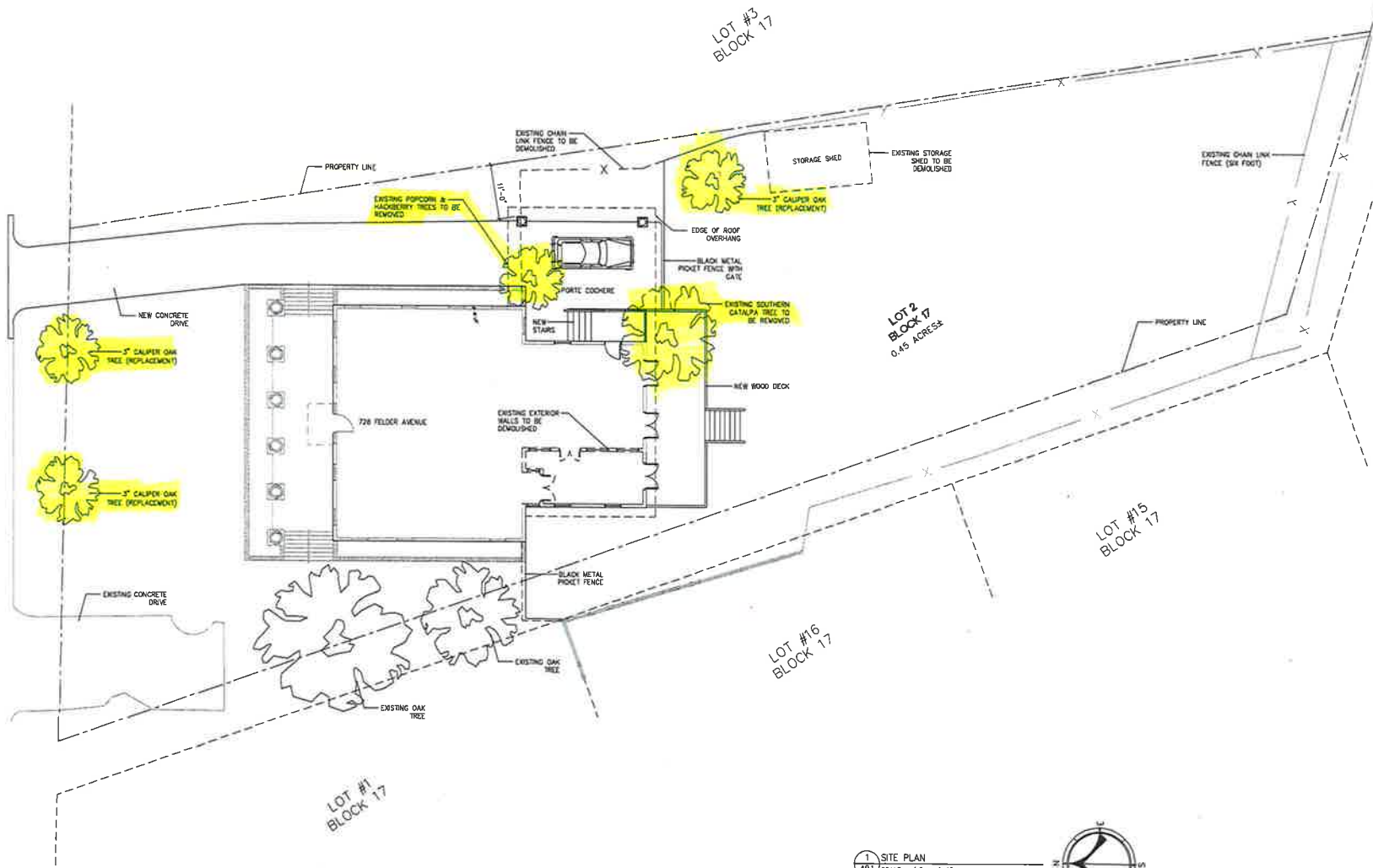
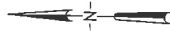
*Bradley W. Flowers*  
 BRADLEY W. FLOWERS, PLS  
 ALABAMA REG. NO. 31832





**FLOWERS & WHITE**  
 ENGINEERING, L.L.C.

PO BOX 231286 MONTGOMERY, AL 36123  
 PH. 334.356.7600 - FAX: 334.356.1231



**PDG**

Architect  
J. Barrett Perney, AIA, AP  
AIA, BGA #7005

Company  
Perney Design Group, LLC  
2143 Woodley Road  
Montgomery, AL 36111

Job Number  
2018 - 001

Date  
JANUARY 8, 2018

Drawn By  
JSP

Checked By  
JSP

Revised

Project Title

**RICHARDSON RESIDENCE**  
728 FELDER AVENUE  
MONTGOMERY, ALABAMA

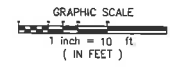
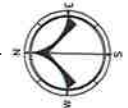
Sheet Title

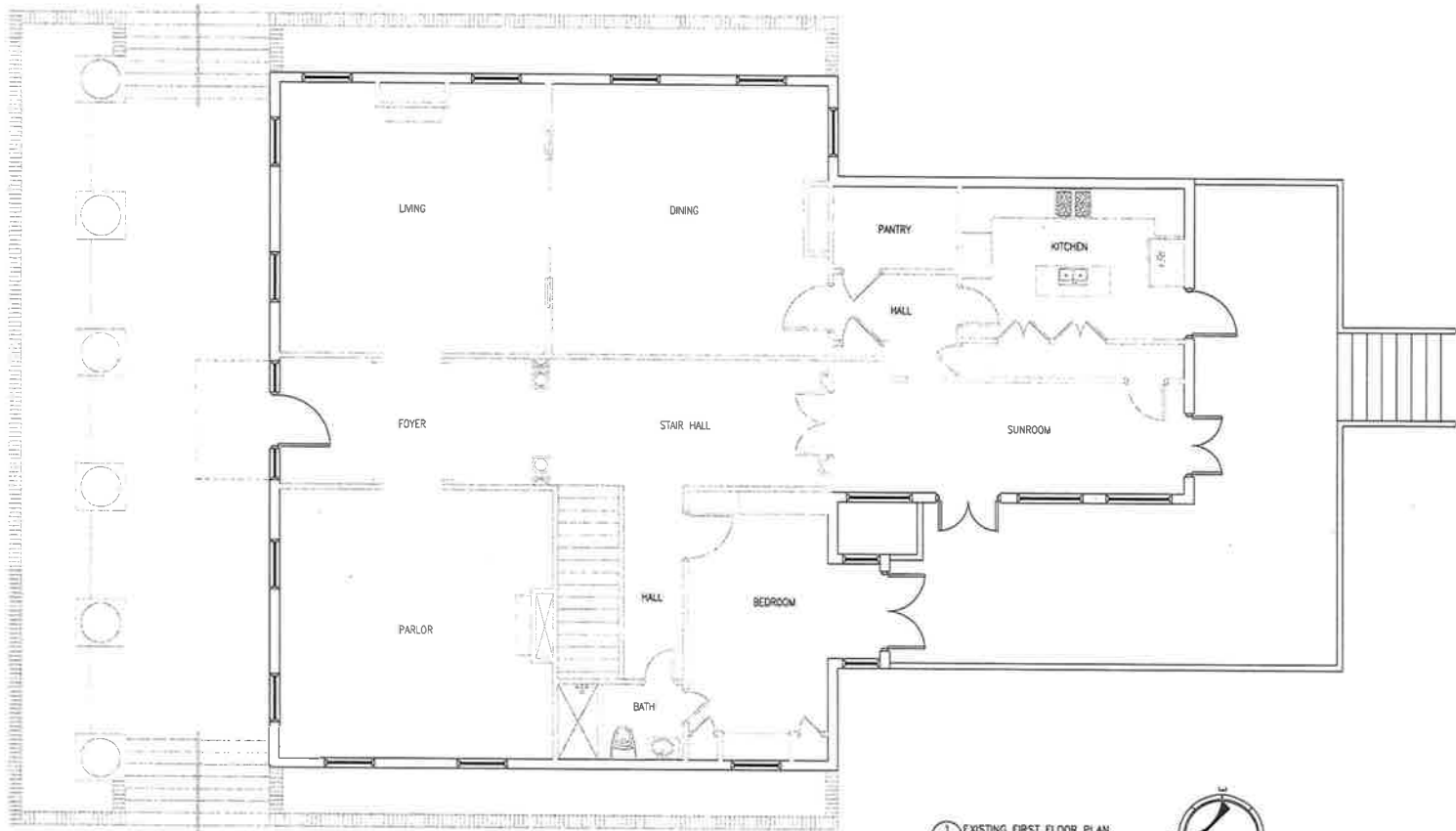
SITE PLAN

Sheet Number

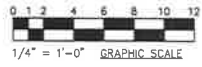
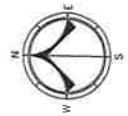
**A0.1**

1 SITE PLAN  
SCALE: 1/4" = 1'-0"





1 EXISTING FIRST FLOOR PLAN  
 ALL SCALE: 1/4" = 1'-0"

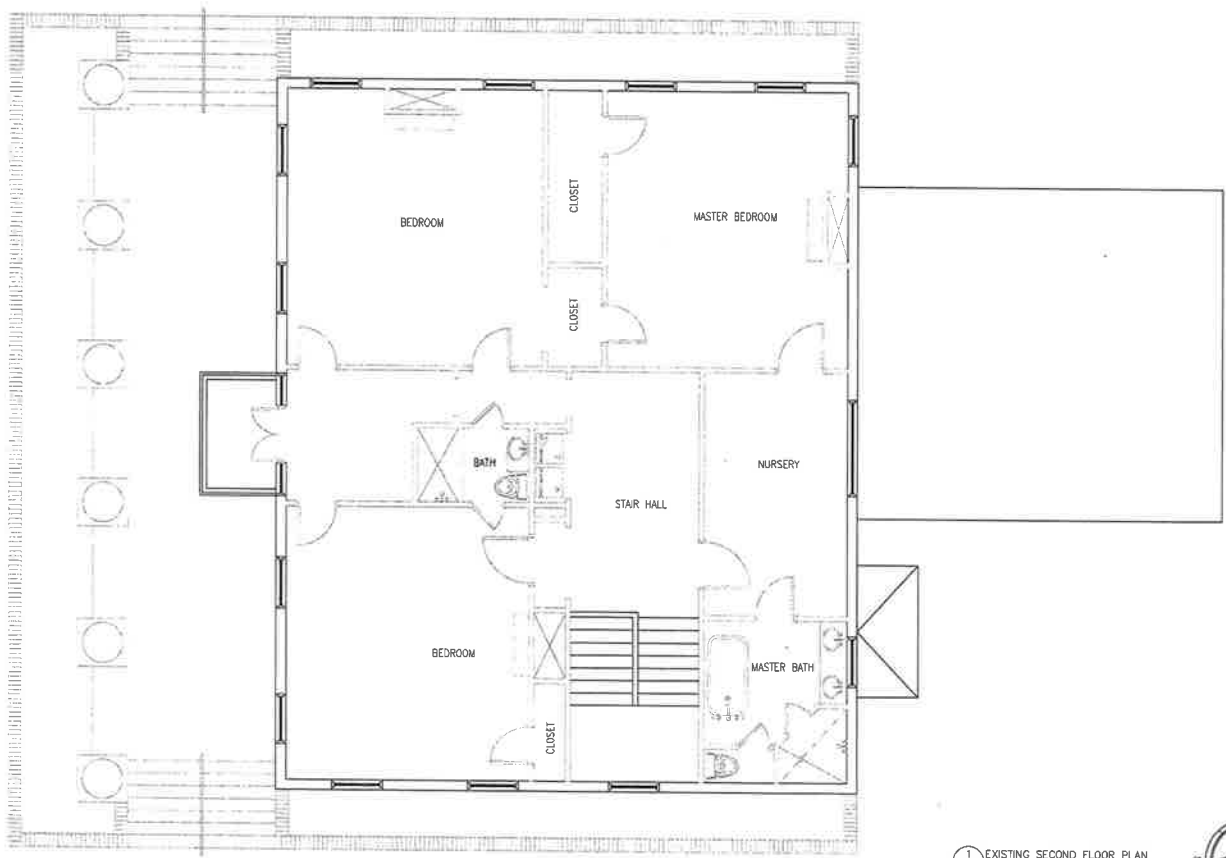


Architect  
 J. Someth Penney, AIA, AP  
 AL BOA #7005  
 Company  
 Penney Design Group, LLC  
 2167 Woodley Road  
 Montgomery, AL 36111  
 Job Number  
 2016 - 001  
 Date  
 JANUARY 8, 2016  
 Drawn By  
 JBP  
 Checked By  
 JBP  
 Revised

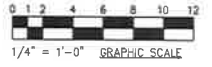
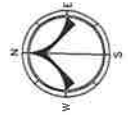
Project Title  
**RICHARDSON RESIDENCE**  
**728 FELDER AVENUE**  
**MONTGOMERY, ALABAMA**

Sheet Title  
**EXISTING**  
**FIRST FLOOR PLAN**

Sheet Number  
**A1.1**



1 EXISTING SECOND FLOOR PLAN  
 A1.2 SCALE: 1/4" = 1'-0"



PDG

Architect  
 P. Bennett Penney, AIA, AP  
 AL 90A #7005

Company  
 Penney Design Group, LLC  
 2187 Woody Road  
 Montgomery, AL 36111

Job Number  
 2018 - 001

Date  
 January 8, 2018

Drawn By  
 JP

Checked By  
 JP

Revised

Project Title

RICHARDSON RESIDENCE  
 728 FELDER AVENUE  
 MONTGOMERY, ALABAMA

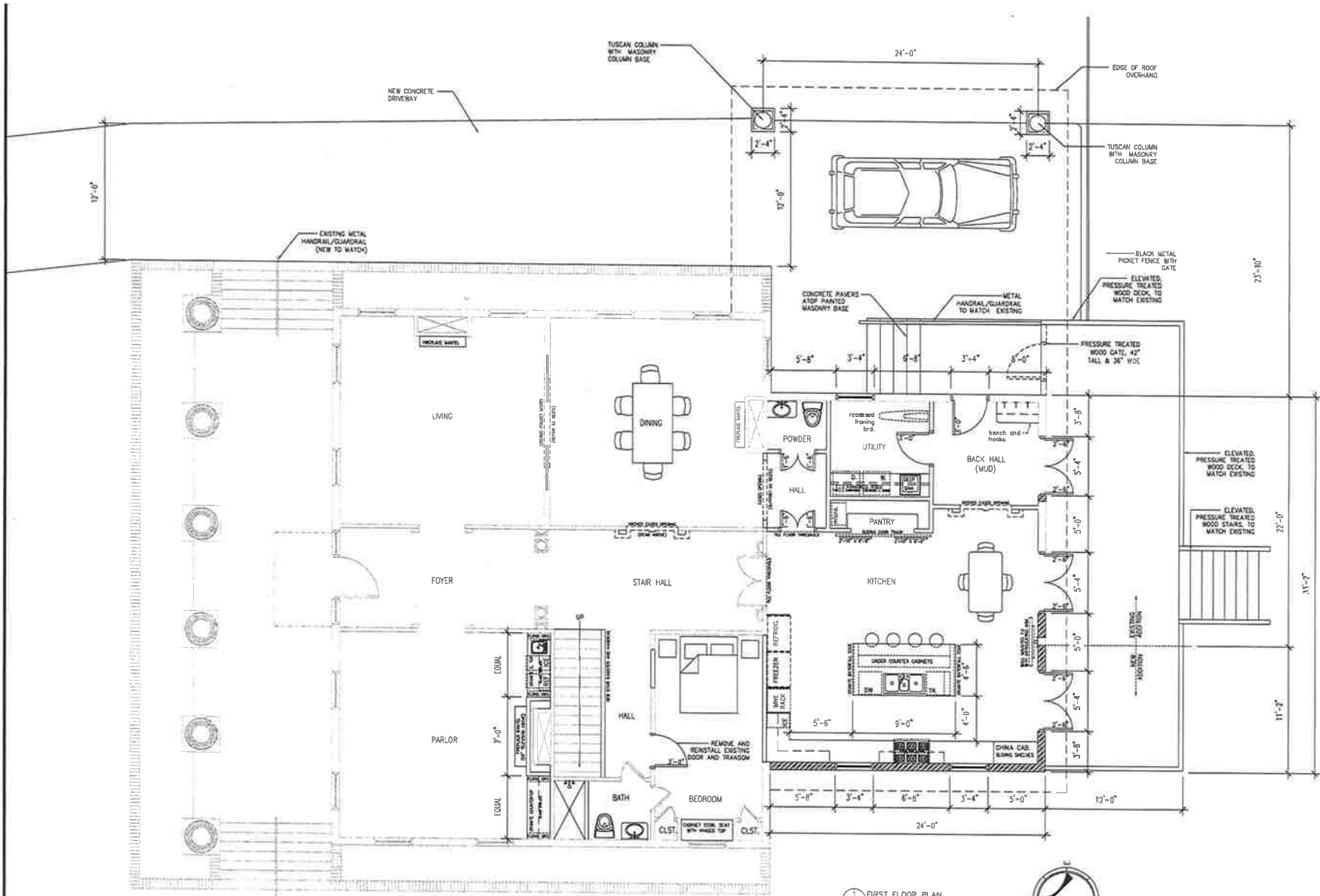
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EXISTING  
 SECOND FLOOR PLAN

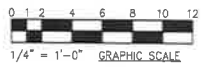
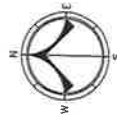
Sheet Number

A1.2





1 FIRST FLOOR PLAN  
A2.1 SCALE: 1/4" = 1'-0"



Architect  
J. Borrell Penney, AIA, AP  
AL 004 #7005  
Company  
Penney Design Group, LLC  
2167 Woodley Road  
Montgomery, AL 36111  
Job Number  
2018 - 001  
Date  
JANUARY 8, 2018  
Drawn By  
JBP  
Checked By  
JBP  
Revised

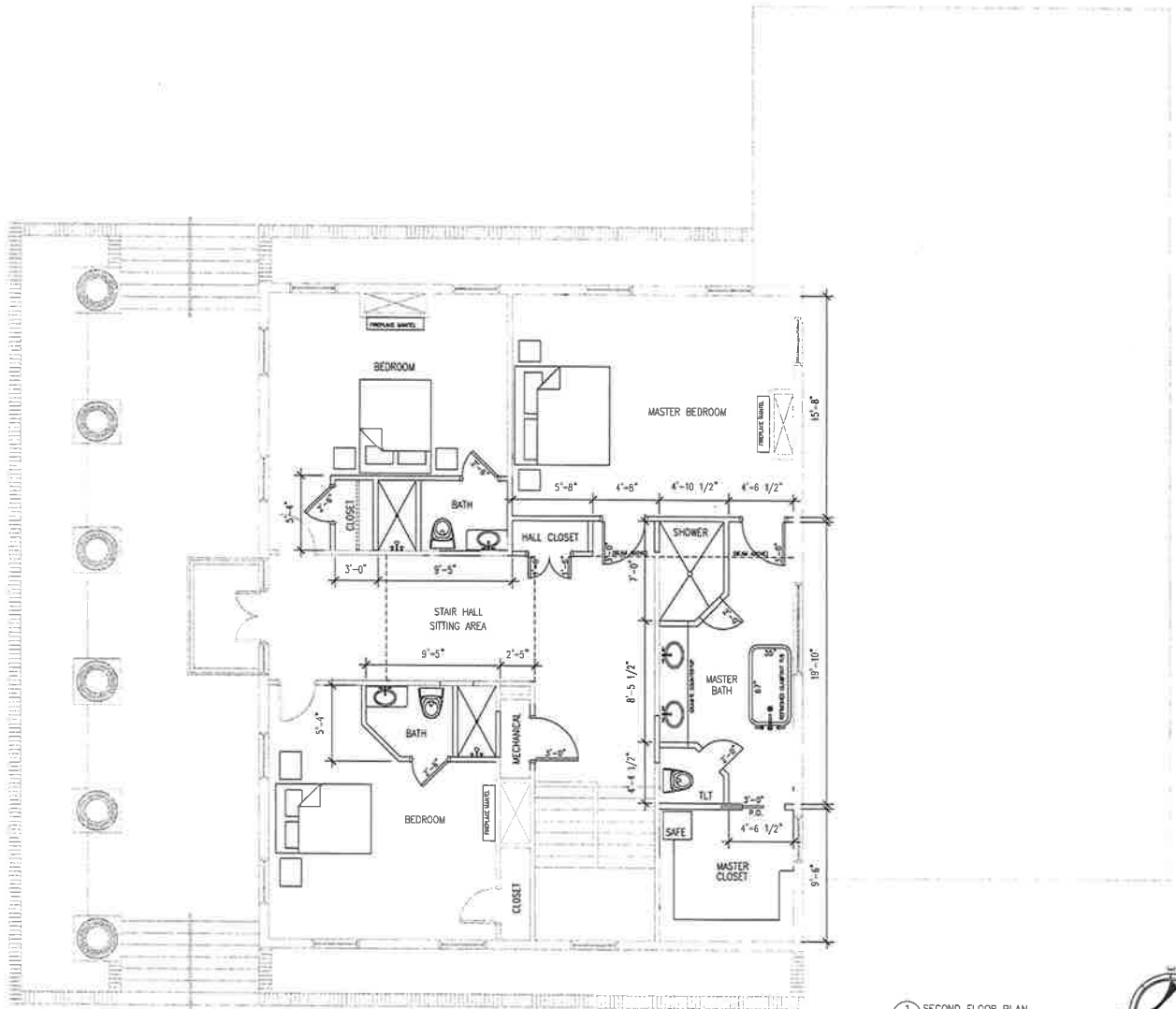
Project Title

**RICHARDSON RESIDENCE**  
728 FELDER AVENUE  
MONTGOMERY, ALABAMA

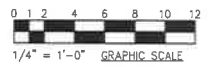
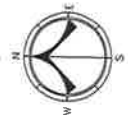
Sheet Title

**FIRST FLOOR PLAN**

Sheet Number  
**A2.1**



1 SECOND FLOOR PLAN  
A2.2 SCALE: 1/4" = 1'-0"



Architect  
J. Bennett Penney, AIA, AP  
AL 90A #7005

Company  
Penney Design Group, LLC  
2167 Woolley Road  
Montgomery, AL 36111

Job Number  
2018 - 001

Date  
JANUARY 8, 2018

Drawn By  
JBP

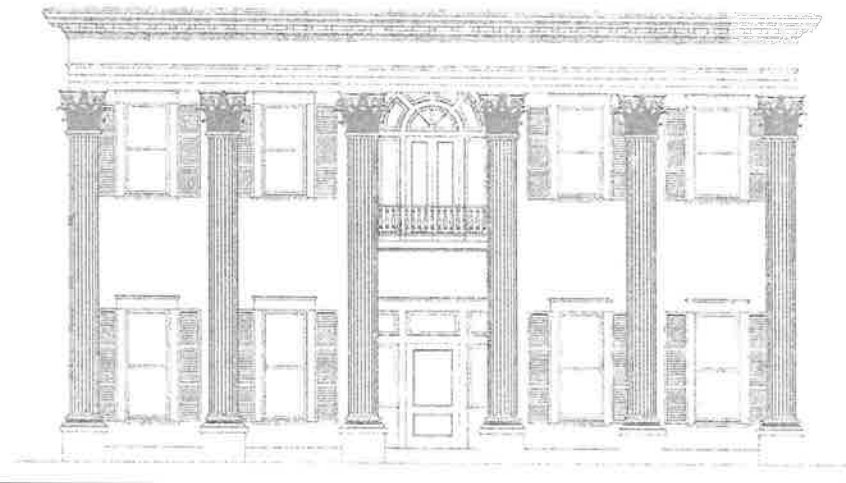
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JBP

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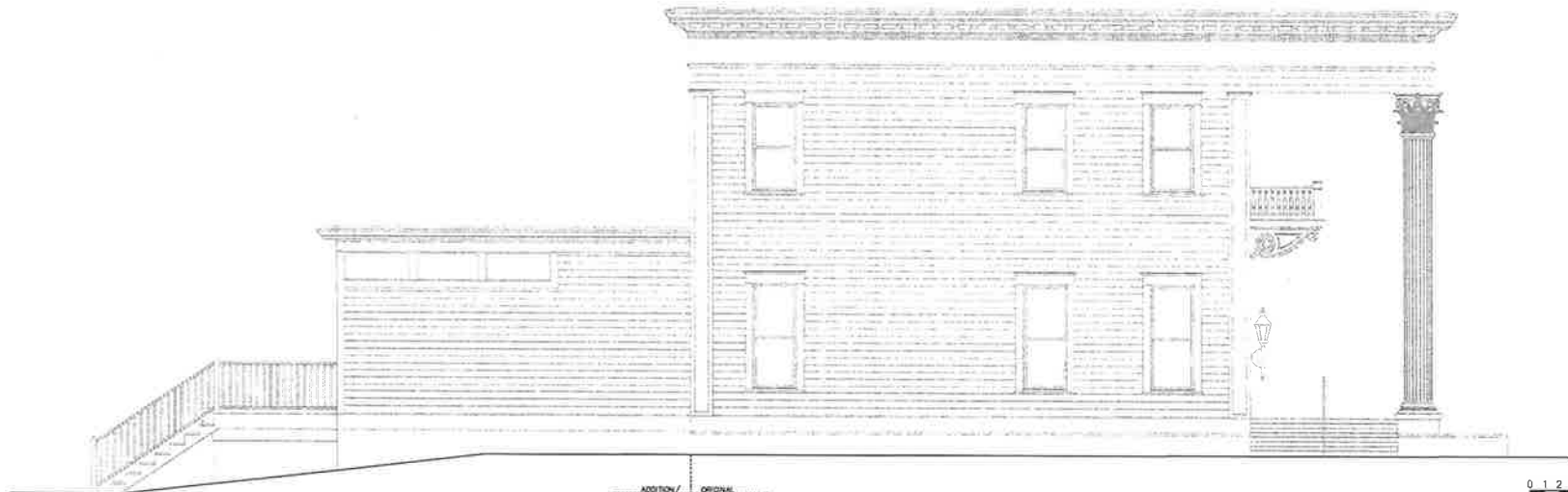
Project Title  
**RICHARDSON RESIDENCE**  
728 FELDER AVENUE  
MONTGOMERY, ALABAMA

Sheet Title  
**SECOND FLOOR PLAN**

Sheet Number  
**A2.2**

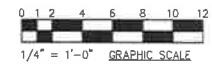


1 EXISTING NORTH ELEVATION  
 A3.0 SCALE: 1/4" = 1'-0"



ADDITION/  
 RENOVATION ORIGINAL  
 CONSTRUCTION

2 EXISTING EAST ELEVATION  
 A3.0 SCALE: 1/4" = 1'-0"



PDG

Architect  
 J. Barrett Penney, AIA, AP  
 AL, BOA #7005

Company  
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 2167 Healing Road  
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Job Number  
 2018 - 001

Date  
 JANUARY 8, 2018

Drawn By  
 JPP

Checked By  
 JPP

Revised

Project Title

RICHARDSON RESIDENCE  
 728 FELDER AVENUE  
 MONTGOMERY, ALABAMA

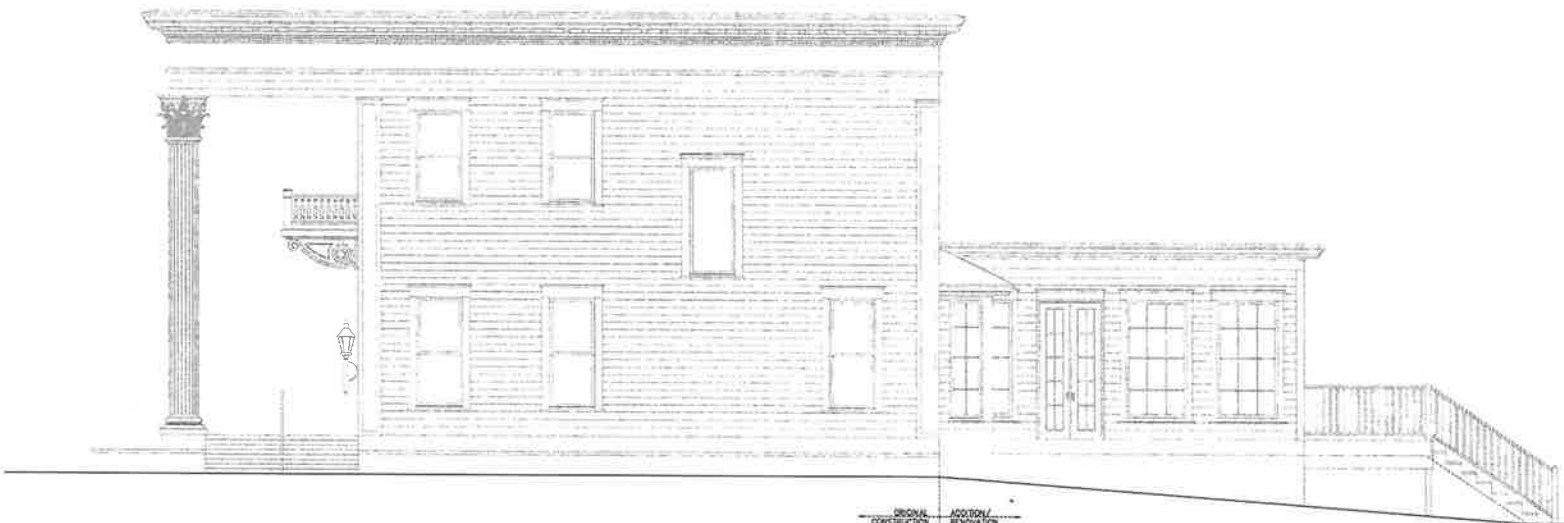
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EXISTING ELEVATIONS  
 NORTH & EAST ELEV.

Sheet Number  
 A3.0

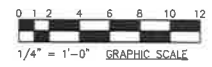


1 EXISTING SOUTH ELEVATION  
 A3.1 SCALE: 1/4" = 1'-0"



ORIGINAL CONSTRUCTION  
 ADDITION/RENOVATION

2 EXISTING WEST ELEVATION  
 A3.1 SCALE: 1/4" = 1'-0"



**PDG**  
 Architect  
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 AL BSA #7005  
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 2187 Woodley Road  
 Montgomery, AL 36111  
 Job Number  
 2018 - 001  
 Date  
 JANUARY 8, 2018  
 Drawn By  
 JPP  
 Checked By  
 JPP  
 Revised

Project Title  
**RICHARDSON RESIDENCE**  
**728 FELDER AVENUE**  
**MONTGOMERY, ALABAMA**

Sheet Title  
**EXISTING ELEVATIONS**  
**SOUTH & WEST ELEV.**

Sheet Number  
**A3.1**



PDG

Architect  
J. Barrett Penney, AIA, AP  
AL BOA #7005

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2187 Woodley Road  
Montgomery, AL 36111

Job Number  
2018 - 001

Date  
JANUARY 8, 2018

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JBP

Checked By  
JBP

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Project Title

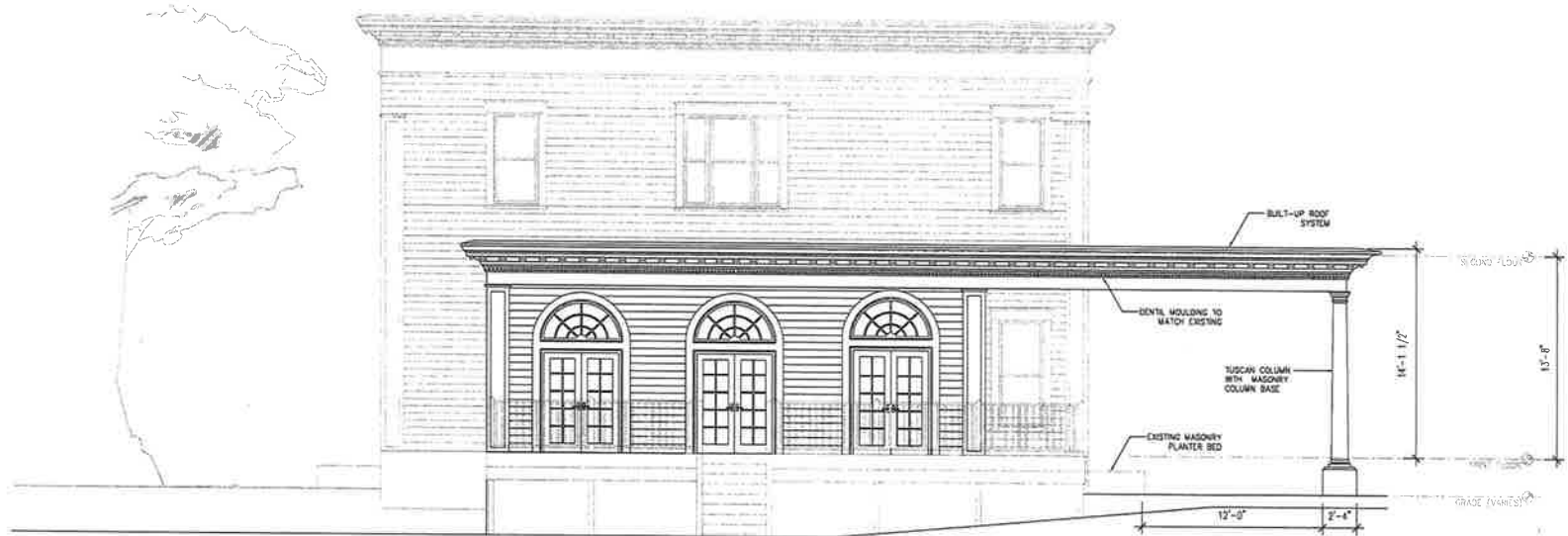
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728 FELDER AVENUE  
MONTGOMERY, ALABAMA

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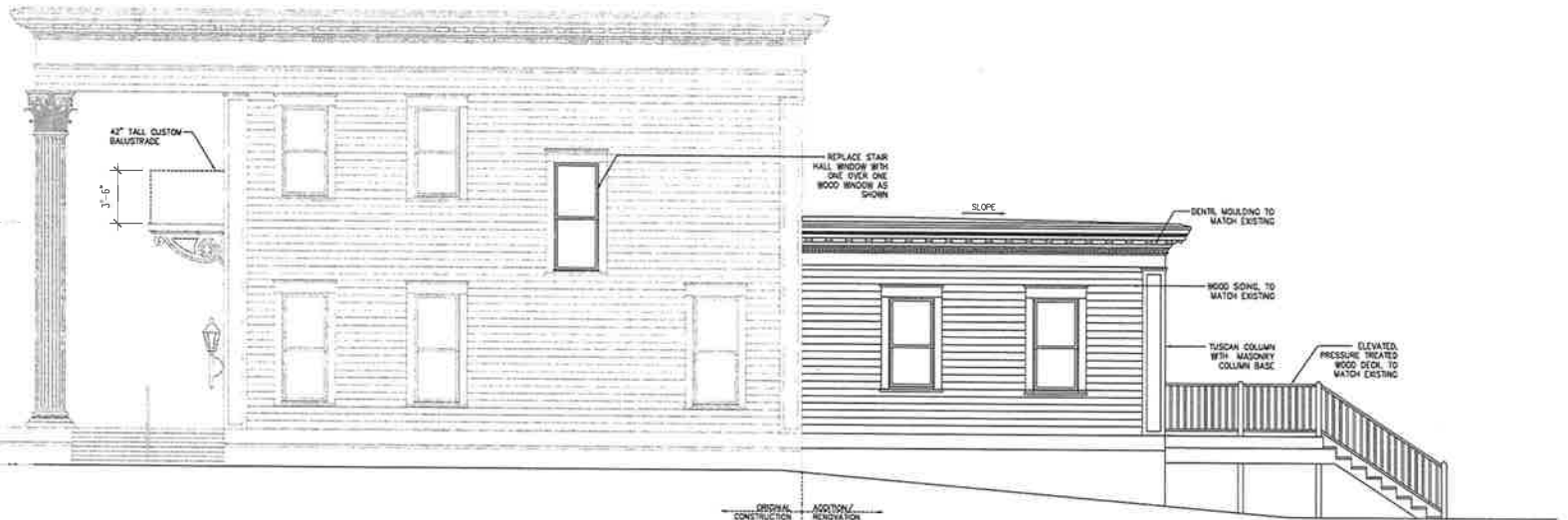
NORTH & EAST ELEV.

Sheet Number  
A4.0





1 SOUTH ELEVATION  
A4.1 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION  
A4.1 SCALE: 1/4" = 1'-0"



PDG

Architect  
P. Garrett Penney, AIA, AP  
AL BOA #7005

Company  
Penney Design Group, LLC  
2157 Woodley Road  
Montgomery, AL 36111

Job Number  
2018 - 001

Date  
JANUARY 8, 2018

Drawn By  
JBP

Checked By  
JBP

Revised

Project Title

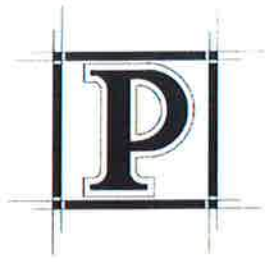
RICHARDSON RESIDENCE  
728 FELDER AVENUE  
MONTGOMERY, ALABAMA

Sheet Title

SOUTH & WEST ELEV.

Sheet Number

A4.1



Penney Design Group, LLC

J. Barrett Penney, AIA

[barrettpenney@yahoo.com](mailto:barrettpenney@yahoo.com)

RE: 728 Felder Avenue, Montgomery, AL - City of Montgomery, Architectural Review Board



Current North Elevation

Penney Design Group, LLC/ 2167 Woodley Road Montgomery, AL 36111/ (334) 354-4930



Current West Elevation



Current West Elevation (previous addition)

Penney Design Group, LLC/ 2167 Woodley Road Montgomery, AL 36111/ (334) 354-4930





Current South Elevation



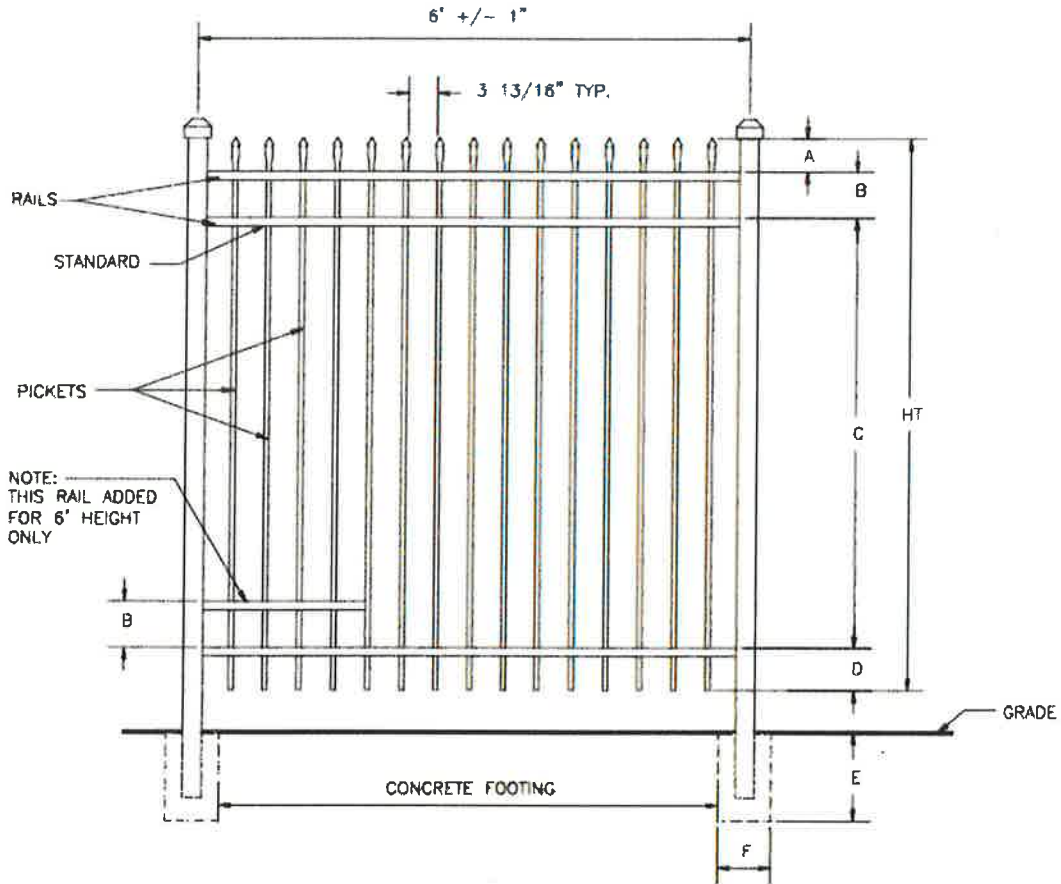
Current East Elevation

Penney Design Group, LLC/ 2167 Woodley Road Montgomery, AL 36111/ (334) 354-4930

# GREAT FENCE.COM

Premium aluminum fences & gates - pools, pets, residential & commercial

## Residential Aluminum Fence Panel - STYLE 1



SPEAR TOP

SPECIFICATIONS RESIDENTIAL	
POSTS	2"x2"x.060 WALL  2"x2"x.125 WALL 2 1/2"x2 1/2"x.100 WALL
HORIZONTAL RAILS SIDE WALLS TOP WALLS	1 1/8" x 1" .082" .062"
PICKETS PICKET SPACING	5/8"x5/8"x.050 WALL 3 13/16"
AVAILABLE HEIGHTS	3, 3 1/2, 4, 5 & 6 FT.

DIMENSIONS						
HT	A	B	C	D	E	F
3'	4 1/2"	6"	20"	5 1/2"	PER LOCAL CODE	
3 1/2'	4 1/2"	6"	26"	5 1/2"	PER LOCAL CODE	
4'	4 1/2"	6"	32"	5 1/2"	PER LOCAL CODE	
5'	4 1/2"	6"	44"	5 1/2"	PER LOCAL CODE	
6'	4 1/2"	6"	56"	5 1/2"	PER LOCAL CODE	



BBB Rating: A+  
as of 4/26/2014  
Click for Review